



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B18003898

Building Address: 12541 Westland Ct
City: Fulton State: MD Zip Code: 20759
Suite/Apt. #: _____ SDP/WP/BA #: 115-038, 6P19-035
Census Tract: _____ Subdivision: Westland Commons
Section: _____ Area: _____ Lot: 8
Tax Map: 45 Parcel: 28 Grid: _____
Zoning: RR-850 Map Coordinates: _____ Lot Size: 5.13 ac
223,462 sq ft
Existing Use: Vacant Lot
Proposed Use: Single Family Home
Estimated Construction Cost: \$ 68,000
Description of Work: Redevelop w/ conservatory, 2
story, full bsm, 12 R, 3 FB, 1 HB, FP +
garage, (no 3 car)
Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Williamburg Homes
Address: 5485 Harpers Farm Rd #200
City: Columbia State: MD Zip Code: 21044
Phone: 410-497-8500 Fax: _____
Email: nmorris@williamsburgh.com
Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____
Contractor Company: _____
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: 155
Phone: _____ Fax: _____
Email: _____
Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SE Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: <u>(616-00233) M1</u>
Building Shell Permit Number: <u>G18000103</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Marcia Morris Print Name: Marcia Morris
Email Address: nmorris@williamsburgh.com Date: 11/9/13
Title/Company: Rep. / WGLL

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	1/10/14	H. Oswald

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 09661

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received:

3/12/19

Permit No.:

B1900070B

Building Address: 12541 WESTLAND COURT
City: FULTON State: MD Zip Code: 20759
Suite/Apt. #: SDP/WP/BA #:
Census Tract: Subdivision:
Section: Area: Lot: 8
Tax Map: Parcel: Grid:
Zoning: Map Coordinates: Lot Size: 5 AC

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: WBG WESTLAND FARM LLC
Address: 5458 HARPERS FARM ROAD
City: COLUMBIA State: MD Zip Code: 21044
Phone: Fax:
Email:

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax:
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax:
Email:

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
Other:
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

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Applicant's Signature

MICHELLE@APPLIEDANDAPPROVED.COM
Email Address

PERMITS

Title/Company

MICHELLE CLANCY
Print Name

Date

3/11/19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	4/5/19	R-12A

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100
Permit Fee	\$ 10
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110
Sub- Total Paid	\$
Balance Due	\$
Check	# 7013

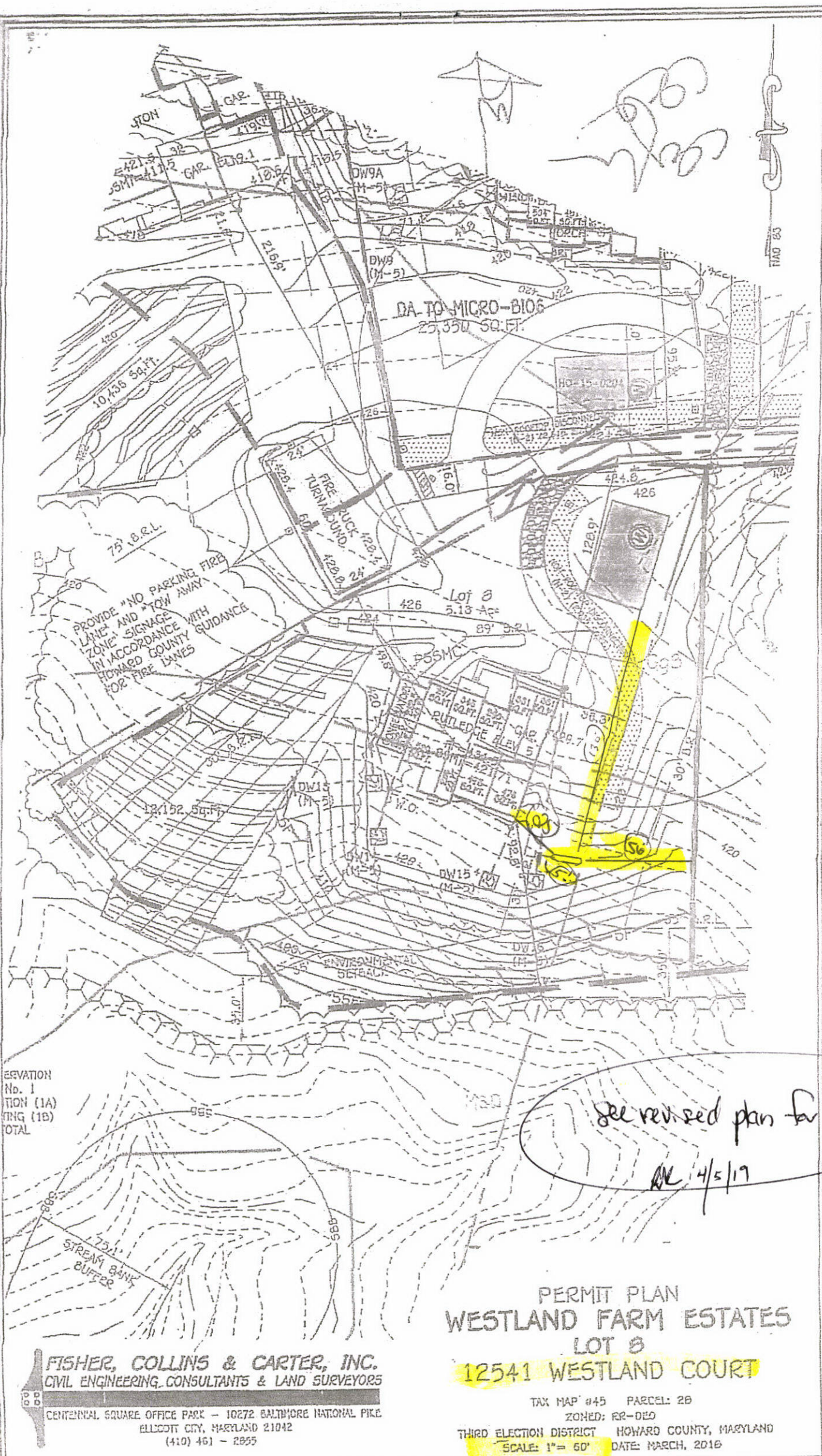
Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA



1000' Under ground Tank

see revised plan for approval
4/5/19

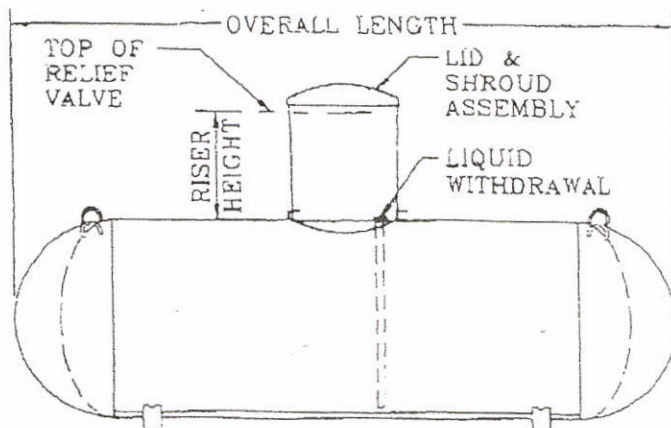
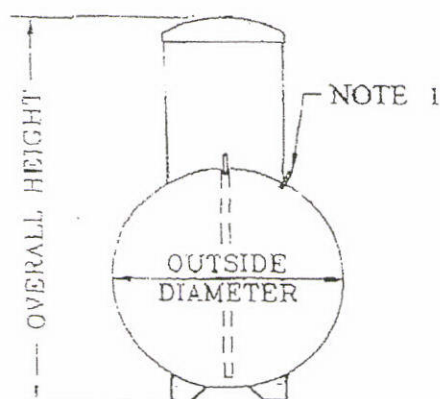
PERMIT PLAN
WESTLAND FARM ESTATES
LOT 8
12541 WESTLAND COURT

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2955

TAX MAP #45 PARCEL: 26
ZONED: RR-DEO
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 60' DATE: MARCH, 2016

TRINITY INDUSTRIES, INC.

Underground Vessel



General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels.
Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT		WEIGHT	QUANTITY IN FULL LOAD
				Riser Height 14"	28"		
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.8 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7' - 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2997.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8

Oswald, Hank

From: Marina Morris <MarinaMorris@williamsburgllc.com>
Sent: Monday, November 26, 2018 12:56 PM
To: Oswald, Hank
Subject: RE: Basement Floor Plan_12541 Westland Court_Lot 8
Attachments: Rutledge finished bsmt architec plans.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

This basement will be unfinished, however, here it is. Who knows if they will finish it in the future.
Marina

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Monday, November 26, 2018 11:20 AM
To: Marina Morris <MarinaMorris@williamsburgllc.com>
Subject: Basement Floor Plan_12541 Westland Court_Lot 8

Hello Ms. Morris:

Good morning. Can you forward the finished floor plan of the basement for the above referenced address?

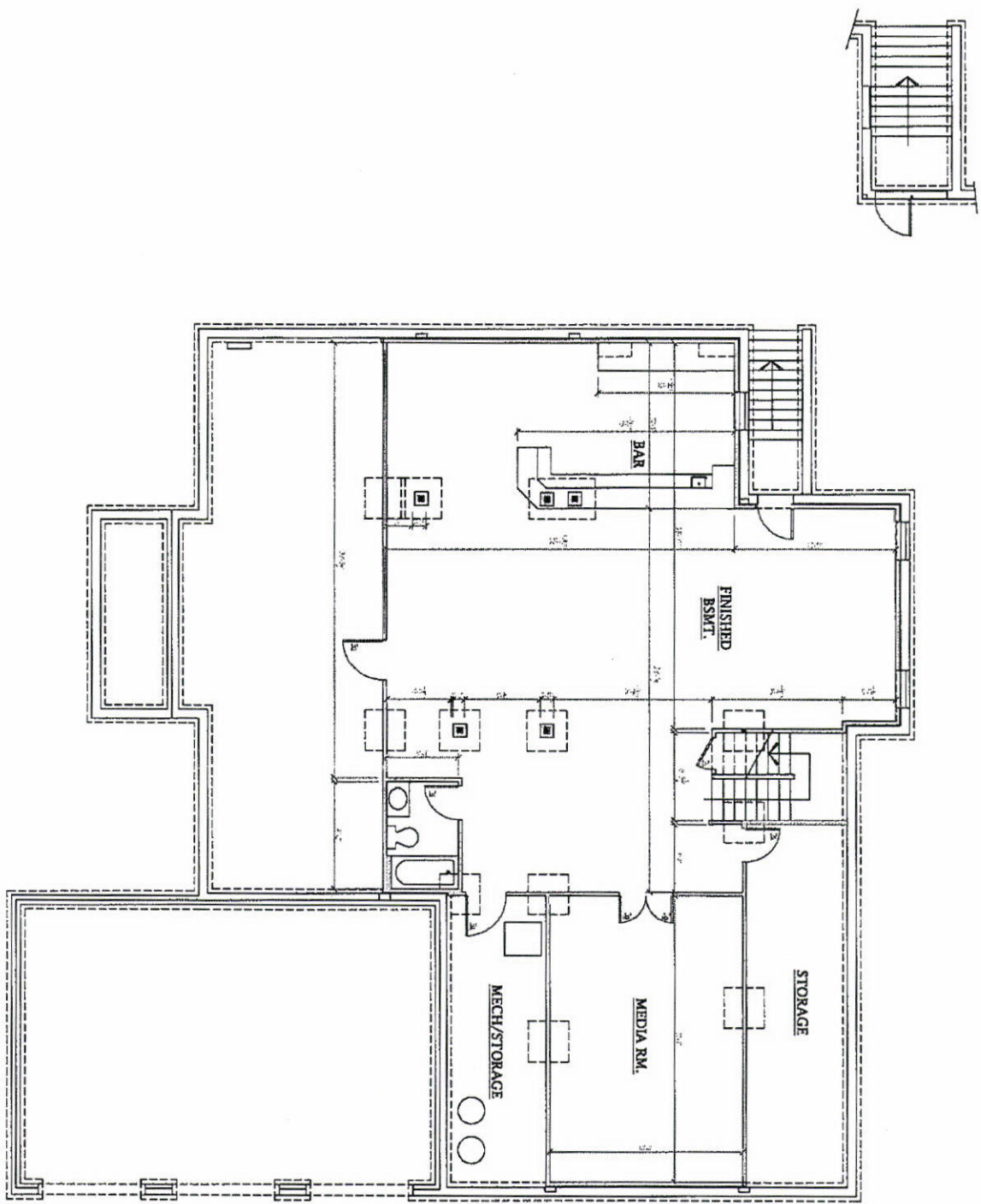
Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

CONFIDENTIALITY NOTICE

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REVISED 1/16

2b

LOG/RE
Project No.

Drawing: FINISHED BASEMENT PLAN-1
Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

Date: 5/15
Scale: 1/4"=1'-0"
Drawn: TIM

DATE	REVISION	DATE	REVISION

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

Oswald, Hank

From: Oswald, Hank
Sent: Monday, November 26, 2018 11:20 AM
To: 'MARINAMORRIS@WILLIAMSBURGLLC.COM'
Subject: Basement Floor Plan_12541 Westland Court_Lot 8

Hello Ms. Morris:

Good morning. Can you forward the finished floor plan of the basement for the above referenced address?

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

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Oswald, Hank

From: Oswald, Hank
Sent: Thursday, June 06, 2019 8:55 AM
To: 'MARINAMORRIS@WILLIAMSBURGLLC.COM'
Subject: Finished Basement_12541 Westland Court

Hi Marina:

Good morning. I received your call about the finished basement amendment. Thanks for bringing this to our attention. It has been approved.

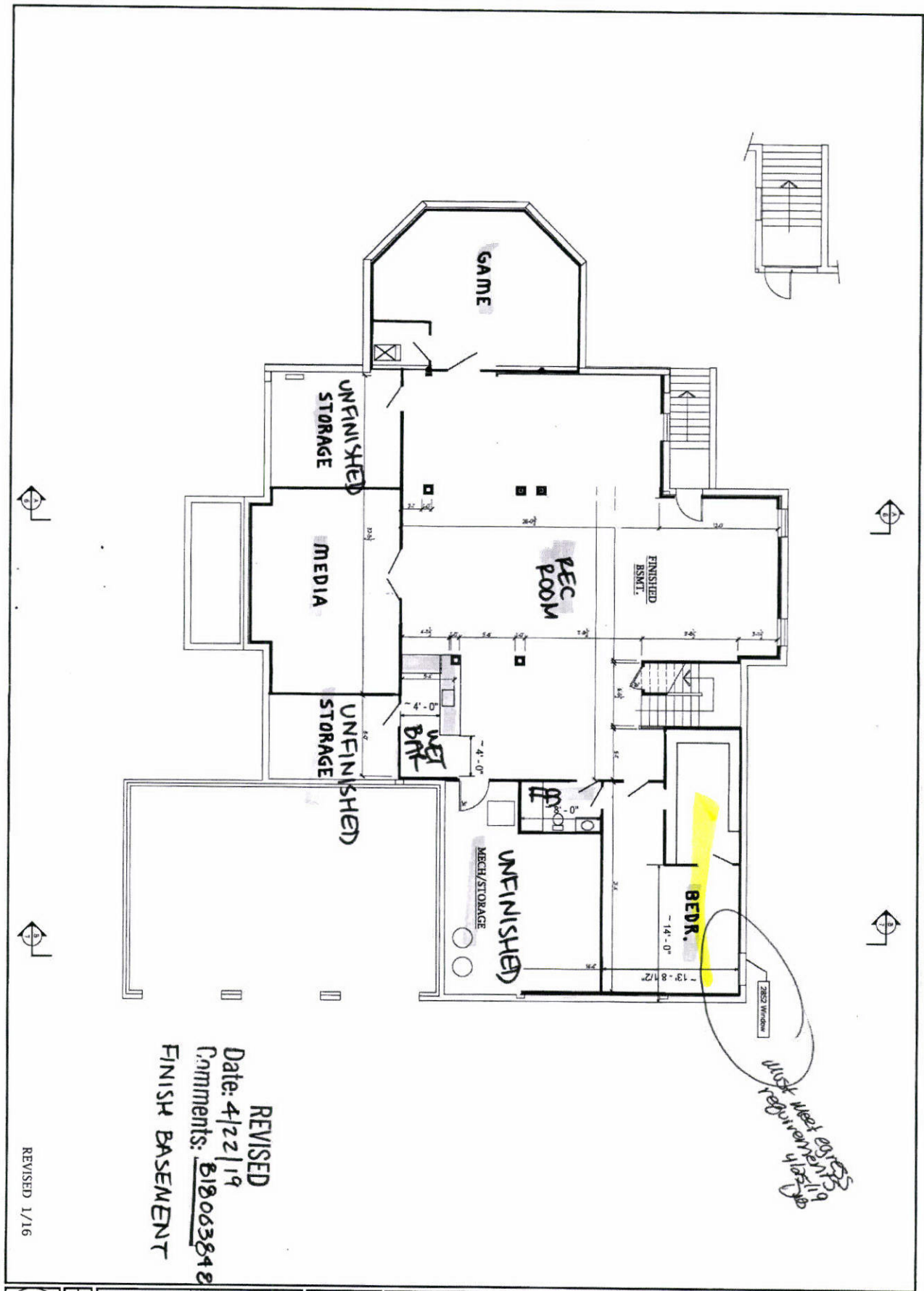
Sincerely,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

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Hill, Amanda

From: Marina Morris <MarinaMorris@williamsburgllc.com>
Sent: Tuesday, April 23, 2019 12:51 PM
To: Hill, Amanda
Cc: Hurman, Laura; Powell, Markus P.; Roussell, Lisa
Subject: Re: B18003848 - 12541 Westland Ct - Amendment Request

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Amanda, I'm not sure if Mark responded to all, so I am repeating his message. The large finished room would be called "Rec Room". The three "Storage" rooms are unfinished. There is a wet bar in the rec room. Let me know if you need anything else. I'm in continuing Ed classes, and won't be back in till Friday, but I will try to respond on my breaks.

Thanks!

Marina

Sent from my iPhone

On Apr 23, 2019, at 9:50 AM, Hill, Amanda <ahill@howardcountymd.gov> wrote:

Good Morning Marina,

The subject amendment request was received by our office, however we are unable to process the request until some additional clarification has been received.

Please be advised that the request letter did not list the rooms that are being added in the finished basement, and the floor plan did not label all of the proposed rooms. I have attached a copy of the floor plan submitted, and highlighted the rooms shown and in question for your reference.

- Please provide a name for the large open room and clarify if there is a wet bar or kitchenette shown in this room.
- Please clarify if the three storage rooms are finished or unfinished.

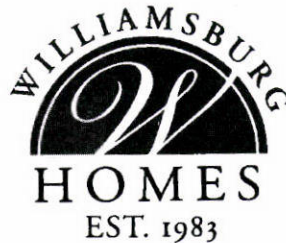
Please **reply all** to this email with the requested information. Once we receive this information we will go ahead and process your request.

Thank you,

Amanda Hill

Regulation Support Technician II
Department of Inspections, Licenses and Permits
3430 Court House Drive
Ellicott City, MD 21043
ahill@howardcountymd.gov
410.313.2455
410.313.3322 (fax)

To check the status of a permit, please visit myhoward.info and search by address or permit number



RECEIVED

APR 23 2019

LICENSES & PERMITS
DIVISION

* SEE
EMAIL

INV#572565

CK#2002

April 22, 2019

Ms. Cathy Anest
Chief, Licenses and Permits
Howard County, Maryland
3430 Court House Drive
Ellicott City, Maryland 21043

REF: Building Permit No. B18003848, 12541 Westland Court, Fulton, MD 20759
House Type Revision

Dear Ms. Anest,

On November 9, 2018, I applied for this residential building permit for the construction of a "Rutledge" house type, Elevation 5. Since that time, our buyer decided to finish the basement. Attached is the ~~Site Plan~~ and Architecture, as to be built.

Should you have any questions or require additional information, please do not hesitate to contact me at 410/997-8800 Ext. 20.

Sincerely,

Marina Morris

Marina Morris
Administrator
THE WILLIAMSBURG GROUP L.L.C.

REVIEWED FOR
CODE COMPLIANCE
DEPARTMENT OF INSPECTIONS,
LICENSES AND PERMITS
HOWARD COUNTY

DATE: 4/25/19
BY: [Signature]

☐ SUBJECT TO COMMENTS OF LETTER
☐ SUBJECT TO FIELD INSPECTION
☒ SUBJECT TO COMMENTS ON PLANS
☒ AMENDMENT ☐ FINAL

CC: Health

- REC ROOM W/WET BAR
 - GAME ROOM
 - BEDROOM
 - FULL BATH
 - MEDIA ROOM
 - 2 UNFINISHED STORAGE RM
 - UNFIN. MECH/STORAGE RM
- (SEE EMAIL)

- All bedrooms must
meet egress 4/25/19
Deb

Maryland's Award-Winning Homebuilder.

5485 HARPERS FARM ROAD SUITE 200 COLUMBIA, MARYLAND 21044
410-997-8800 FAX 410-997-4358 • WWW.WILLIAMSBURGLLC.COM • MHRB# 155



The Rutledge
Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia , MD 21044
(410) 997- 8800

B18003848
HEALTH
DEPT

INDEX OF DRAWINGS			
COVER SHEET			
D1	WALL SECTIONS	5A	PARTIAL PLANS ELEV.2
D2	AREAWAY DETAILS	5B	PARTIAL PLANS ELEV.3
D3	GENERAL REQUIREMENTS	5C	PARTIAL PLANS ELEV.4
D4	SHEAR WALL DETAILS & LOCATIONS	5D	PARTIAL PLANS ELEV.5
		5E	PARTIAL PLANS ELEV.6
1A	ELEV. 1 STANDARD	6	SECTION A
1B	ELEV. 1 W/ CONSERVATORY	7	SECTION B
1C	ELEV. 2		
1D	ELEV. 3	8A	TWO STORY ADDITION
1E	ELEV. 4	8B	MORNING RM.
1F	ELEV. 5	8C	CONSERVATORY
1G	ELEV. 6	8D	OPT. SECOND FL. FAMILY RM.
		8E	OPT. ELEVATOR
2A	BASEMENT/FOUNDATION PLAN	8F	OPT. WALL OF WINDOWS
2B	FINISHED BASEMENT PLAN	8G	THREE CAR SIDE LOAD
3A	FIRST FLOOR PLAN	8H	GRADE BEAM DETAILS
4A	SECOND FLOOR PLAN	8I	SEPERATE GARAGE ELEV
		8J	SEPERATE GARAGE PLAN

PROJECT DATA	
CONSTRUCTION:	
GROUND FLOOR	CONCRETE
FIRST FLOOR	WOOD
SECOND FLOOR	WOOD
ROOF	WOOD
WALLS	WOOD
BUILDING AREA:	
FIRST FLOOR:	2780 SQ. FT.
SECOND FLOOR:	2416 SQ. FT.
TOTAL:	5196 SQ. FT.

PROJECT DESIGN CRITERIA	
THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 EDITION FOR ONE AND TWO FAMILY DWELLINGS & ALL STATE AND LOCAL AMENDMENTS. CONSTRUCTION CLASSIFICATION TYPE: 5B (UNPROTECTED) USE GROUP: R3	
2015 IECC CODE COMPLIANCE	
CODE SECTION	STANDARD (MINIMUM)
R301.1 CLIMATE ZONE R401.2 COMPLIANCE METHOD R402.1.1 VAPOR RETARDER:	4A MANDATORY AND PRESCRIPTIVE PROVISIONS WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE IRC 2015 R-49, R-38 WILL SATISFY THE REQUIREMENT IF FULL OVERTHE TOP PLATE @ EAVES (REQUIRES RAISED HEEL TRUSS). R-20 OR R13 + R5 CONTINUOUS INSULATION. R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HIGHT R-19 IN CAVITY IF FINISHED. R-10 FOIL FACED CONTINUOUS BATTS FULL HIGHT, EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL Z-0". R-19 BATT INSULATION
R402.1.2 ATTIC INSULATION-	
R402.1.2 WOOD FRAME WALL R402.1.2 BASEMENT WALL INSULATION:	
R402.1.2 CRAWL SPACE WALL INSULATION:	
R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:	
R402.1.2 WINDOW U-VALUE/ SHGC R402.1.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:	0.35 (U-VALUE) & 0.40 (SHGC) R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER Z-0" HORIZONTALLY OR VERTICALLY. ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49.
R402.2.4 ATTIC ACCESS:	
R402.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL. BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.
R402.4.1.2 BUILDING ENVELOPE TEST OPTION:	
R402.4.2 FIREPLACES	NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.
R402.4.4 FUEL-BURNING APPLIANCES	ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE. EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE. ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.
R402.4.5 RECESSED LIGHTING	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
R403.1.1 THERMOSTAT	SUPPLY & RETURN DUCTS IN ATTIC R-8 MIN. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN.
R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT	ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4.1 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONS. TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQD. IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE.
R403.3.1 MECHANICAL DUCT INSULATION	OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER TO COMPLY WITH TABLE R403.6.1.
R403.3.2 DUCT SEALING	SHALL COMPLY WITH R403.7 A MIN. OF 75% OF ALL LAMPS MUST BE HIGH-EFFICIENCY LAMPS. MIN EFFICIENCY ESTABLISHED BY NAECA. ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.
R403.6 MECHANICAL VENTILATION	
403.6.1 WHOLE HOUSE MECH. VENT SYSTEM FAN EFFICIENCY	
R403.7 EQUIPMENT SIZING	
R404.1 LIGHTING EQUIPMENT	
WATER HEATER	
MECHANICAL TESTING	

BUILDING DATA	
CLIMATE & GEOGRAPHIC DESIGN CRITERIA	
FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	30 PSF
WIND SPEED ULTIMATE	115 MPH EXPOSE C
ATTICS W/O STORAGE	10 PSF
ATTICS W/ STORAGE	20 PSF
HABITABLE ATTICS	30 PSF
STAIRS	40 PSF
DECKS & BALCONIES (EXT)	40 PSF
GUARDHANDRAILS	200# (CONT.)
SEISMIC CATEGORY	B LIGHT FRAME STRUCTURAL W/ SHEAR WALLS
CONCRETE WEATHERING	SEVERE
TERMITE	MODERATE TO HEAVY
DECAY PROBABILITY	MODERATE
ICE UNDERLAYMENT	YES
FROST DEPTH	32"
NOTE: MINIMUM VALUES SHOWN- CONFIRM WITH LOCAL CODE OFFICIAL PRIOR TO CONSTRUCTION.	

GENERAL NOTES

GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION

MISC. NOTES:

1- ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.

2- CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.

3- ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FIXTURES, AND ETC. SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS.

4- PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO FABRICATION.

REVISED 6/17

Drawing: COVER PAGE

Project: WILLIAMSBURG GROUP
THE RUTLEDGE ESTATE HOME

1067 RE

Project No.

Date: 5/15

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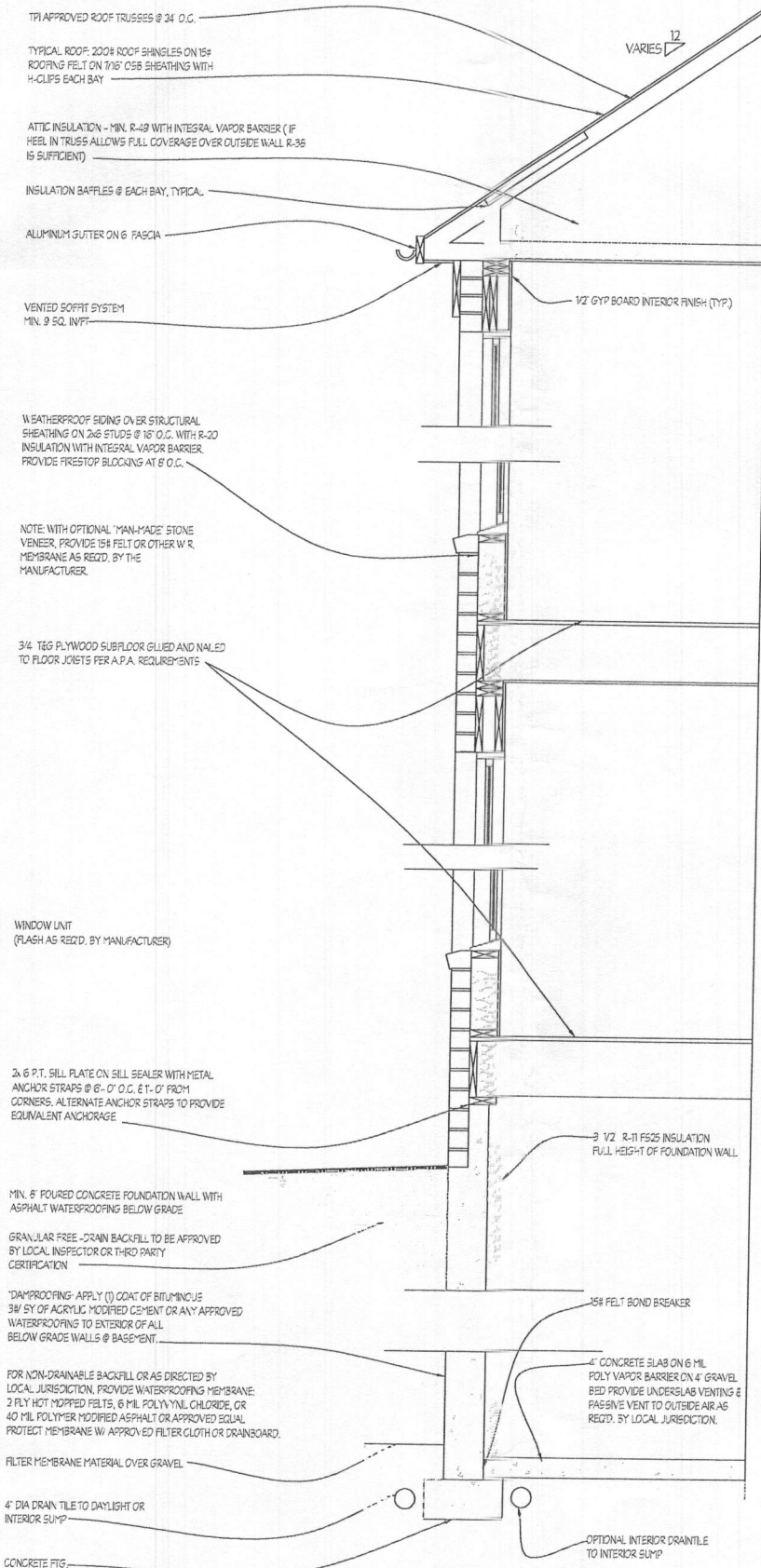
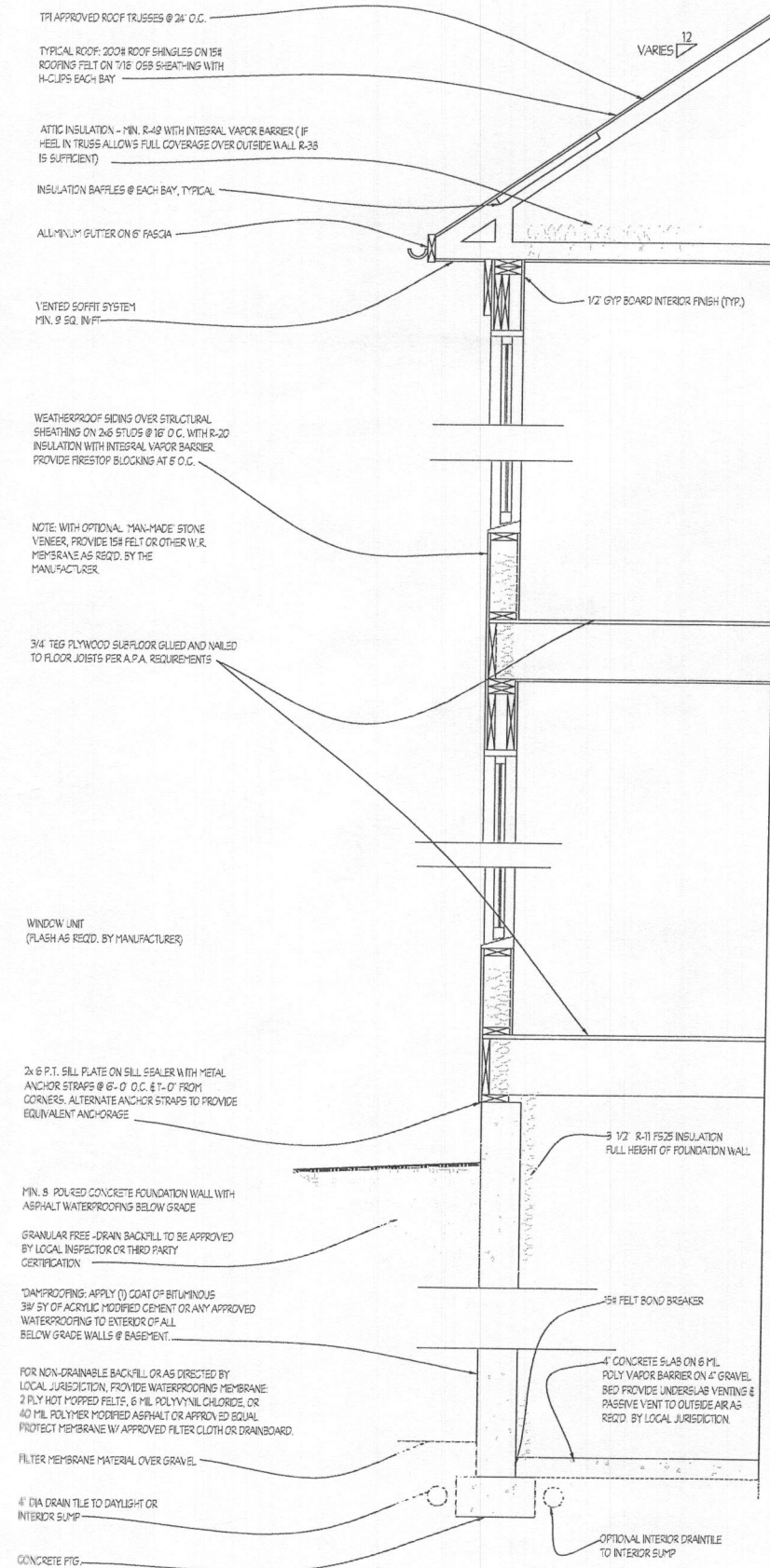
DATE

REVISION

Plymouth Road Architects

640 Plymouth Road, Catonsville, MD 21229 410-788-0281

WF008 12541 Westland Court, Fulton, MD 20759



FOUNDATION DESIGN SCHEDULES

PLAIN CONCRETE WALLS

BASED ON GROUP 1 SOILS (GW, GP, SV, SP)		
WALL THICKNESS	WALL HGT	MAX UNBALANCED FLL
6	6' OR 9'	7
10	6' OR 9'	5

BASED ON GROUP 2 (GM, GC, SM, SM-SC, & ML) GROUP 3

WALL THICKNESS	WALL HGT.	MAX. UNBALANCED FILL
6"	6' OR 9'	6'
10"	5' OR 9'	7'
12"	5' OR 9'	8'

* MIN. 10" WALL THICKNESS W/ BRICK VENEER

PLAIN CONCRETE WALLS

WALL THICKNESS WALL HIGHT MAX UNBALANCED FILL
& REINFORCING

5' W/ #6@24" OC. 9' 5'

10° W/±6255° OC.	5	7
10° W/±616° OC.	9	6
12° W/±632° OC.	5	7
12° W/±645° OC.	9	6

NOTE: PLACE REBAR MIN. 1 1/2" FROM INSIDE WALL FACE

PERIMETER SPREAD FOOTINGS:

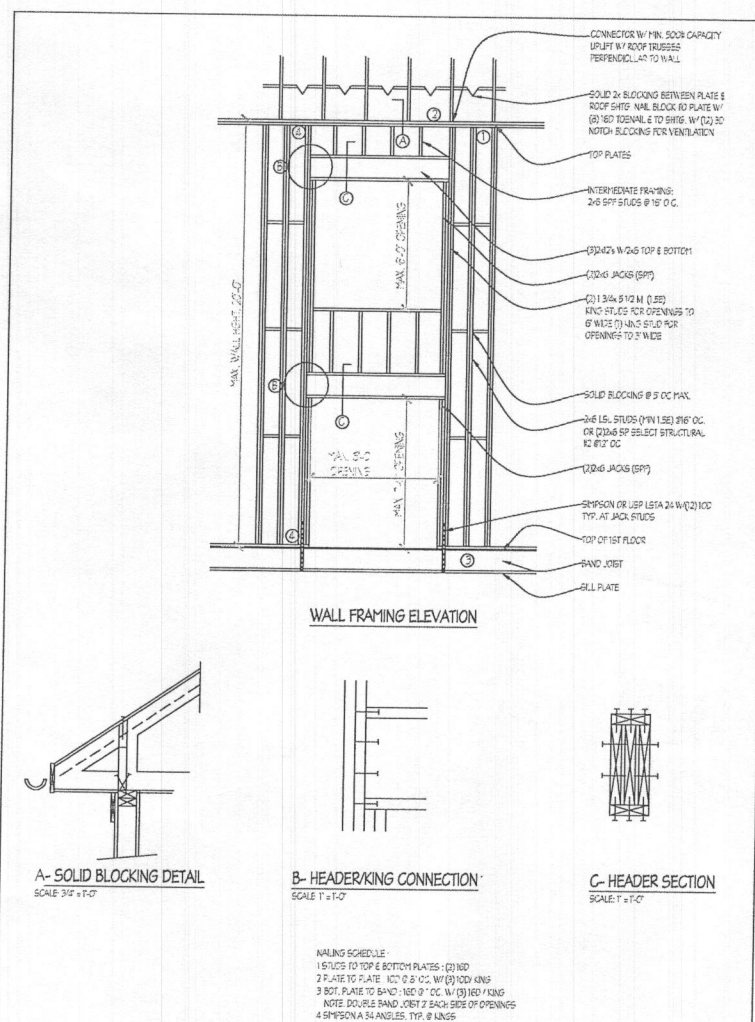
MIN. WIDTHS BASED ON SOIL BEARING CAPACITY NOTED, MIN. THICKNESS IS 6".		
SUPPORTING	1500# PSF SOIL	2000# PSF SOIL
1 FLOOR AND ROOF	16"	16"
2 FLOORS AND ROOF	20"	16"
3 FLOORS AND ROOF	24"	16"
1 FLOOR AND ROOF W/ BRICK	20"	20"
2 FLOORS AND ROOF W/ BRICK	26"	20"
3 FLOORS AND ROOF W/ BRICK	32"	24"

PIER FOOTINGS AND COLUMNS:

MIN. PLAIN CONCRETE FOOTING SIZES BASED ON COLUMN DESIGN LOADS AND SOIL BEARING CAPACITY NOTED.

KEY	MAX. VERT. LOAD	MAX. COLUMN HGHT.	COLUMN SIZE	1500# PSF SOIL FTG.	2000# PSF SOIL FTG.
A	13,400#	100"	3' 11 1/2 ga.	36"x36"x16'	32"x40"x16'
B	17,500#	100"	3.5' 11 ga.	42"x42"x20'	36"x36"x16'
C	21,500#	100"	4' 11 ga.	48"x48"x22'	40"x40"x16'
D	32,400#	100"	3' 5CH 40	56"x56"x26'	50"x50"x26'

NOTE: FTG. DEPTHS MAYBE REDUCED TO MIN. 12" THICKNESS W/ REIN. : #5 BARS @ 8" OC. EACH WAY, 3' FROM BOTTOM



TYP. 2 STORY WALL CONSTRUCTION DETAIL
SCALE: 1/4"=1'-0"

GENERAL REQUIREMENTS

1. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STAIRS, ROOF AND/OR FLOOR TRUSSES.
2. DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATIONS HAVE PRECEDENCE.
3. IN THE EVENT THAT CERTAIN FEATURES OR DETAILS ARE NOT FULLY SHOWN, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. IF A CONFLICT EXISTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE 2 1/4" x 30" ATTIC ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.
6. PROVIDE HANDRAILS 34"-36" ABOVE NOSINGS ON ALL STAIRS. W/ THREE OR MORE RISERS, RETURN RAILS TO WALL OR NEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS. THE FULL LENGTH OF STAIR HANDRAILS MAY BE INTERRUPTED BY A NEWEL AT A TURN. PROVIDE GUARDRAILS AT RAGED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR LEVEL. GLAZES SHALL BE MIN. 36" HIGH (UNLESS NOTED OTHERWISE) AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF 4" SPHERE. HANDRAILS SHALL HAVE MAX. 2 1/2" GRIP CROSS SECTION.
7. PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES, AND MIN-HEIGHT FOR WALLS OVER 9" TALL. IF OPEN W/ FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" GYP. BRD. DRAFTSTOPPING, NOT TO EXCEED 500 S.F. UNLESS DWELLINGS ARE FULLY SPRINKLERED.
8. PROVIDE A MINIMUM OF 6'-9" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7 1/2" AND TREADS SHALL BE AT LEAST 10" WITH NOSINGS, UNLESS LOCAL JURISDICTION REQUIRES OTHERWISE. MAX. RISER AT EXTERIOR DOORS SHALL BE 7 1/2".
9. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS & MOISTURE SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.
10. SLOPE ALL CONCRETE SLOOPS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12 TO DRAIN, OR AS NOTED ON PLANS.
11. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
12. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10 FEET, BUT NO LESS THAN 3' AT POINT OF ROOF PENETRATION.
13. FLOOR JOISTS/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS 4'-10" T, OR PROVIDE TRIPLE PLATES.
14. PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLINGS AND ATTIC WITH MINIMUM 1/2" GYP. BRD. ON GARAGE SIDE, AND 20 MINUTE SELF-CLOSING DOOR. WHEN BENEATH LIVING SPACE INSTALL 5/8" RATED G.R. ON CEILING & ALL SUPPORTING STRUCTURE.

SPECIFICATIONS

1. GENERAL CONDITIONS
2. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE CODES NOTED ON THE COVER SHEET AND ALL APPLICABLE LOCAL, CODES AND ORDINANCES, AND FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
3. ALL CONSTRUCTION SHALL BE CLASSIFIED AS NOTED ON THE COVER SHEET.
4. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

SITE WORK

1. PROVIDE HOUSE NUMBERS CLEARLY VISIBLE FROM THE STREET.
2. EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSUITABLE MATERIAL (PROVIDING LESS THAN 1500 PSF CAPACITY). SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.
3. BACKFILL SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE, MIN. 6" IN FIRST 10' FILL. BENEATH STRUCTURE SHALL BE COMPACTED TO 80% DENSITY AS PER ASTM D1557 METHOD D.
4. PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAIN TILE MAY BE INSTALLED AT THE BUILDERS DISCRETION. PROVIDE PASSIVE UNDER SLAB RADON VENTING W/ MIN. 3" DIA. VENT THRU ROOF WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPROPRIATE F.O.D.E.R.C. SEE NOTE 11.5.
5. APPLY TERRAZZO WITH 2 FEET OF ENTIRE STRUCTURE IN ACCORDANCE WITH LOCAL AND APA STANDARDS. TERRAZZO MUST HAVE A 5 YEAR WARRANTY.
6. EXTREME CARE AND PROPER MEASURES SHALL BE USED WHEN INSTALLING BACKFILL SO AS NOT TO DAMAGE, BULGE, OR TIP WALL, SHORNS, BRACKS, ETC. SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS, ACI-301, ACI-308, & ACI-306.
2. CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI (UNLESS OTHERWISE NOTED).
3. ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI.
4. FOUNDATION WALLS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI FOR MODERATE WEATHER & 2500 PSI FOR SEVERE WEATHER.
5. REINFORCING STEEL SHALL MEET ASTM A-605 AND A-305, MESH: 6x6 - 1/4" W/ W/ ASTM A-955. REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST OR AS NOTED ON COVER SHEET.
6. EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 5% TO 7% AIR ENTRAINED AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI FOR MODERATE WEATHER AND 2500 PSI FOR SEVERE WEATHER.
7. ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE W/ W/ CONTROL JOINTS, OR REEFER REINFORCEMENT, PROVIDED 1/2" EXPANSION MATERIAL AT ALL COLD JOINTS.
8. PROVIDE VAPOR BARRIERS UNDER ALL SLABS, 6 MIL POLYETHYLENE, LAP ALL EDGES 6". LAY OVER A RIGID FILL. THE BOTTOM OF ANY FOOTING SHALL BE PLACED AT MINIMUM FROST DEPTH AS NOTED ON COVER SHEET.
9. FLOURED WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED MIN. 5" FROM SOIL FACE.

VERTICAL MASONRY

1. ALL MASONRY CONSTRUCTION & MATERIAL SHALL CONFORM TO ACI-530-02 & ACI-530-102.
2. THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UNREINFORCED WALLS WHERE BACKFILL SOIL PROVIDES MEDIAN TO ROCK DRAINAGE.

- | TYPE OF WALL | HEIGHT OF FILL | C.M.U. (HOLLOW) | 4'-0" | 5'-0" | 6'-0" |
|--|----------------|-----------------|-------|-------|-------|
| TYPE OF WALL | HEIGHT OF FILL | C.M.U. (HOLLOW) | 4'-0" | 5'-0" | 6'-0" |
| HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING. | | | | | |
| CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90, GRADE 4 SOLID BLOCK OR ASTM C-90, GRADE 8 STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI. | | | | | |
| PARING OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT PARING FROM FOOTING TO FINISHED GRADE. | | | | | |
| MASONRY UNITS: PROVIDE LIGHT WEIGHT PRE-CAST UNITS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4x8 UNITS FOR EACH 4' OF WALL THICKNESS. REINFORCE EACH UNIT WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #2 TIES SPACED 9" O.C., UNLESS OTHERWISE NOTED. PRECAST UNITS TO HAVE MINIMUM 4" BEARING AT EACH END. SUCH UNITS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS. | | | | | |
| USE TYPE 'M' MORTAR FOR MASONRY IN CONTACT WITH EARTH. | | | | | |
| USE TYPE 'S' MORTAR FOR EXTERIOR AND GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED. | | | | | |
| MASONRY VENEER SHALL BE INSTALLED OVER A MOISTURE BARRIER OR APPROVED WATER REPELLENT SHEATHING. THROUGH-WALL FLASHING AND WEEDS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER THE BUILDING ENVELOPE. | | | | | |
| MASONRY VENEER SHALL BEAR ON MIN. 4 LEADS W/ TIES TO BACK-UP AT 24" O.C. HORIZ. & 18" O.C. VERT. 12" FROM EDGE OF OPENINGS. VENEER SHOULD NOT EXCEED 30" ABOVE TOP OF FOUNDATION, EXCEPT GABLE ENDS MAY BE 36" MAX. | | | | | |
| IF BRICK LEADS ARE RECESSED INTO FOUNDATION WALLS, THE RESULTING STEM WALL SHALL BE MIN. 6" THICK FOR CMU WALLS AND 6" FOR ROUNDED IN PLACE WALLS. | | | | | |
| MAINTAIN MIN. 1" AIR SPACE BETWEEN VENEER & SHEATHING. | | | | | |

METALS

1. ALL STRUCTURAL STL. SHALL CONFORM TO ASTM SPECIFICATION A-36.
2. STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING INSPECTOR APPROVED. MINIMUM (3) 1/2" DIA. BOLTS PER SECTION OR PLATING, 12" FROM EACH END WITH INTERMEDIATE BOLTS AT 6'-0" O.C. MAXIMUM STRAP SPACING NOT TO EXCEED MANUFACTURER'S SPECIFICATIONS.
3. METAL JOIST HANGERS SHALL BE USED AT ALL FLUSH CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM. CONNECTORS USED FOR F.T. LUMBER SHALL BE CORROSION RESISTANT AS APPROVED BY THE MANUFACTURER. ALUM. FLASHING SHALL BE USED IN DIRECT CONTACT WITH F.T. LUMBER.
4. NAILS: USE NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURER'S RECOMMENDED STANDARD.
5. VENEER TIES SHALL BE 1/2" WIDE, 22GA. GALVANIZED STEEL. INSTALLED 24" O.C. HORIZONTALLY AND 18" O.C. VERTICALLY.
6. PROVIDE STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRCK OR BRCK FACED MASONRY WALLS 50 IF NOT SPECIFICALLY DETAILED. PROVIDE (1) STEEL ANGLE FOR EACH 4' OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END. HORIZONTAL LED SHALL BE 1/2" UNLESS OTHERWISE SHOWN.
7. LINTEL SCHEDULE (UNLESS OTHERWISE NOTED ON PLANS):
L-1 3/8" x 3/8" x 1/8" STEEL ANGLE UP TO 9' OPG.
L-2 4" x 3/8" x 1/8" STEEL ANGLE 3' TO 9' OPG.
L-3 5" x 3/8" x 1/8" STEEL ANGLE 9' TO 6'-6" OPG.
L-4 6" x 3/8" x 1/8" STEEL ANGLE UP TO 9' OPG.
8. UNITS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
9. ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED AND PAINTED.
10. COAT ALL FERROUS METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS, WITH RUST INHIBITING PAINT.
11. ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT MODEL CODE STANDARDS IN O.D. SIZE SPECIFIED.
12. WOOD PLATE ATTACHMENT TO STEEL MEMBS SHALL BE WITH 1/2" DIA. BOLTS AT 24" SPACED 9" O.C.

WOOD

1. ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE CONSTRUCTION MANUAL OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND STOREN DRY LOCATION.
2. PRESSURE TREATED LUMBER SHALL CONFORM WITH ANPA-J16 M4 FOR THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE. JOISTS AND GIRDERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HIGH PIR AND SPRUCE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES ONLY. MAX. MOISTURE CONTENT SHALL NOT EXCEED 19%.
3. PROVIDE DOUBLE SOLID JOISTS UNDER ALL PARALLEL PARTITIONS OVER 9'-0" IN LENGTH UNLESS MANUFACTURER'S SHOP DRAWINGS SHOW OTHERWISE.
4. WHEN ENGINEERING BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSB, THEY ARE INTERCHANGEABLE. (JOIN. PSB + 2500 PSB NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECT'S APPROVAL. ALL SUCH BEAMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. BEARING WALL STUDS SHALL BE MINIMUM 6"X12" GRADE KD OR BETTER AT 16" O.C. LAP ALL DOUBLE TOP PLATE JOINTS 4" MIN. OF 24".
6. EXTERIOR WALLS, UP TO 10' SUPPORTING (1) FLOOR & ROOF MAY BE 2x4 @ 16" O.C. SUPPORTING (2) FLOORS AND ROOF SHALL BE 2x6 @ 16" O.C. COMPLY W/ IRC-602.3.
7. INTERIOR NON-BEARING WALLS MAY BE 5/8" @ 24" STUDS, 24" O.C.
8. LATERAL WALL BRACING SHALL BE PROVIDED BY CONTINUOUS, APPROVED STRUCTURAL SHEATHING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
9. ALTERNATIVE WALL BRACING MUST COMPLY W/ SECTION 602.2 OF THE IRC.
10. RAFTERS: SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.

THERMAL & MOISTURE PROTECTION

1. WATERPROOFING: APPLY (1) COAT OF BITUMINOUS 3# SY OF ACRYLIC MODIFIED CEMENT OR ANY APPROVED WATERPROOFING TO EXTERIOR OF ALL BELOW GRADE WALLS AT BENT CONDITIONS.
2. SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET WHERE NOTED ON DRAWINGS. OVERLAY ALL EDGES & JOINTS WITH 15" x 15" COMPRESSIBLE PREPARED BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED SILL SEALER.
3. PROVIDE APPROVED CORROSION-RESISTANT FLASHING AT THE INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION, OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC. ARE ATTACHED TO WOOD FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS IN ROOF WALLS, AT ALL ROOF PENETRATIONS, AND AT WALL PENETRATIONS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER.
4. UNLESS OTHERWISE SPECIFIED ON DRAWINGS, PROVIDE AND INSTALL THERMAL INSULATION AS SHOWN ON THE COVER SHEET. ALL INSULATION SHALL INCLUDE AN INTERNAL VAPOR BARRIER POSITIONED IN DIRECT CONTACT WITH THE WARM SIDE OF THE WALL OR FLOOR. EXPOSED INSULATION IN UNFINISHED SPACES SHALL HAVE A MIN. 15'-25" R-VALUE. BLOCK OR SPRAYED INSULATION SHALL BE INSTALLED PERMANENTLY INSULATION WHEN R.V. GRADE IS LESS THAN 12' ABOVE SLAB.
5. ROOFING: UNLESS NOTED OTHERWISE, ROOFING SHALL BE MIN. CLASS C FIBERGLASS BASED ASPHALT BASED ASPHALT SHINGLES ON 1/2" 1/2" FELT. ATTACH STRIP SHINGLES W/ MIN. OF 4 FASTENERS, SAVE FLASHING TO A POINT 30" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE INSTALLED AT THE OWNER'S DISCRETION OR AS SPECIFIED ON THE COVER SHEET. USE DOUBLE UNDERLAYMENT FOR ROOF SLOPES LESS THAN 4:12 PITCH.
6. PROVIDE AND INSTALL CONTINUOUS STRUCTURAL WOOD PANEL SHEATHING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MODEL CODE REQUIREMENTS. PROVIDE FINISH MATERIAL AS SHOWN ON DRAWINGS AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALL OVER 1/4" FELT OR EQUIVALENT WEATHER RESISTIVE MATERIALS, AIR INTRUSION BARRIER OR MOISTURE RESISTANT SHEATHING MEETING ASTM D715 STANDARDS.
7. GUTTERS SHALL BE .032 PREFINISHED ALUMINUM GUTTERS WITH .032 PREFINISHED ALUMINUM LEADERS. LEAD TO DRAIN BLOCKS OR AS REQUIRED BY THE LOCAL JURISDICTION. COORDINATE WITH SITE PLAN.
8. PROVIDE SOFT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/4" O.C. VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BATTLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW. ALL REVERSE GABLES SHALL BE OPEN TO MAIN ROOF ATTIC TO ALLOW FREE AIR FLOW.

DOORS AND WINDOWS

1. THE CONTRACTOR SHALL VERIFY & COORDINATE ROUGH OPENINGS FOR ALL DOORS & WINDOWS PRIOR TO START OF CONSTRUCTION. INSTALLATION SHALL BE IN ACCORD W/ MANUFACTURER'S INSTRUCTIONS.
2. EACH SLEEPING ROOM AND BASEMENT SPACE (UNLESS AMENDED OTHERWISE BY LOCAL JURISDICTION) SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 5.7 S.F. (4.4 S.F. AT GRADE CONDITIONS) OF NET CLEAR OPENING AS CERTIFIED BY THE MANUFACTURER. PERS. WITH ALL SILL HEIGHT NOT MORE THAN 44" A.F.F. OR OTHER CLEAR DIRECT MEANS OF EGRESS TO THE OUTSIDE WINDOW WELLS, IF REQUIRED, SHALL BE MIN. 3' x 3'.
3. SAFETY (TEMPERED) GLAZING SHALL BE PROVIDED IN:
 - GLASS DOORS, & SIDELIGHTS
 - SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6" OF TUB
 - GLAZING ON STAIR LANDINGS
 - FIXED PANELS GREATER THAN 9 S.F., WITHIN 5' A.F.F.
 - GLAZING WITHIN 12' OF A STAIR RAILING
 - GLAZING WITHIN 24" RADII OF CLOSED DOORS
4. IF APPLICABLE, PROVIDE SELF-CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1/2" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MIN. RATING.

FINISHES

1. DRYWALL: 1/2" TAPERED EDGE GYPSUM BOARD APPLIED, TAPERED AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION.
2. 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA, AFFLUX ON GARAGE SIDE PER THE PLANS, OR IN MANUFACTURER'S ACCEPTABLE TO LOCAL JURISDICTION.
3. IF APPLICABLE AND AS SHOWN ON THE DRAWINGS, PROVIDE FIRE RESISTANT RATED ASSEMBLIES AS DETAILED FOR PARTIAL WALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.
4. UNLESS NOTED OTHERWISE ON THESE DRAWINGS, PROVIDE 1/2" GYPSUM BOARD IN ALL INTERIOR WALLS AND DOOR JACK STILES SHALL BE MIN. 5/8" X 2 1/2" X 1/2" OF SIZE SPECIFIED ON DRAWINGS. OPENINGS 3' OR LESS SHALL HAVE 2" MIN. (2) AND HEADERS, UNLESS NOTED OTHERWISE ON THESE DRAWINGS.
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60. UNLESS NOTED OTHERWISE ON THESE DRAWINGS, PROVIDE 1/2" GYPSUM BOARD IN ALL INTERIOR WALLS AND DOOR JACK STILES SHALL BE MIN. 5/8" X

INTERIOR ELEVATION

TWO SIDED NARROW WALL PORTAL FRAME
EXTERIOR ELEV. DIRECT TO FOUNDATION

EXTERIOR ELEV. OVER RAISED FLOOR

ONE SIDE PORTAL FRAME FOR
SEISMIC DESIGN A,B AND C AT GARAGE

NARROW WALL PORTAL DETAILS - TYPE 1

NARROW WALL BRACING DETAILS

NOTE: PORTAL FRAME ARE DESIGNED TO REPLACE THE REQ'D BRACED WALL SEGMENT UP TO 40' LONG, FOR 9FT. WALL & 37' FOR 10FT. WALL ADJACENT TO 82% OPENING. LOCATIONS AND SPACING TO FOLLOW IBC REQUIREMENTS.

LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL

A. LINEAR INTERPOLATIONS SHALL BE PERMITTED

9. FULL-HEIGHT SHEATHED WALL SEGMENTS TO EITHER SIDE OF GARAGE OPENINGS THAT SUPPORT LIGHT FRAME ROOFS ONLY, WITH ROOF COVERING DEAD LOADS OF 3PSF OR LESS SHALL BE PERMITTED TO HAVE A 4:1 ASPECT RATIO.

MINIMUM LENGTH OF BRACED WALL PANEL (INCHES)			MAXIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% OF WALL HEIGHT)
48	54	60	100%
32	36	40	85%
24	27	30	65%

NOTE:

WALL BRACING

ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION. IN ADDITION, INTERIOR BRACED WALL LINES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R602.10.1.1. FOR BUILDINGS IN SEISMIC DESIGN CATEGORIES, D1 AND D2, WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADDITIONAL REQUIREMENTS OF R602.10.9, R602.10.11, AND R602.11.

R602.10.1

BRACED WALL LINES SHALL CONSIST OF BRACED WALL PANEL CONSTRUCTION METHODS IN ACCORDANCE WITH SECTION R602.10.3. THE AMOUNT AND LOCATION OF BRACING SHALL BE IN ACCORDANCE WITH TABLE R602.10.1 AND THE AMOUNT OF BRACING SHALL BE THE GREATER OF THAT REQUIRED BY THE 585-MI DESIGN CATEGORY OR THE DESIGN WIND SPEED. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 12" (305 MM) FROM EACH END OF A BRACED WALL LINE. BRACED WALL PANELS THAT ARE COUNTED AS PART OF A BRACED WALL LINE, EXCEPT THAT OFFSETS OUT-OF-PLANE OF UP TO 4 FEET (1219 MM) SHALL BE PERMITTED PROVIDED THAT THE TOTAL CUT TO OUT OFFSET DIMENSION IN ANY BRACED WALL LINE IS NOT MORE THAN 6 (1524 MM). A DESIGNED COLLECTOR SHALL BE PROVIDED IF THE BRACING BEGINS MORE THAN 17 (3558 MM) FROM EACH END OF A BRACED WALL LINE.

R602.10.1.1 SPACING:

SPACING OF BRACED WALL LINES SHALL NOT EXCEED 35' (10,668 MM) ON CENTER IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IN EACH STORY

EXCEPTION

SPACING OF BRACED WALL LINES NOT EXCEEDING 50' SHALL BE PERMITTED WHERE:

1. THE WALL BRACING PROVIDED EQUALS OR EXCEEDS THE AMOUNT OF BRACING REQUIRED BY TABLE R602.10.1 MULTIPLIED BY A FACTOR EQUAL TO THE BRACED WALL LINE SPACING DIVIDED BY 35, AND

NOTE: NAIL BRACING DESIGN, AS REQUIRED BY SECTION 502.0.2 OF THE IRC HAVE BEEN SATISFIED BY THE ALTERNATIVE CONTINUOUS STRUCTURAL PANEL SHEATHING METHOD (502.0.5) AND NAILING WILL PERFORM BRACING REFER TO MIN. CORR. JOINT DETAILS THE SHEET. ADDITIONALLY, ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(3) OF THE INTERNATIONAL RESIDENTIAL CODE, AND THE MANUFACTURER'S RECOMMENDATIONS IN THE CASE OF ENGINEERED COMPONENTS. MIN. NAIL BRACED WALL LENGTHS ARE BASED ON THE TABLE BELOW.

HINDUUS LENGTH OF BRACED WALL SIZES									
PAX ADJACENT OPENING HINDU SIZES (INCH)	60"	66"	68"	72"	76"	82"	84"	108"	FULL HEIGHT
50 WIND WALL	50 WIND WALL	50 WIND WALL	50 WIND WALL	60 WIND WALL	66 WIND WALL	DOOR	W/DOOR	W/DOOR	
36"	26"	26"	26"	26"	32"	32"	46"	N/A	46"
27"	27"	27"	27"	37"	37"	37"	37"	43"	54"
30"	30"	30"	30"	37"	37"	37"	37"	46"	60"

PORTAL DESIGN MAY NOT BE SUITABLE

* PORTAL DESIGN MAY NOT BE SUBSTITUTED

OUTSIDE CORNER DETAIL
not to scale

GARAGE CORNER DETAIL
not to scale

INSIDE CORNER DETAIL
not to scale

ALL BRACED EXTERIOR WALLS SHALL BE MIN. 7/8" OSB PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS 2 1/2" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. GULF PLATES SHALL BE FASTENED TO JOIST OR RIGID BLOCKING WITH 3/4" X 4" X 1/8" O.C. 2" PLUGS TO PLATE OR SILL W/ 2 1/2" X 4" O.C. 10d NAIL. ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL. INTERIOR BRACED WALLS SHALL BE MIN. 1/2" GYP. BD. APPLIED TO EACH SIDE OF FRAMING W/ ADHESIVE AND 8d OR 9d SCREENS @ 24" O.C.

FIRST FLOOR PLAN

NOTE: METHOD CS-WSP
(continuously sheathed wood
structural panel)
wind speed ≤ 115

SECOND FLOOR PLAN

NOTE: METHOD CS-WSP
(continuously sheathed wood
structural panel)
wind speed ≤ 115

REVISÉD 6/17

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]

Date: 5/15

Scale: N.A.

Drawn: TIM

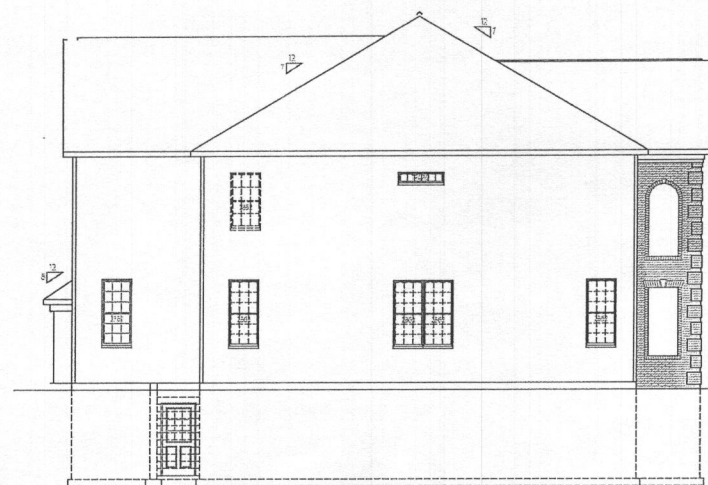
Drawing: SHEAR WALL DETAILS

Project: WILLIAMSBURG GROUP

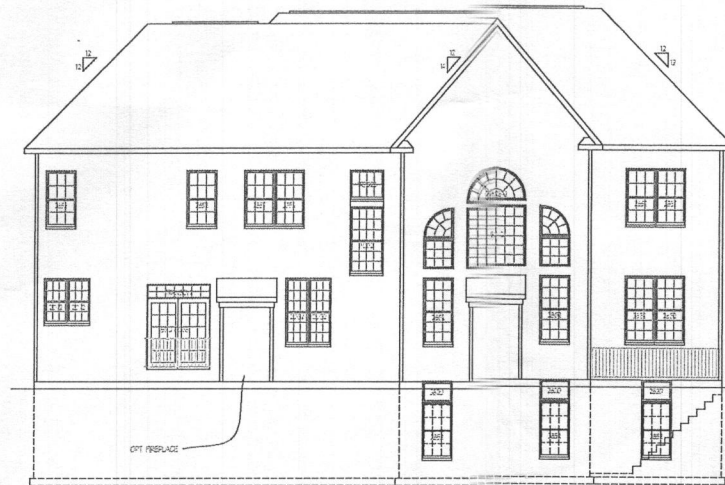
THE RUTLEDGE
ESTATE HOME

1067 RE
Project No.

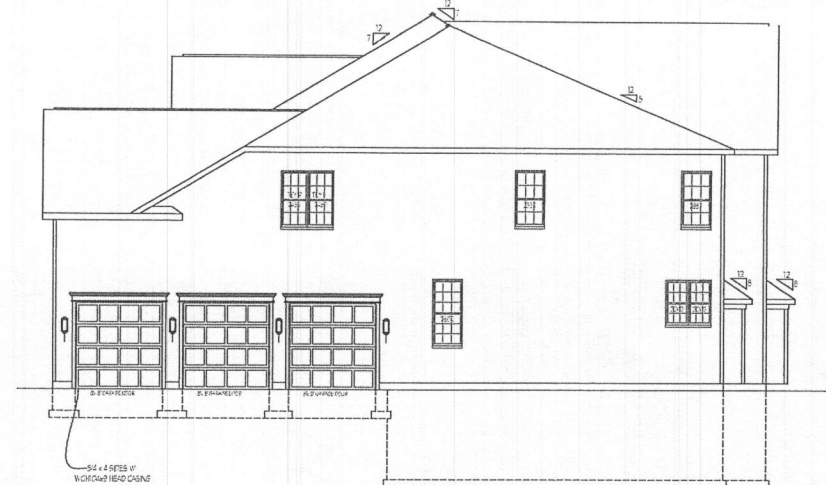
(D4)



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION #5
SCALE: 1/4" = 1'-0"

REVISED 7/18

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE: REVISION: DATE: REVISION:

Date: 5/15

Scale: NOTED

Drawn: TIM

Checked:

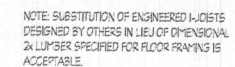
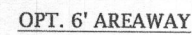
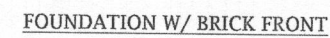
Drawing: ELEVATION 5

Project: WILLIAMSBURG GROUP

THE RUTLEDGE ESTATE HOMES

1067RE
Project No.

1f



REVISED 1/17

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[illegible]

Date: 5/15

Scale: 1/4"=1'-0"

Drawn: TIM

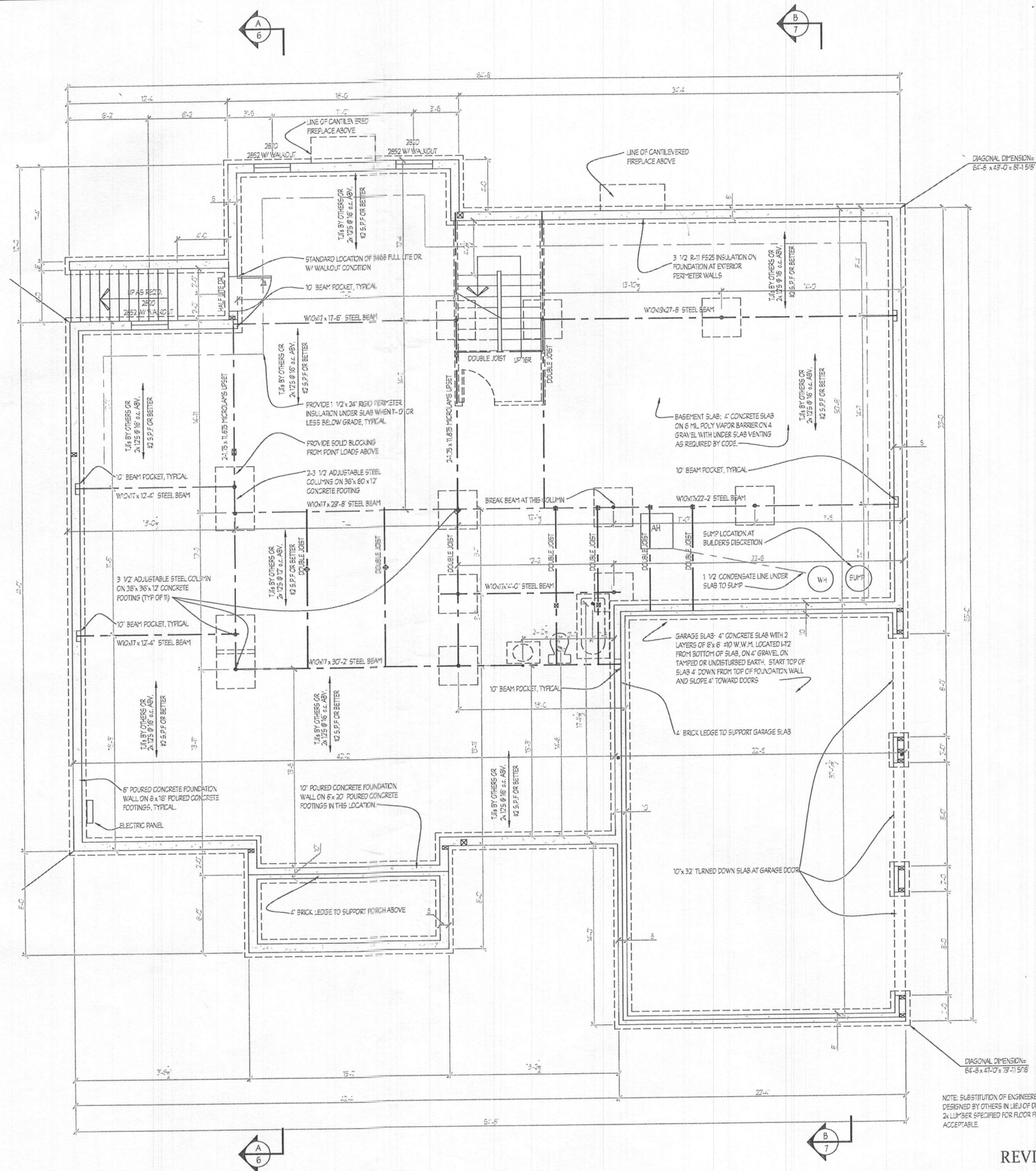
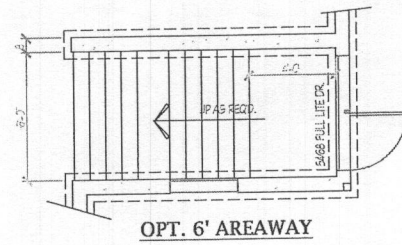
Drawing: BSMT/FOUNDATION PLAN

Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

1067RE
Project No.

2a

FOUNDATION W/ BRICK FRONT



NOTE: SUBSTITUTION OF ENGINEERED JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.

REVISÉD 1/17

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]

Date: 5/15

Scale: 1/4"=1'-0"

Drawn: TIM

Drawing: BSMT/FOUNDATION PLAN

Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

1067RE
Project No.

2a

DATE	REVISION
8/15	added 1st stair

Date: 5/15
Scale: 1/4" = 1'-0"
Drawn: TIM

Drawing: FIRST FLOOR PLAN
Project: WILLIAMSBURG GROUP
THE RUTLEDGE ESTATE HOME

1067RE
Project No.

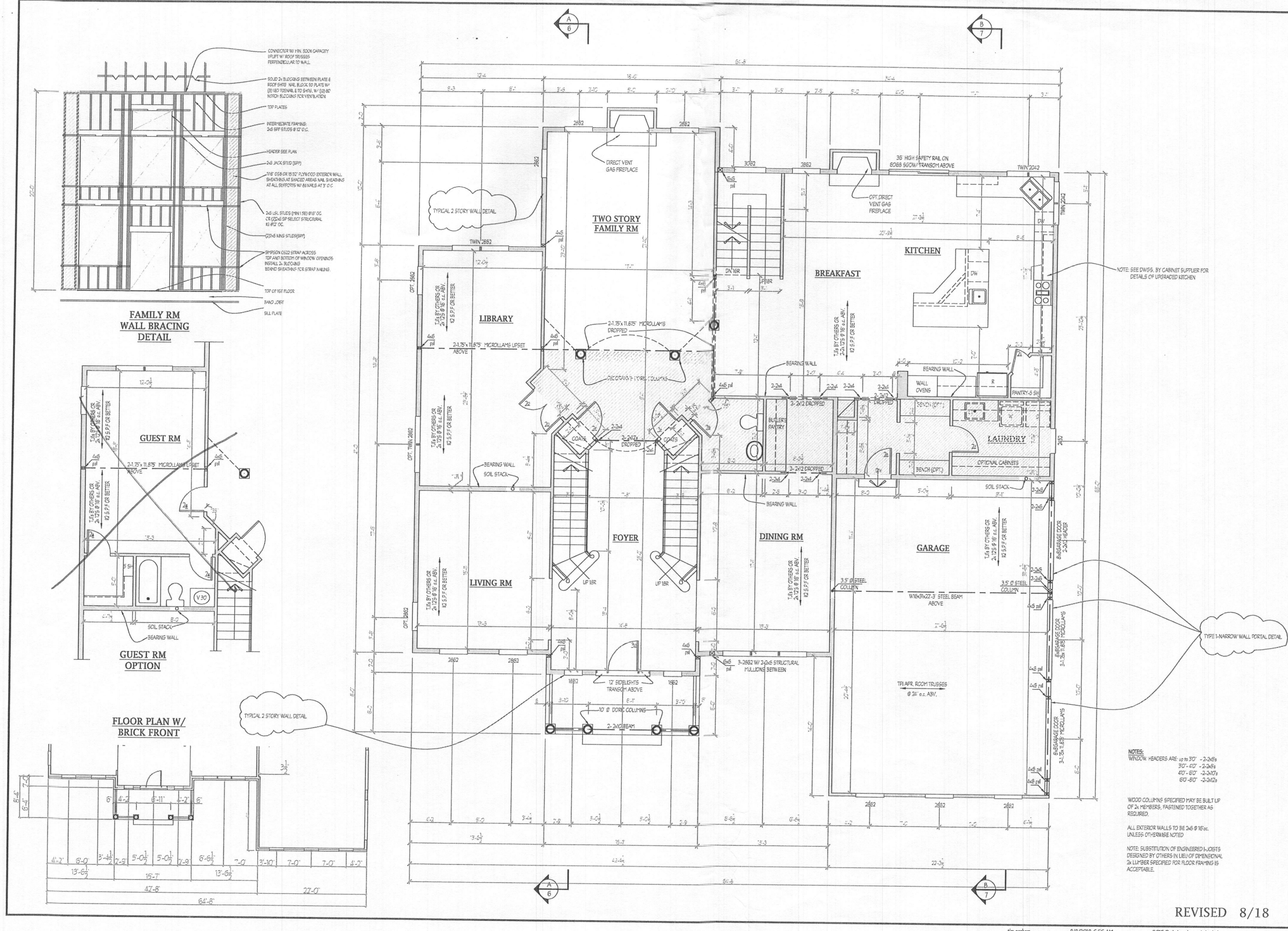
REVISED 8/18

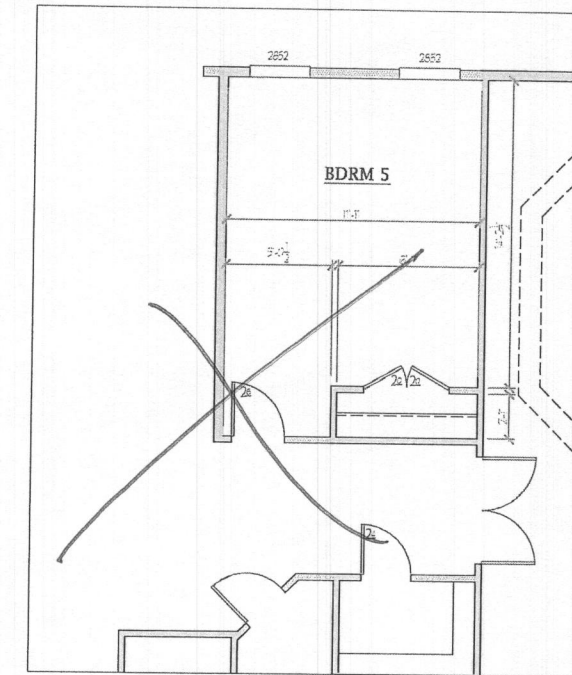
NOTES:
WINDOW HEADERS ARE:
30" - 2x6s
36" - 2x8s
42" - 2x10s
60" - 2x12s

WOOD COLUMNS SPECIFIED MAY BE BUILT UP
OF 2x MEMBERS, FASTENED TOGETHER AS
REQUIRED.

ALL EXTERIOR WALLS TO BE 2x6 @ 16" o.c.
UNLESS OTHERWISE NOTED.

NOTE: SUBSTITUTION OF ENGINEERED JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.





NOTES:
WINDOW HEADERS ARE: up to 30" - 2-2x6s
30"-40" - 2-2x8s
40"-60" - 2-2x10s
60"-60" - 2-2x12s

WOOD COLUMNS SPECIFIED MAY BE BUILT UP OF 2x MEMBERS, FASTENED TOGETHER AS REQUIRED.

ALL EXTERIOR WALLS TO BE 2x6 @ 16" oc
UNLESS OTHERWISE NOTED

NOTE: SUBSTITUTION OF ENGINEERED JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.

NOTE: MASTER EDRM
GETS 2'-6" SHORTER IN
THIS PLAN

REVISED 7/18

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]

Date: 5/15

Scale: 1/4"=1'-0"

Drawn: TIM

Drawing: SECOND FLOOR PLAN

Project: WILLIAMSBURG GROUP
THE RUTLEDGE
ESTATE HOME

1067 RE
Project No.

4

DATE	REVISION	DATE	REVISION
11/10/10	PORTAL WALL DETAIL		

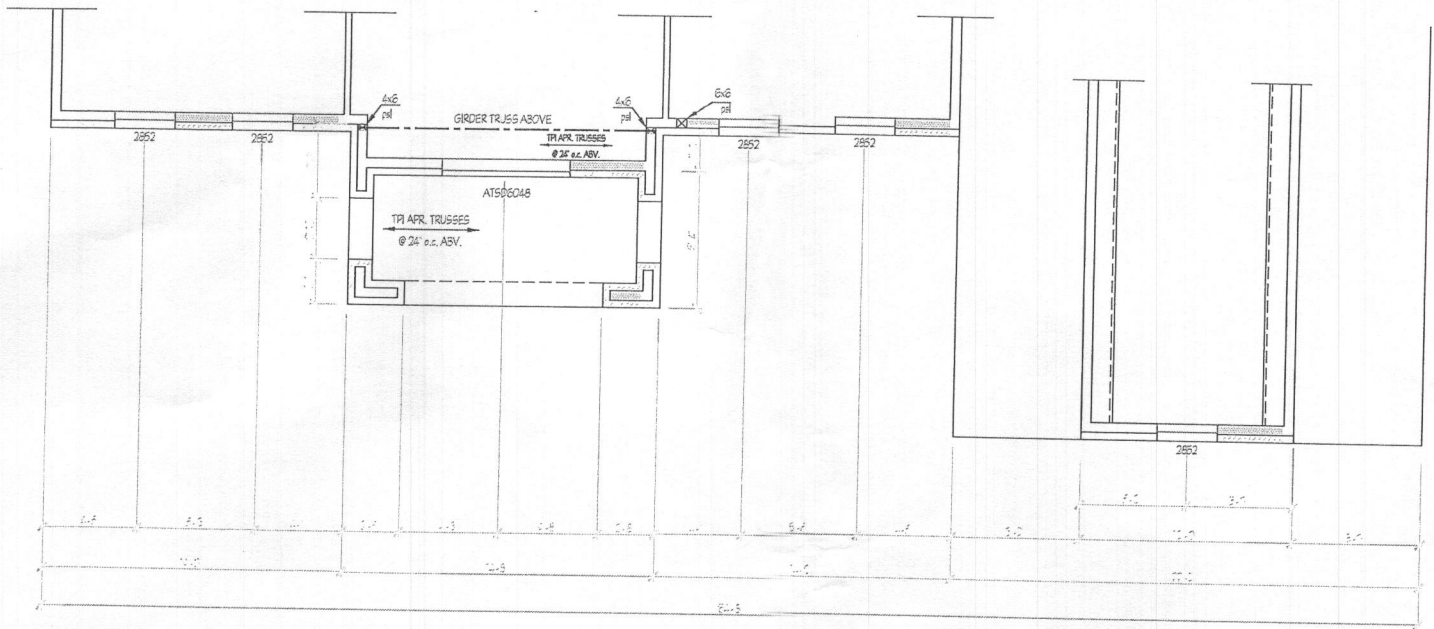
Date: 5/15
 Scale: 1/4" = 1'-0"
 Drawn: TIM

Drawing: PARTIAL PLANS- ELEVATION 5
 Project: WILLIAMSBURG GROUP
 THE RUTLEDGE
 ESTATE HOME

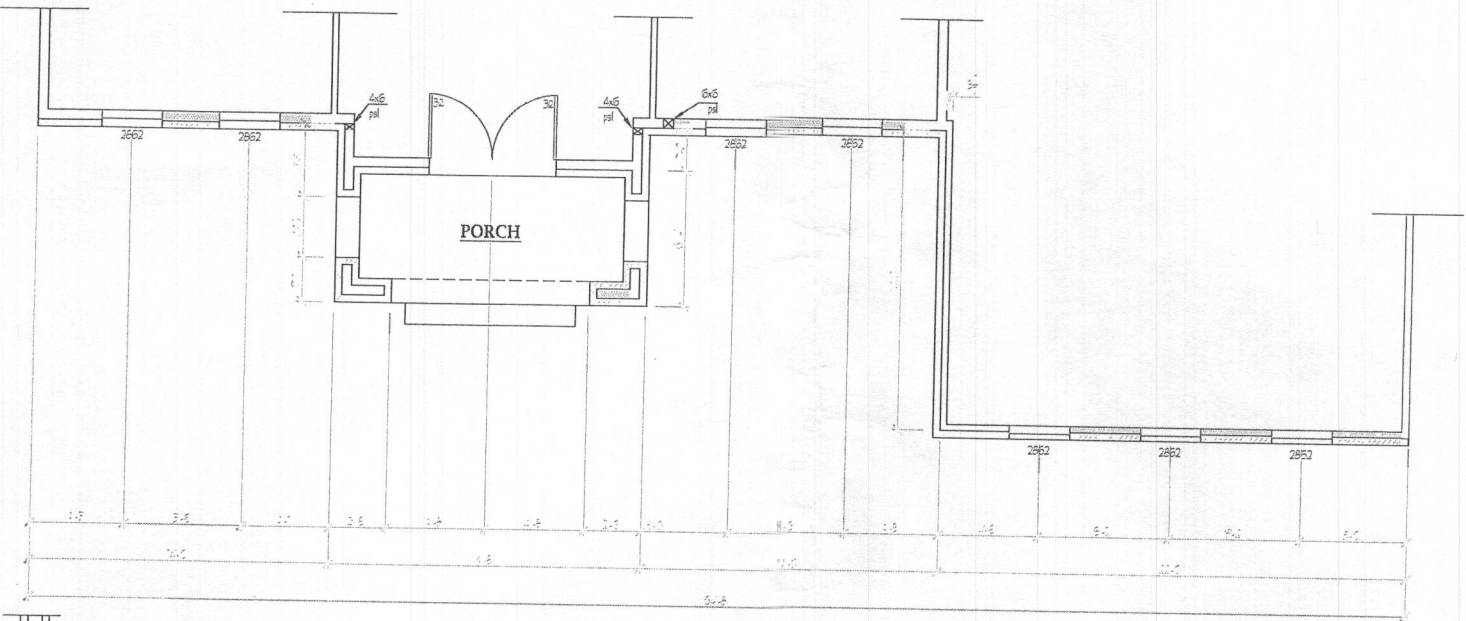
1067 RE
 Project No.

5e

PARTIAL SECOND FLOOR PLAN
 ELEVATION #5

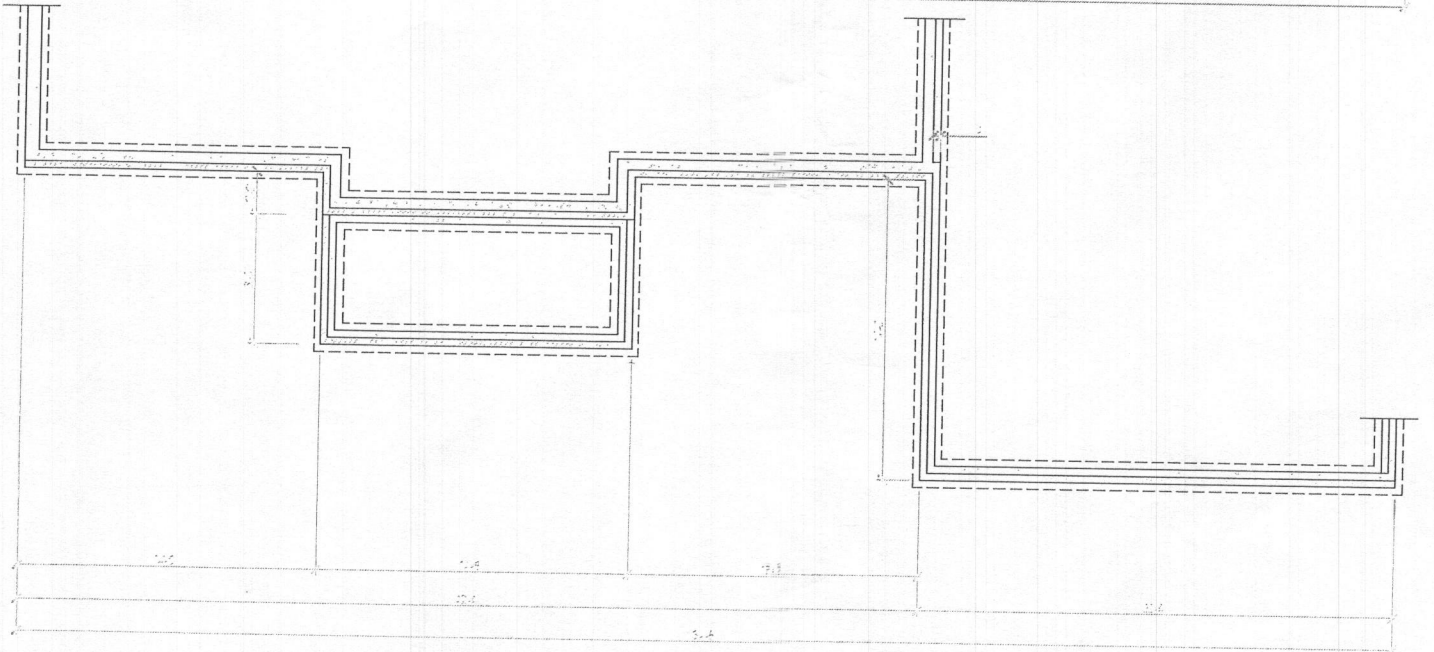


PARTIAL FIRST FLOOR PLAN
 ELEVATION #5



OVERALL DEPTH -41'-0"
 41'-4" W/ BRICK FRONT
 41'-8" W/ BRICK ALL 4 SIDES

PARTIAL FOUNDATION PLAN
 ELEVATION #5



NOTES:
 WINDOW HEADERS ARE:
 30" - 30" - 2-2x6's
 30" - 40" - 2-2x6's
 40" - 60" - 2-2x10's
 60" - 80" - 2-2x12's

ALL HEADERS IN BEARING WALLS ARE 2-2x12's
 UNLESS NOTED OTHERWISE

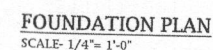
WOOD COLUMNS SPECIFIED MAY BE BUILT UP
 OF 2x MEMBERS, FASTENED TOGETHER AS
 REQUIRED.

ALL EXTERIOR WALLS TO BE 2x6 @ 16" oc.
 UNLESS OTHERWISE NOTED

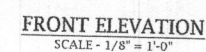
NOTE: SUBSTITUTION OF ENGINEERED L-BOARDS
 DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
 ACCEPTABLE

STEEL COLUMNS TO SUPPORT GARAGE BEAM
 ARE STANDARD WEIGHT PIPE COLUMNS ASOT
 OR A53 GRADE B, TO CARRY 13,000 LBS

REVISED 11/15



NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL
2x LUMBER SPECIFIED FOR FLOOR FRAMING IS
ACCEPTABLE.



Plymouth Road Architects
640 Plymouth Road Baltimore, MD 21229
Phone: 410-788-0281 arch@plymouth-road.com

Notes: ALL WALLS STANDARD
PORTAL FRAME

Drawing: OPTIONAL CONSERVATORY

Project: WILLIAMSBURG GROUP

Project No.: 1067 RE

Date: 5/15

Scale:NOTED

8c

REVISÉD 5/17

