



JOY
SHA

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2018 AUG 8 PM 1:14

Date Received: _____

Permit No.: **B18002802**

Building Address: 13091 Williamfield Dr
City: Ellicott City State: MD Zip Code: 21042
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: Rosemary Estates
Lot: 25 D Tax Map: 22 Parcel: 504

Existing Use: SFD
Proposed Use: SFD
Estimated Construction Cost: \$ \$20000 \$50000
Description of Work: Const 32x24 ATTACHED GARAGE
ON SIDE OF EX SFD, And interior renovation
TO EX GARAGE TO make new bedroom, Full bath, sitting
room and storage. Renovate ex. laundry room
MASTER BATH, AND MASTER CLOSET.
Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: owner
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Linda + Tim Bull Sock
Address: 13091 Williamfield Dr
City: Ellicott City State: MD Zip Code: 21042
Phone: 410-405-6972 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Michelle Clancy
Address: PO Box 310
City: Arroyo Hall State: MD Zip Code: 21118
Phone: 413-610-7514 Fax: _____
Email: Michelle@AppliedandApproved.com

Contractor Company: Lewis + Associates Contracting
Contact Person: Paul Lewis
Address: 16118 Pine Knob Rd
City: Sykesville State: MD Zip Code: 21794
License No.: 106698
Phone: 413-654-6180 Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: Contractor
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: <u>32</u> <u>24</u>
Area of construction (sq. ft.):	2nd floor:
Use group:	Basement:
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
Other:
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Michelle Clancy
Email Address: Michelle@AppliedandApproved.com
Title/Company: owner

Print Name: Michelle Clancy
Date: 8/1/18

RECEIVED
AUG 08 2018
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

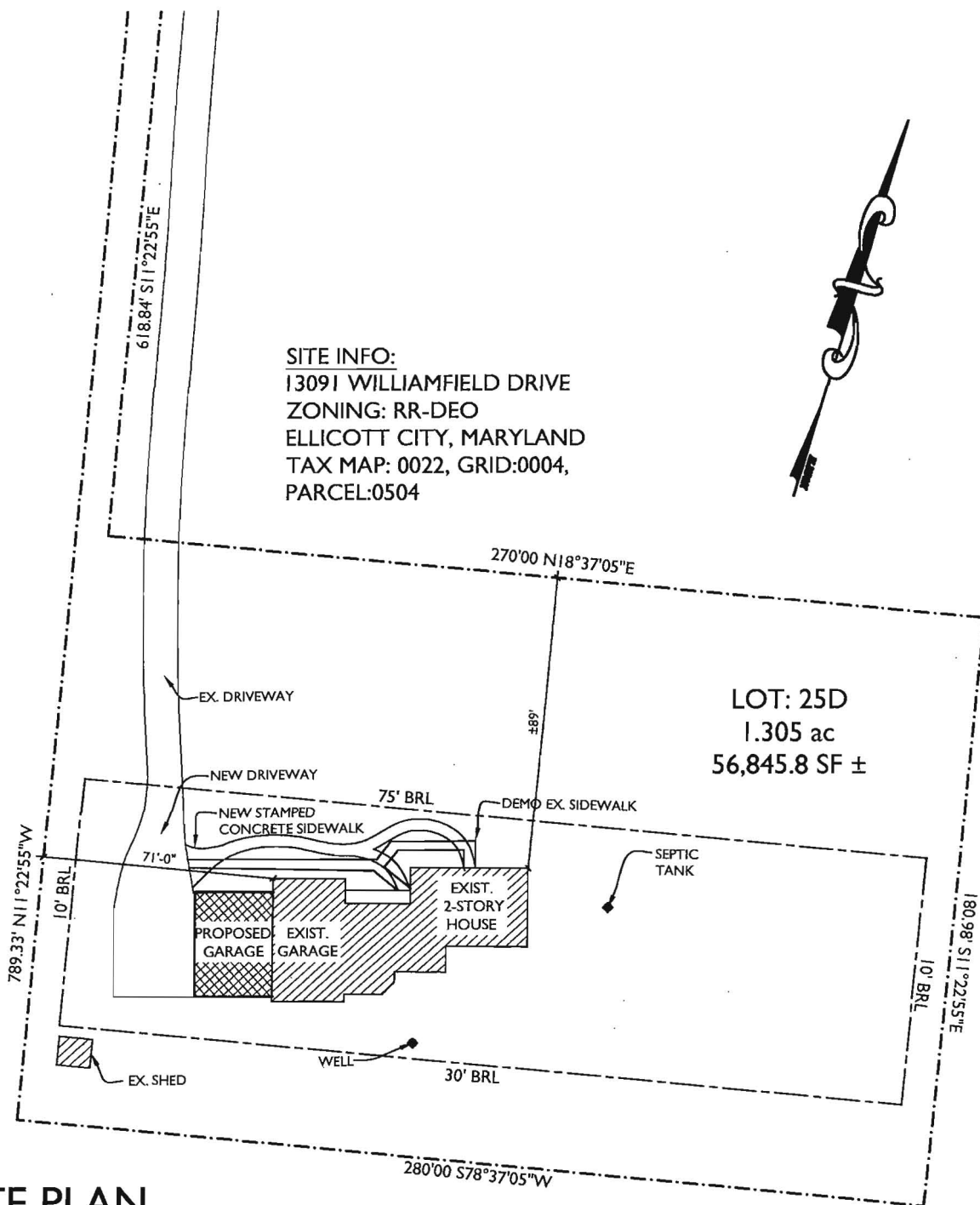
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/22/2018</u>	<u>Paul Lewis</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>6734</u>

SITE INFO:
 13091 WILLIAMFIELD DRIVE
 ZONING: RR-DEO
 ELLICOTT CITY, MARYLAND
 TAX MAP: 0022, GRID:0004,
 PARCEL:0504



SITE PLAN

SCALE: 1"=50'-0"



7612 Browns Bridge Rd
 Highland, MD 20777
 301-776-2666
 301-776-2886 fax
 info@TransformingArchitecture.com
 www.TransformingArchitecture.com

SOULE RESIDENCE

13091 WILLIAMFIELD DRIVE
 ELLICOTT CITY, MD 21042

SITE PLAN

SCALE: AS NOTED

DATE: 06-13-18

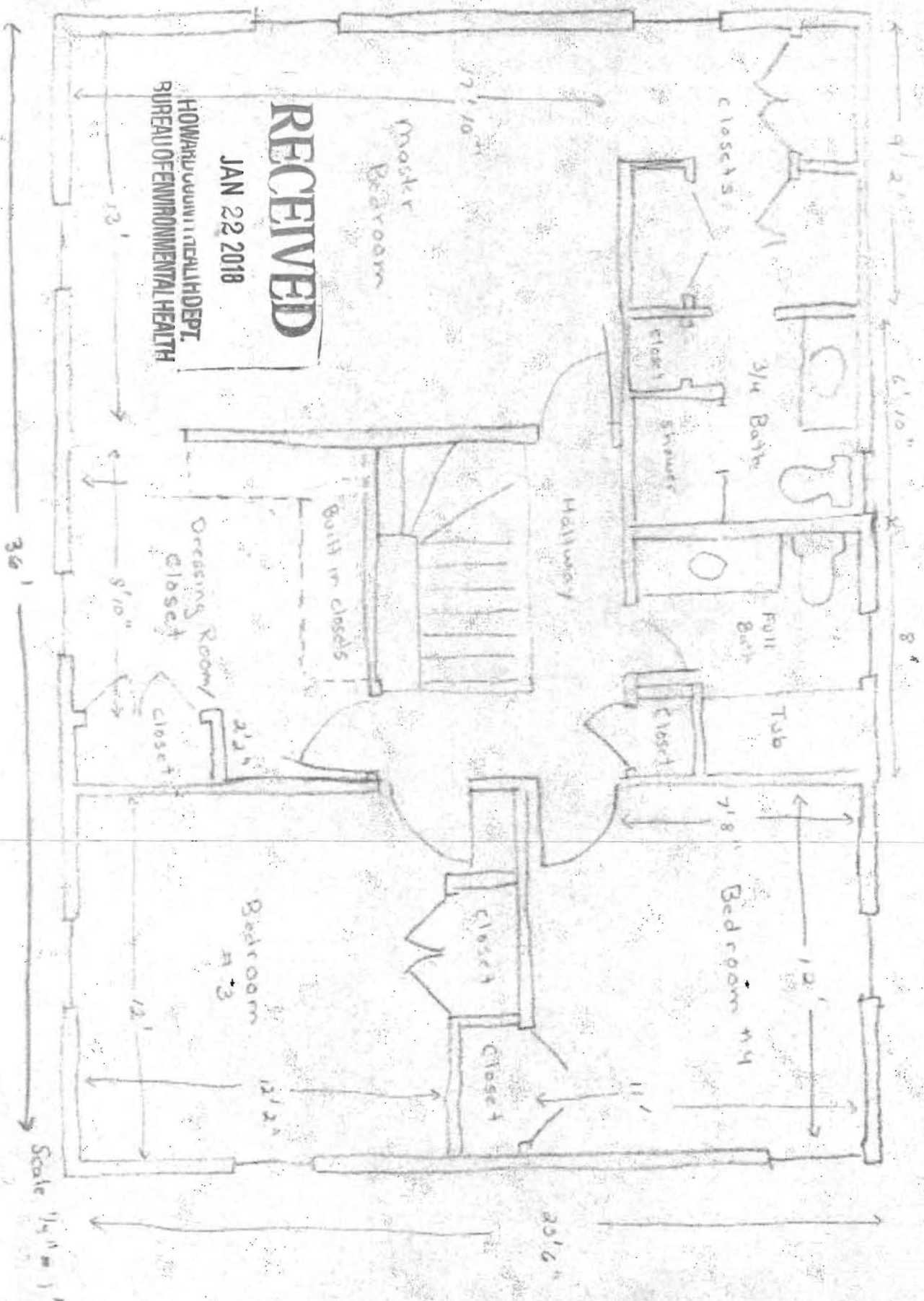
PROJECT: 18-359

Approved
8/22/2018 TR/E

818002802

13091 Williamfield Drive

2nd Floor Proposed



RECEIVED

JAN 22 2018

HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH

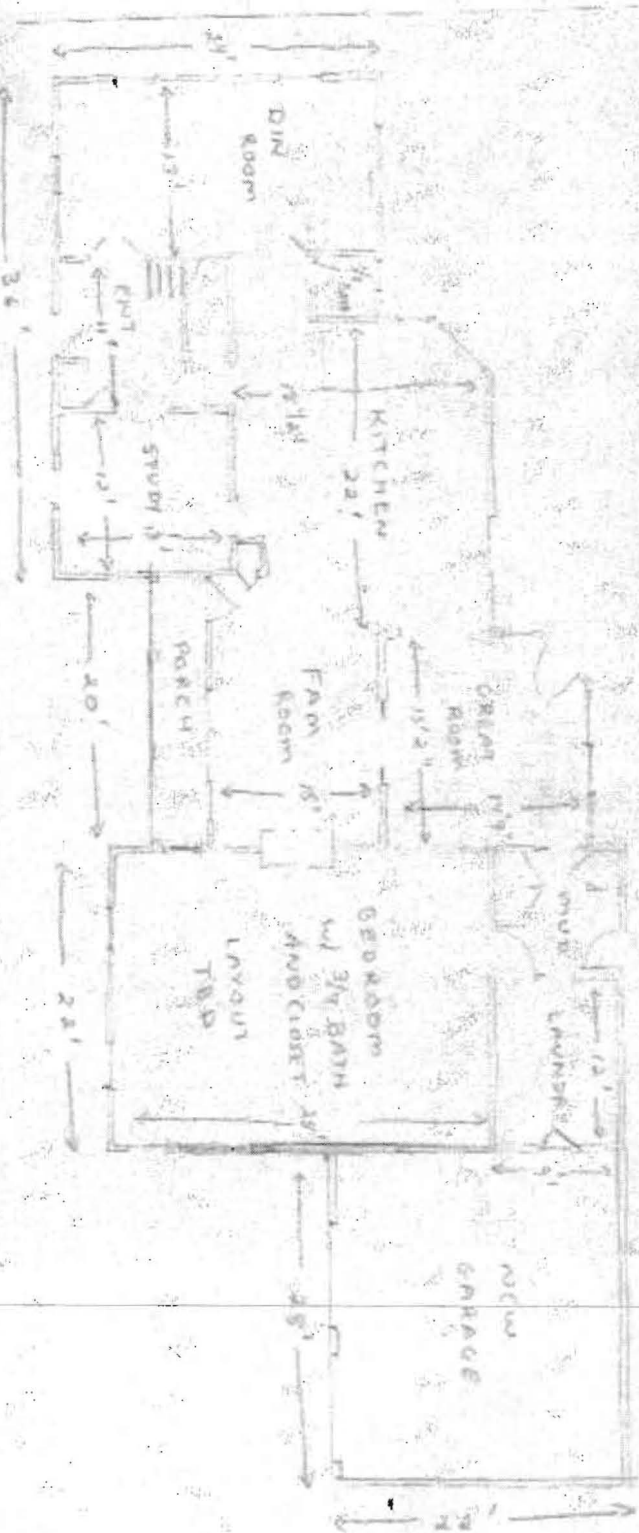
RECEIVED

JAN 22 2018

HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH

13091 Williamsfield Drive

1st Floor Proposed



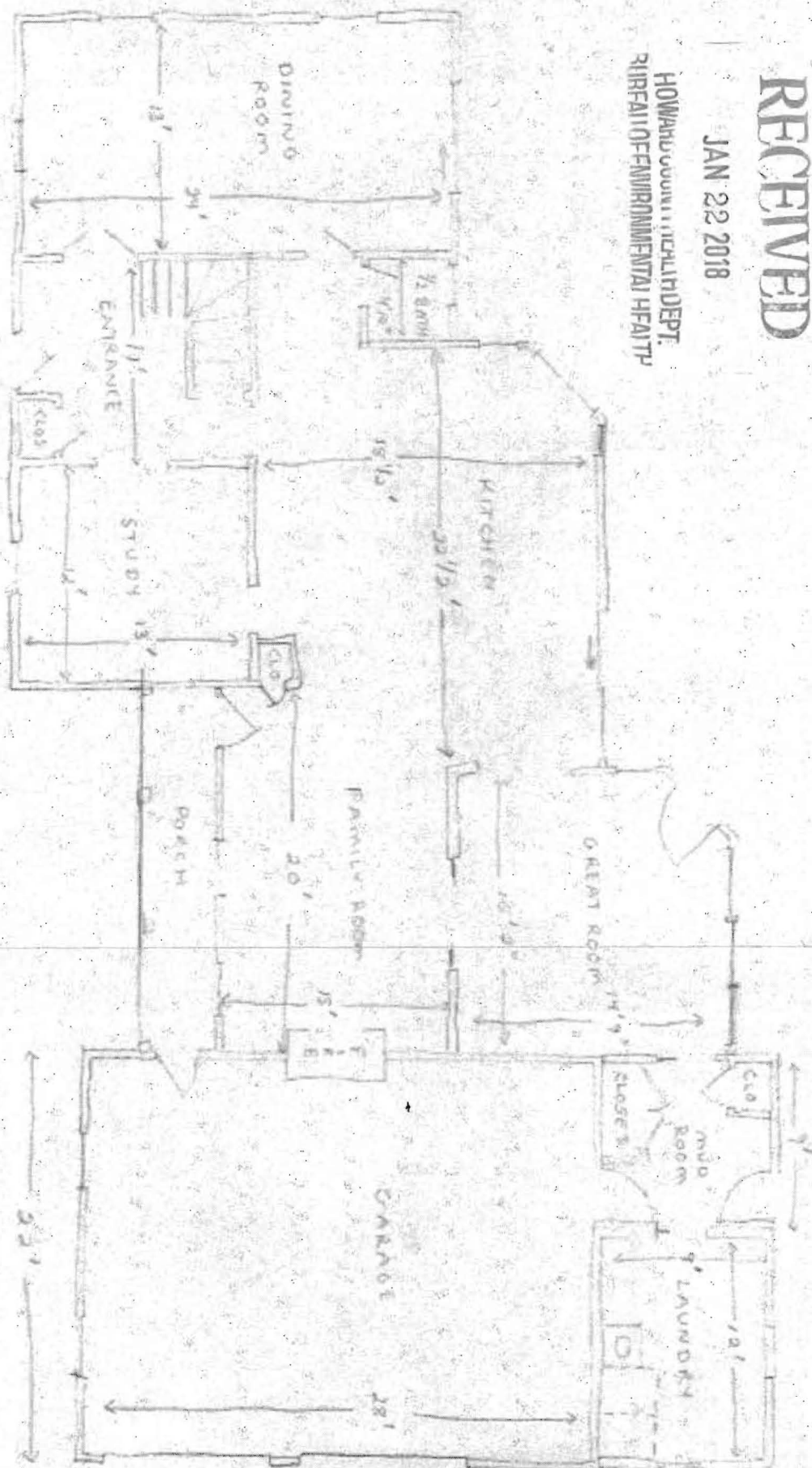
1/22/18

13091 Williamfield Drive 1st Floor Existing

RECEIVED

JAN 22 2018

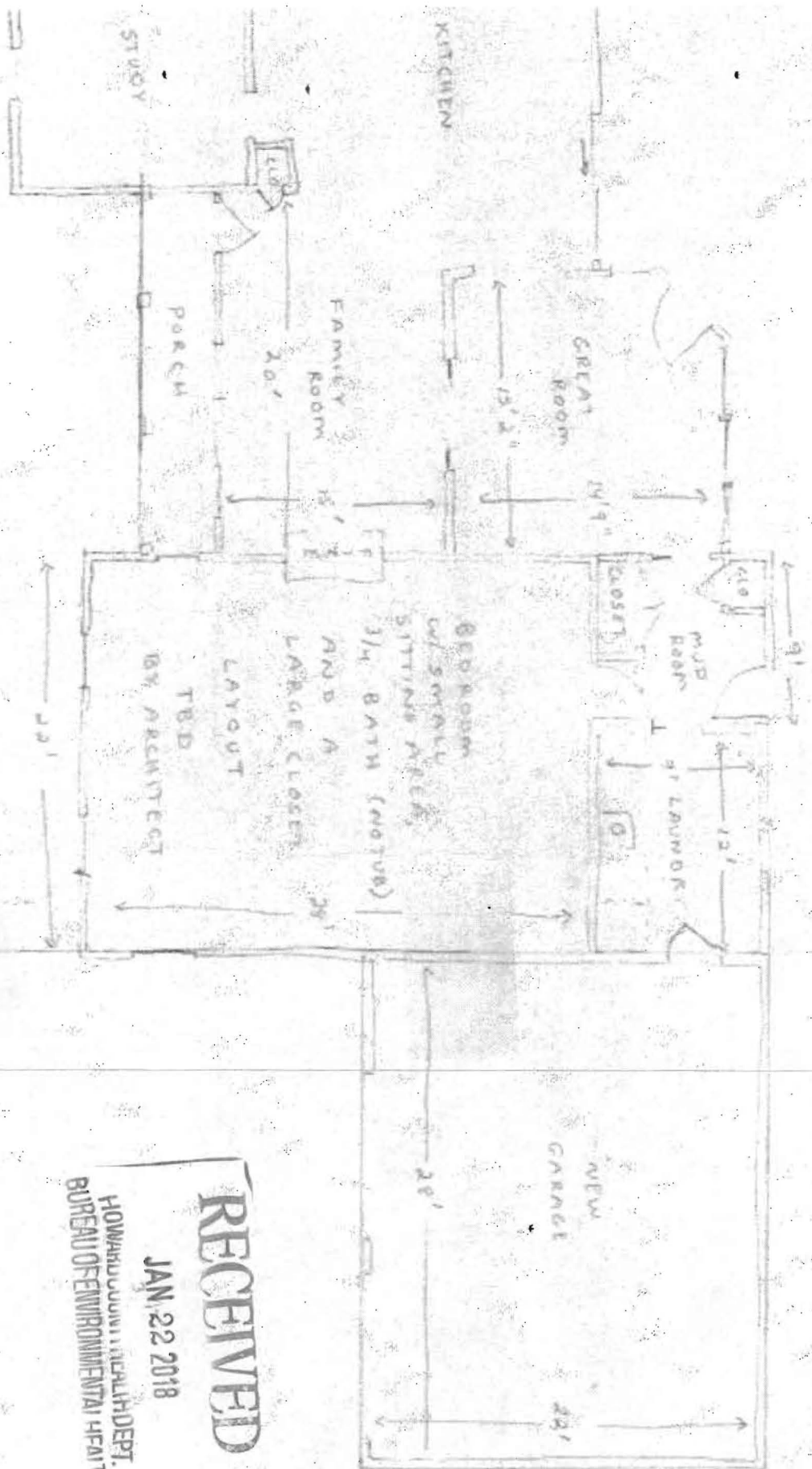
HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH



Scale @ 1/8" = 1'

13091 Williamfield Dr

1st Floor Proposed



RECEIVED

JAN 22 2018

HOWARD COUNTY HEALTH DEPT.
BUREAU OF ENVIRONMENTAL HEALTH

Scale 1/8" = 1'

1/22/18



**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/14/18

To: Health Department
(Person's Name and Division)

From: Michelle Clancy (413) 610 7514
(Your Name, Company Name and Telephone Number)

Subject: Project name Seale addition
Project site address 13091 William Field Dr
Permit # B18002802 SDP # _____
Other information pertinent to this project _____

RECEIVED
AUG 14 2018
PLAN REVIEW DIVISION

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☐ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☐ Copies of _____ (be specific).

☐ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request

☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____

☒ Other Health department waiver

Contact Person Information: (Required)

Please Print Name _____

Telephone No: _____

E-Mail Address: _____

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by MP

waiver letter for Health Dept.

Maura J. Rossman, M.D., Health Officer

January 24, 2018

Trum and Linda Soule
13091 Williamfield Drive
Ellicott City, MD 21042

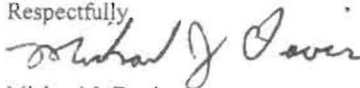
RE: Waiver Approval
13091 Williamfield Drive
Ellicott City, MD 21042

Dear Mr. and Mrs. Soule,

This letter is being issued in response to your waiver request dated November 8, 2018. This department has approved the waiver based on the floor plans submitted on January 22, 2018 illustrating the alterations to the floor plan to eliminate a second story bedroom and maintain the existing bedroom count of four (4). The existing on-site sewage disposal system may be maintained as is and the requirement for a percolation certification plan has been waived. Any deviations from the proposed work illustrated on the building permit site plan and the proposed floor plan will be subject to further review by this department. Any future property improvements will likely require perc testing and a revised percolation certification plan.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

Respectfully,



Michael J. Davis
Assistant Director
Bureau of Environmental Health

RECEIVED

AUG 14 2018

**LICENSES & PERMITS
DIVISION**

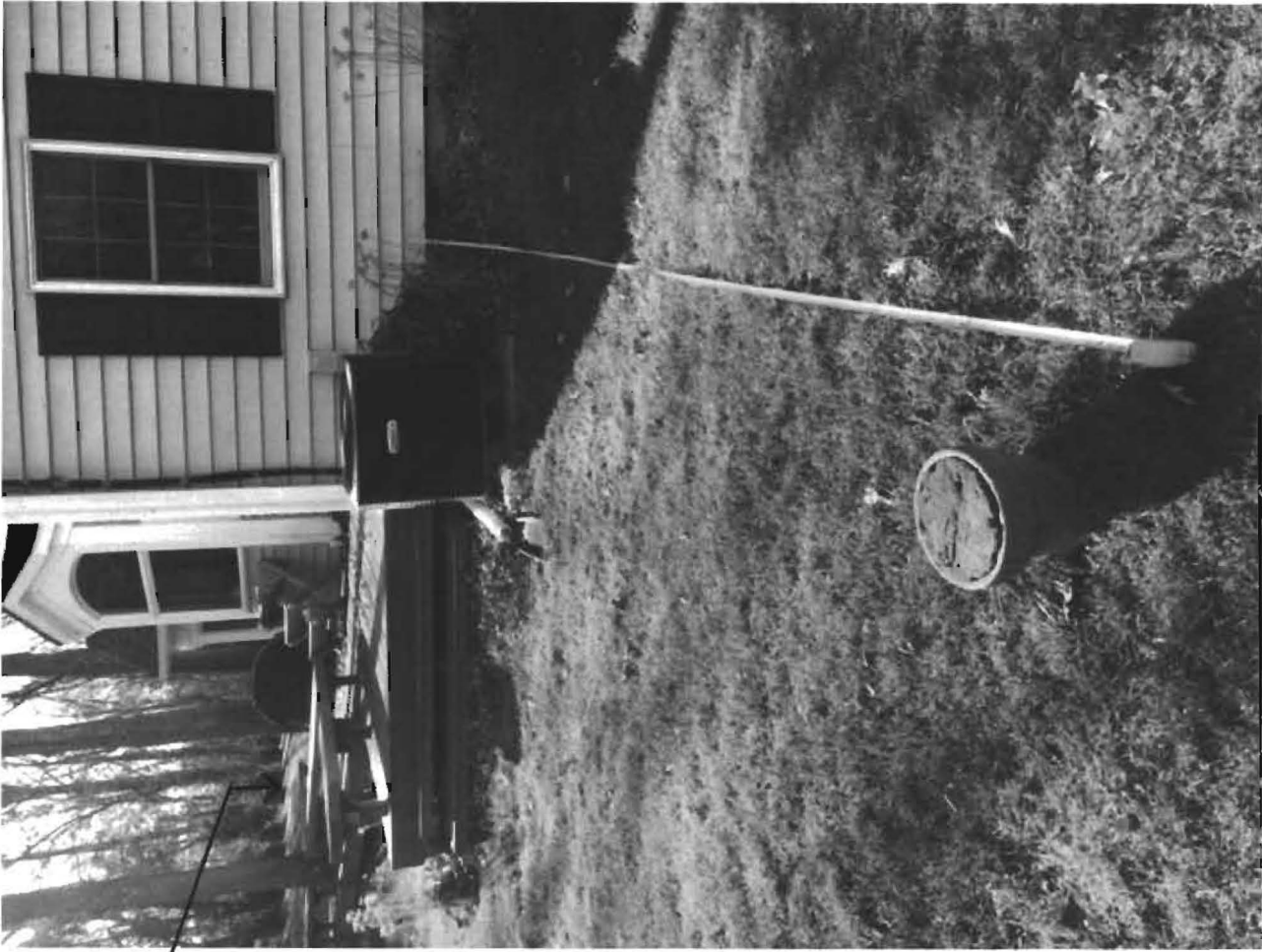
Well under
Bench

- Septic Tank

c/o Cap

- Cap was secure

- c/o 20 ft from House



Site Visit 11/22/17

Freemon, Robert

From: Robert Freemon [REDACTED]
Sent: Wednesday, November 22, 2017 2:24 PM
To: Freemon, Robert
Subject: Pics



- Septic Tank
- 1/0 Cap.
- 20ft from House
- Cap was secure

- Well cap Secure

- 2 pc Cap

- Well is well protected



1222-34-041



Sent from my iPhone

11/15 to 20



Freemon, Robert

To: Trum and Linda Soule
Subject: Waiver Request
Attachments: Approval Letter.pdf

Hi Mr. & Mrs. Soule,

Your waiver request has been approved. Attached is your official approval letter. This letter will be placed in your file here at the Health Dept. I would suggest when submitting the building permit to include the approval letter with your application. This may help for faster processing of your permit here at the Health Dept. If you have any questions let me know.

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

Freemon, Robert

From: Trum and Linda Soule <TRUMSOULE@HOTMAIL.COM>
Sent: Tuesday, January 23, 2018 8:33 AM
To: Freemon, Robert
Subject: Updated Drawings 13091 Williamfield Drive
Attachments: 1st Floor Existing 3.pdf; 1st Floor Proposed (Full).pdf; 1st Floor Proposed Enlarged Partial.pdf; 2nd Floor Existing.pdf; 2nd Floor Proposed.pdf

Spencer,

I have attached "new" drawings for my existing house and the proposed 1st floor bedroom/bath addition as well as the 2nd floor modification to convert Bedroom #2 to a permanent closet/dressing room. I also included an enlarged partial section of the proposed 1st floor for legibility should you need it. I hope that these now satisfy your requirements. Please note that the 2nd floor does not extend over the entire house. Also, I believe the functionality of each room is fairly self explanatory from its designated name, but please let me know if that is not the case.

Also, I just designated the "space" that would be used for the bedroom and 3/4 bath addition rather than the exact layout for to do so otherwise could be potentially misleading as I am not an architect familiar with size, door, window, plumbing, electrical requirements, etc. especially with regards to limited mobility issues. I would prefer to leave that to the professional architect as they would know the current building codes and where best to locate the bathroom, its optimal size, etc. The same with widths of doors, windows, ramps, etc.

I realize that the final architectural drawings would be subject to another review during the building permit phase, but I do hope that you would give me the parameters under which a well and septic variance would be granted so that I can pass them on to the architect to accommodate in his/her drawings. I also hope that you would allow for a slight adjustment if necessary in the size of the new garage should the architect determine that the width or depth may need to be adjusted a foot or two to accommodate an interior ramp access to the house.

Please let me know if you have any questions. Thanks!

Linda

11/16/17

- ① Need field review
- ② Ex. & proposed floor plans (hand drawn OK)
- ③ Picture of well

11/28/17

- ① still need ex. & proposed floor plans

Freemon, Robert

From: Trum and Linda Soule <trumsoule@hotmail.com>
Sent: Wednesday, January 03, 2018 8:50 PM
To: Freemon, Robert
Cc: Trum and Linda Soule
Subject: Re: 13091 Williamfield Drive
Attachments: Current Layout.pdf

Spencer,

Sorry for taking so long to get back to you. It took me a while to find our house plans and then find a way to scan them from full size. I am attaching a copy of our current house plans and a copy of the proposed changes to the first floor. This is really a basic concept drawing as we have not yet hired an architect and are reluctant to do so unless we know that we can get the well and septic variance or know under what conditions one would be granted. For instance, when we put on the kitchen addition a few years ago, your office gave us a letter stipulating that the well and septic variance would be granted for that project provided that any new foundation did not come any closer to the well than any existing structures. Once we know this information, we plan to hire an architect to design the addition.

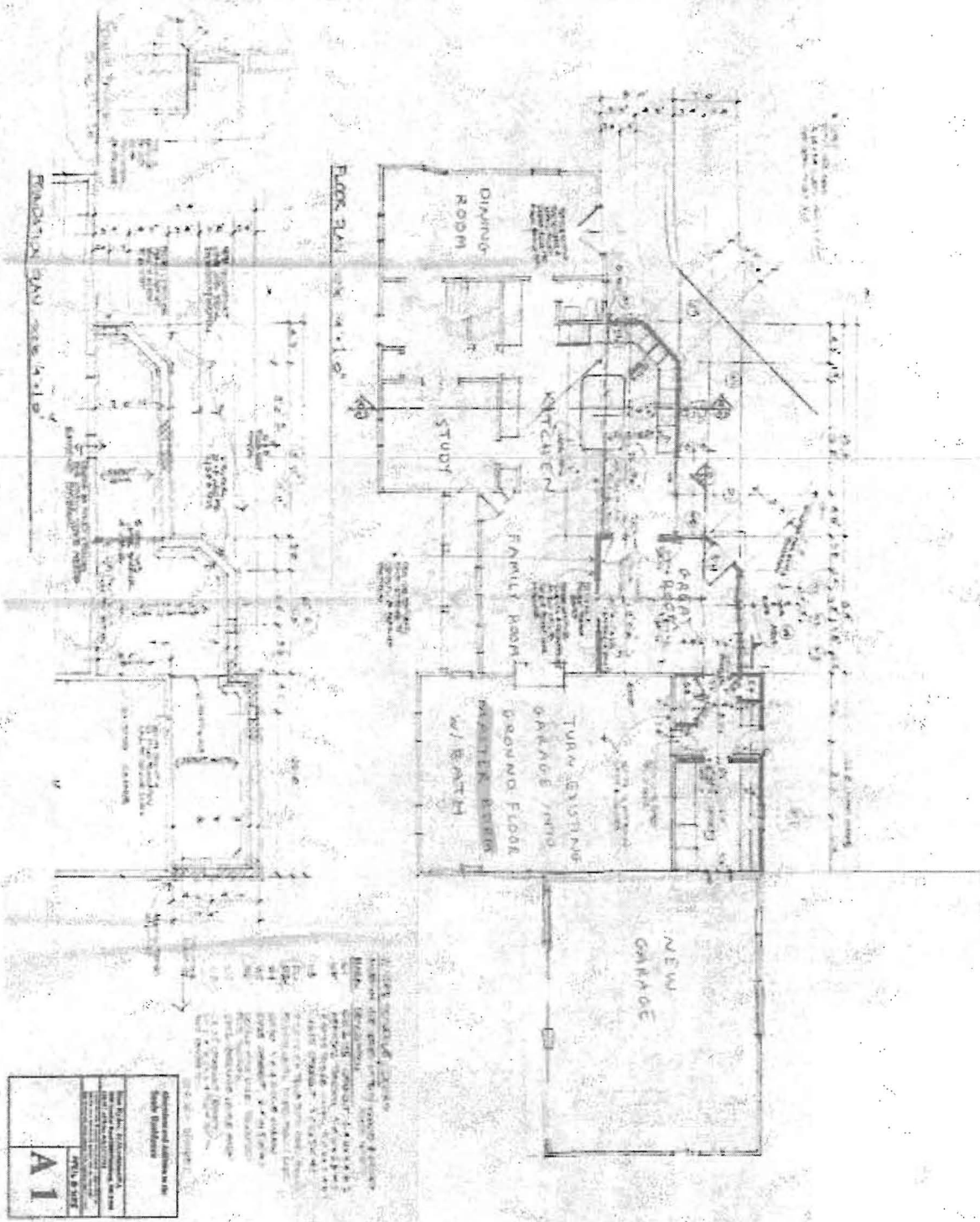
The basic concept is to turn the existing garage space into a ground floor master bedroom and full bath to enable my mother to age in place and then add a new two car garage onto the right hand side of the house. Window/door placement as well as accessibility issues would be made in consultation with the architect as he/she knows the requisite building codes of which I know very little. The only changes we plan to make to the upper floor of the house is to turn Bedroom number 2 into a walk-in closet with built-ins that is accessed from the Master Bedroom thereby keeping the house as a four-bedroom house.

We would be happy to answer any and all questions.

Linda Soule

PS: The attachments are:

First document, shows current layout. Second shows proposed addition. Third shows a mirror image of the second floor. There you can see Bedroom 2 which we plan to turn into the walk-in closet with built-ins.



Freemon, Robert

To: Trum and Linda Soule
Subject: RE: 13091 Williamfield Drive

Linda,
We need to see floor plans of the existing house (whole level of all levels) and the proposed addition (whole level of addition). These plans do not need to be professionally done. They can be hand drawn as long as they are clear enough for someone not familiar with the project to look at and understand. The floor plans that were sent do not show the entire existing house and all the fixtures I had mentioned in a previous email. Although a meeting might clear up our understanding of it, it will not help the next person who looks at these records down the road. The Health Dept. needs to keep clear and accurate records.

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

From: Trum and Linda Soule [mailto:trumsoule@hotmail.com]
Sent: Sunday, January 21, 2018 6:50 PM
To: Freemon, Robert
Subject: Re: 13091 Williamfield Drive

Spencer,
Thank you for your email. I am kind of at a loss of how to make the house plans more digitally legible and am disappointed as to how increasingly bureaucratic this process is becoming. Would it be possible for me to make an appointment to meet with you and Mike so that I can bring in the floor plans and talk through the proposed additions with both of you in person?

Thanks,
Linda

Sent from my iPad

On Jan 19, 2018, at 2:52 PM, Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Hi Linda,
Mike has taken a look at the sketches and he needs clearer floor plans showing the existing house (all levels) and proposed rooms. The ones sent are hard to see and understand. You can send them straight my email and I will pass them along.

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health

Well and Septic Program

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

From: Trum and Linda Soule [<mailto:trumsoule@hotmail.com>]

Sent: Wednesday, January 10, 2018 3:23 PM

To: Freemon, Robert

Subject: Re: 13091 Williamfield Drive

Thank you very much!

Sent from my iPad

On Jan 10, 2018, at 2:40 PM, Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Hi,

I received your email with the attachment and sent it along with your property file to Mike Davis for review.

Robert "Spencer" Freemon

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

Bureau of Environmental Health

Well and Septic Program

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

From: Trum and Linda Soule [<mailto:trumsoule@hotmail.com>]

Sent: Wednesday, January 03, 2018 8:50 PM

To: Freemon, Robert

Cc: Trum and Linda Soule

Subject: Re: 13091 Williamfield Drive

Spencer,

Sorry for taking so long to get back to you. It took me a while to find our house plans and then find a way to scan them from full size. I am attaching a copy of our current house plans and a copy of the proposed changes to the first floor. This is really a basic concept drawing as we have not yet hired an architect and are reluctant to do so unless we know that we can get the well and septic variance or know under what conditions one would be granted. For instance, when we put on the kitchen addition a few years ago, your office gave us a letter stipulating that the well and septic variance would be granted for that project provided that any new foundation did not come any closer to the well than any existing structures. Once we know this information, we plan to hire an architect to design the addition.

The basic concept is to turn the existing garage space into a ground floor master bedroom and full bath to enable my mother to age in place and then add a new

two car garage onto the right hand side of the house. Window/door placement as well as accessibility issues would be made in consultation with the architect as he/she knows the requisite building codes of which I know very little. The only changes we plan to make to the upper floor of the house is to turn Bedroom number 2 into a walk-in closet with built-ins that is accessed from the Master Bedroom thereby keeping the house as a four-bedroom house.

We would be happy to answer any and all questions.

Linda Soule

PS: The attachments are:

First document, shows current layout. Second shows proposed addition. Third shows a mirror image of the second floor. There you can see Bedroom 2 which we plan to turn into the walk-in closet with built-ins.

<image001.jpg>

<image002.jpg>

Hi Linda,

In order for us to complete our review of your waiver request letter we need to see floor plans of the existing house and proposed house. We need to see exactly how these changes are going to be installed. These floor plans do not have to be professionally done. These can be hand drawn and emailed directly to me. The list below is what we will need to see on the plans. I apologize for not mentioning this earlier as I was under the impression someone already contacted you about this. If you have any questions at all let me know.

Existing House (All Levels)

- Interior & Exterior Walls
- Any/All Windows
- Doors
- Labeled Use of Each Room (All Rooms)
- Labeled Finished or Unfinished Room (All Rooms)
- Sqft of Each Room or Labeled Wall Lengths
- Bathrooms (Labeled Half or Full)
- Any Closets

Proposed House (All Levels)

- Rooms Labeled Existing or Proposed
- Interior & Exterior Walls
- Any/All Windows
- Doors
- Labeled Use of Each Room (All Rooms)
- Labeled Finished or Unfinished room (All Rooms)
- Sqft of Each Room or Labeled Wall Lengths
- Bathrooms (Labeled Half or Full)
- Any Closets

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

SCOPE OF WORK

ADD 768 sqft ADDITION TO RIGHT OF EXISTING HOME FOR NEW GARAGE. RENOVATE EXISTING GARAGE TO CREATE BEDROOM, FULL BATH, SITTING ROOM AND STORAGE. RENOVATE EXISTING LAUNDRY/SEWING ROOM. RENOVATE EXISTING MASTER BATHROOM ON SECOND FLOOR. ADD SHELVING TO EXISTING SECOND FLOOR STORAGE TO CREATE W.I.C.

RESIDENTIAL NOTES & SPECIFICATIONS

GENERAL CONSTRUCTION NOTES
1. THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE (INCLUDING CONSTRUCTION DRAWINGS) FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ALONE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSION ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES, STEEL, STAIRS, ROOF AND/OR FLOOR TRUSSES.
3. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
4. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
5. ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.
6. PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.
7. PROVIDE HANDRAILS 34"-38" ABOVE NOSINGS ON ALL STAIRS. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MINIMUM 1/2" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.
8. PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" GB DRAFTSTOPPING, NOT TO EXCEED 1,000 SF.
9. PROVIDE A MINIMUM 6'-8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".
10. PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/200 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD Baffles IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.
11. MECHANICAL PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.
12. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILING, WINDOWS, DOOR FLANGES AND JAMBS.
13. SHEATHING PENETRATIONS SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.
14. SLOPE ALL EXTERIOR PLATFORMS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.
15. PROVIDE TERMITE PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

SPECIFICATIONS - GENERAL CONDITIONS
1. ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODE - 2015.
2. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, EQUIPMENT, ETC. AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.
4. DESIGN STANDARDS
USE GROUP: RESIDENTIAL
CONST. TYPE: TWO STORY WOOD FRAME W/ SIDING.
5. DESIGN LOADS (IRC TABLE 301.5)
WIND LOAD: 30 PSF
WIND SPEED: 115 MPH
IMPORT FACTOR: 1
GROUND SNOW LOAD: 25 PSF
EXP. FACTOR: "C"
FLOOR LIVE LOAD (F.L.): 40 PSF
SEISMIC DESIGN CAT.: B
FLOOR LIVE LOAD (S.F.): 30 PSF
WEATHERING: SEVERE
ATTIC LIVE LOAD (ATTIC): 20 PSF
GARAGE LIVE LOAD: 30 PSF
GUARD RAILS: 200 LBS. FORCE IN ANY DIRECTION
SOIL BEARING: ASSUMED 2,000 PSF
FROST LINE DEPTH - 30"
TERMITE: VERY HEAVY
DECAY: VERY HEAVY
RADON RESISTANT CONSTRUCTION REQ'D: YES

CONCRETE
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCF) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318-99.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
3. ALL REINFORCING BAR SHALL BE GRADE 60 (FY=60,000 PSI).
4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI WITH 6X6 - W/1.4 x W/1.4 WWF AND BE POURED OVER A SIX (6) MIL POLY VAPOR BARRIER 4 OVER 4" POROUS GRANULAR FILL.
5. ALL INTERIOR CONCRETE SLABS 30'-0" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOINTS.
6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB, AND HAVE 4" GRANULAR FILL MIN BELOW CONCRETE SLAB.
7. WHERE PORCH (NOT MONOLITHICALLY POURED), PATIO OR OTHER CONCRETE FLAT WORK ABUTS AN EXISTING CONCRETE SLAB PROVIDE A 1/2" ASPHALT IMPREGNATED FIBER BOARD EXPANSION JOINT.
8. ALL REINFORCING SHALL CONFORM TO "SPECIFICATIONS FOR DEFORMED BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT" (ASTM 1 615-60). WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A-185.
9. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTING WORK, IF NOT CONTINUOUS, AND REINFORCEMENT FOR TEMPERATURE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED, SHALL LAP 30 BAR DIAMETERS OR 18" MINIMUM AT ALL SPLICES, OR SHALL HAVE DOWELS OF THE SAME BAR SIZE AND SPACING AS THAT OF REINFORCING TO BE SPLICED OR WORK TO BE CONNECTED.
10. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:
CONCRETE DEPOSITED AGAINST GROUND 3"
FORMED CONCRETE IN CONTACT WITH GROUND 2"
FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

PREPARATION FOR SLAB
1. REMOVE ALL VEGETATION AND TOP SOIL CONTAINING ORGANIC MATERIALS FROM THE ENTIRE AREA TO BE COVERED BY THE BUILDING.
2. IF FILL IS REQUIRED TO RAISE SLAB, SCARIFY THE SUB GRADE TO A DEPTH OF 6" AND RECOMPACT TO A MINIMUM DENSITY OF 92% AND A MAXIMUM OF 98% OF STANDARD PROCTOR DENSITY (ASTM-D-698) WITH A MOISTURE CONTACT AT OR SLIGHTLY ABOVE OPTIMUM.
3. INSTALL FILL IN LOOSE LIFTS OF 8" THICK AND UNIFORMLY COMPACTED AS IN THE NOTE ABOVE.
4. FILL MATERIALS SHALL BE VERY SANDY TO CLAYEY SAND WITH A PLASTICITY INDEX (PI) IF BETWEEN 2 AND 15.

FOUNDATION PERIMETER INSULATION
1. INSTALL EXPANDED RIGID CLOSED CELL POLYSTYRENE FOAM BORDER FED SPEC HH-5428. DENSITY 2.1 LBS PER CU. FT. "R" VALUE PER 1" THICKNESS - 5.41

STAIR:
DIMENSION:
MAX R: 7 1/2"
MIN T: 1'0"

SHEET INDEX

A-100	PROJECT NOTES, SCHEDULES, DEMO PLANS.
A-101	FIRST, SECOND FLOOR PLANS & ELECTRICAL PLANS
A-102	FOUNDATION, FLOOR FRAMING, ROOF FRAMING, & ROOF PLAN
A-103	LATERAL BRACING PLANS, NOTES AND ELEVATIONS
A-200	EXTERIOR & INTERIOR ELEVATION
A-300	BUILDING SECTION

STRUCTURAL STEEL NOTES

1. MATERIALS
STRUCTURAL STEEL AND PLATE ASTM A36
UNFINISHED BOLTS ASTM A307
HIGH-STRENGTH BOLTS ASTM A325
WELDING ELECTRODES E70T-1 CLASS E70
2. BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE AISC STANDARD (FULL DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).
3. ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.
4. STEEL WORK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS.
5. SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.
6. STEEL LINTELS - FOR ALL OPENINGS AND RECESSES IN STONE OR BRICK FACED WALLS NOT SPECIFICALLY DETAILED, PROVIDE ONE STEEL ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM BEARING OF 4" AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.
7. LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS) NOTE: ALL LINTELS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.
8. STEEL BEAM POCKETS, SIZE AS INDICATED ON PLANS. BEAMS SHALL HAVE A MINIMUM BEARING OF 4" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE PARGE FINISH.
9. 2x4 BEAM PLATE IS ANCHORED TO STEEL BEAM WITH 3/8" DIAMETER STEEL BOLTS OR EQUIVALENT POWER ACTIVATED FASTENERS AT 48" O/C. FASTENERS TO BE LOCATED A NEAR TO CENTER OF BEAM AS POSSIBLE.
10. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

MASONRY
1. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. EACH TIE SHALL BE 24" ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16". THESE TIES SHALL BE SPACED NOT MORE THAN 2' ON CENTER AND PLACED WITHIN 12" OF THE WALL OPENING.
2. CONCRETE MASONRY UNITS SHALL MEET ASTM C90 GRADE A, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2,000 PSI.
3. CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SUPER IMPOSED LOADS (I.E. WIND LOADS, SHOVING OR OTHER LATERAL FORCES) FROM BULGING OR DISTORTING FINISHED MASONRY WALLS BY WAY OF SHORING, BRACING OR OTHER MEANS AS SITE REQUIRES.
4. USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.
5. USE TYPE "N" MORTAR FOR EXTERIOR, ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED. EXCEPTION - MASONRY CONSTRUCTION REQUIRING HEAT RESISTANT MORTAR SHALL HAVE A REFRACTORY AIR SETTING MORTAR.
6. BRICK VENEER TO BE INSTALLED WITH MINIMUM 1/4" DIA WEEP HOLES SPACED AT A MAXIMUM OF 24" O.C. HORIZONTALLY.

HEADERS
1. ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.

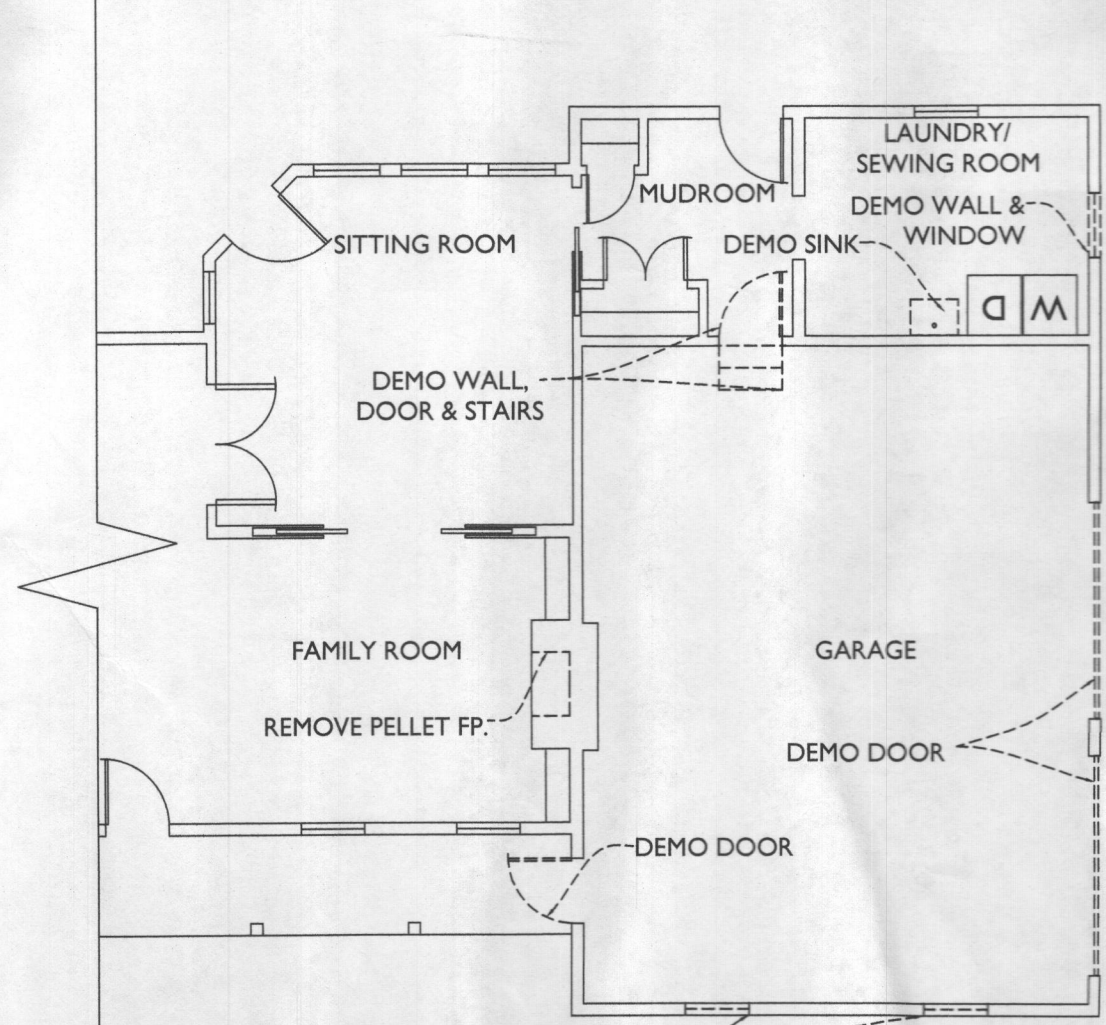
WOOD FRAMING
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS, 16" O.C., WITH DOUBLE TOP PLATE. MINIMUM 2X12 HEADER/LINTELS AT ALL OPENINGS IN BEARING OR EXTERIOR WALLS. SHEATHING TO BE 1/2" CDX PLYWOOD OR OSB.
2. ALL FRAMING LUMBER TO HAVE A MINIMUM BENDING STRESS OF 1,200 PSI (F = 1,200 PSI) AND A MINIMUM MODULUS OF ELASTICITY OF 1,600,000 PSI (E = 1,600,000 PSI).
3. ALL FLOOR DECKS ARE TO BE GLUED TO SUPPORTING BEAMS AND JOIST WITH PL-400 ADHESIVE AS MANUFACTURED BY "CONTECH" OR APPROVED EQUAL.
4. ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED TOGETHER @ 12" O.C. BOTH SIDES.
5. ALL WOOD POSTS MADE UP OF MULTIPLE PIECES SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED @ 12" O.C. BOTH SIDES.
6. DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UNSUPPORTED) INSTALL DOUBLE JOISTS.
7. ALL RAFTERS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRIDGING AT 8' O.C. OR AT CENTER OF SPAN WHICHEVER IS LESS.
8. CONTINUOUS LOAD PATH: STEEL HARDWARE CONNECTORS TO GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATIONS TO THE ROOF RAFTERS AT ALL STUDS. THESE SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTORS, FLOOR TO FLOOR CONNECTORS, AND ROOF RAFTER HURRICANE CONNECTORS/ANCHORS.
9. MINIMUM BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 3 1/2" ON WOOD AND 4" ON MASONRY.
10. INSTALL WOOD JOIST HANGER & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:
JOIST HANGER MIN. CAPACITY - 800#
BEAM HANGER MIN. CAPACITY - 3500#
11. INSTALL MINIMUM DOUBLE STUDS AT JAMBS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.
12. ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH ASCE 7-95.
13. FOUNDATION ANCHORAGE: SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC R403.1.6.

FINISHES
1. ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 76-200 OR BETTER AND A SMOKE DEVELOPED INDEX OF 0-450.
AIR LEAKAGE
BUILDING THERMAL ENVELOPE: THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
1. ALL JOINTS, SEAMS AND PENETRATIONS.
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
4. UTILITY PENETRATIONS
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
6. KNEE WALLS.
7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
9. COMMON WALLS BETWEEN DWELLING UNITS.
10. ATTIC ACCESS OPENINGS.
11. RIM JOIST JUNCTION.
12. OTHER SOURCES OF INFILTRATION.

ROOM FINISH SCHEDULE													
		FLOOR			WALLS			CEILING			REMARKS		
ROOM NAME		EXISTING FLOOR	CERAMIC TILE	UNFINISHED ASPHALT	HARDWOOD	PAINTED CYP. BD.	UNFINISHED			PAINTED CYP. BD.	BEAD BOARD	UNFINISHED	
FIRST FLOOR	BEDROOM				X			X			X		
	SITTING ROOM				X			X			X		
	HALLWAY				X			X			X		
	W.I.C.				X			X			X		
	LAUNDRY	X						X			X		
	BATHROOM	X	X					X			X		
2ND FLR	GARAGE			X				X			X		
	DRIVEWAY	X		X									
	MUDROOM	X											
	MASTER BATHROOM	X					X			X			
	MASTER BEDROOM	X								X			
	W.I.C.	X											

CABINET SCHEDULE				
NO.	DESIGNATION	W-D-H	TYPE	REMARKS
01	RTG	33-24-90	TALL	REFRIGERATOR TALL CABINET
02	BD	15-24-29	BASE	BASE FOUR DRAWER
03	BD	24-24-29	BASE	BASE FOUR DRAWER
04	U	27-24-90	BASE	UTILITY CABINETS
05	B	27-24-34.5	BASE	BASE DOUBLE DOOR
06	BWBT 2	18-24-34.5	BASE	BASE DOUBLE WASTEBASKET TOP MOUNT
07	SB	36-24-34.5	BASE	SINK BASE
FIRST FLOOR	10	VBD	27-21-33.5	BASE VANITY BASE DRAWER
	11	YSB 2D	36-21-33.5	BASE VANITY SINK BASE TWO DOOR
	12	VBD	27-21-33.5	BASE VANITY BASE DRAWER
	15	VBD	27-21-33.5	BASE VANITY BASE DRAWER
	16	VBD	30-21-33.5	BASE VANITY BASE DRAWER
	17	VBD	27-21-33.5	BASE VANITY BASE DRAWER
2ND FLOOR	18	WV	39-12-30	WALL WALL DOUBLE DOOR
	19	WV	42-12-30	WALL WALL DOUBLE DOOR
	20	YSB 2D	36-21-33.5	BASE VANITY SINK BASE TWO DOOR
	21	VBD	24-21-33.5	BASE VANITY BASE DRAWER
	22	YSB 2D	36-21-33.5	BASE VANITY SINK BASE TWO DOOR

DOOR SCHEDULE					
DOOR			SADDLE	LABEL	REMARKS
NO.	SIZE.	INT/EXT			
ALL DOORS U.N.O: 6 PANEL					
101	10/0x7/0	EXT	YES		GARAGE DOOR
102	10/0x7/0	EXT	YES		GARAGE DOOR
103	3/0x6/8	EXT	YES		SINGLE DOOR
104	3/0x6/8	EXT	YES		SINGLE DOOR
105	3/0x6/8	INT	NO		SINGLE DOOR
106	(2)2/0x6/8	INT	NO		DOUBLE BIFOLD DOOR
107	(2)2/0x6/8	INT	NO		DOUBLE BIFOLD DOOR
108	(2)1/6x6/8	INT	NO		DOUBLE POCKET DOOR
109	3/0x6/8	INT	NO		POCKET DOOR
201	(2)2/0x6/8	INT	NO		DOUBLE DOOR



1
A100
SCALE: 1/8"=1'-0"

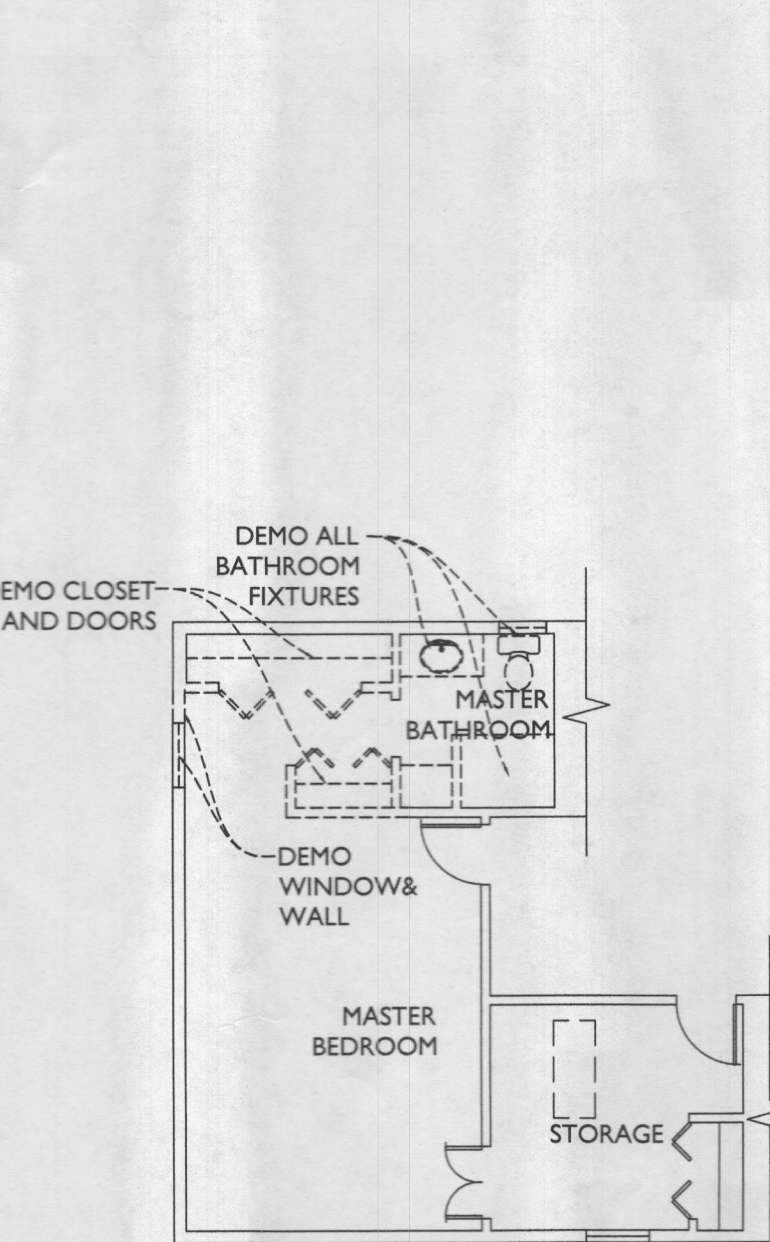
HEADER SCHEDULE (U.N.O.)	
OPENING SIZE	HEADER SIZE
OPENINGS UP TO 3'	(2) 2x10
OPENINGS GREATER THAN 3' UP TO 6'	(2) 1.75 x 9.50 1.9E MICROLAM
OPENINGS GREATER THAN 6' UP TO 8'	(2) 1.75 x 11.875 1.9E MICROLAM

REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS				
MAX. WALL HT. (FT.)	MAX. UNBALANCED BACKFILL HT.	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 10" NOMINAL WALL THICKNESS		
		SOIL CLASSES		
		GW,GC,SW & SP SOILS	GM, GC, SM, SM-SC & ML SOILS	SC, MH, ML-CL & INORG. CL SOILS
9	5	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 48" O.C.
	6	#4 @ 56" O.C.	#4 @ 40" O.C.	#4 @ 32" O.C.
	7	#4 @ 56" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	8	#4 @ 32" O.C.	#6 @ 48" O.C.	#4 @ 16" O.C.
	9	#5 @ 40" O.C.	#6 @ 40" O.C.	#7 @ 40" O.C.
MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 8" NOMINAL WALL THICKNESS				
9	5	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8	#5 @ 40" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 12" NOMINAL WALL THICKNESS				
10	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	10'-0"	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

STEEL LINTEL SCHEDULE (U.N.O.)				
STEEL ANGLE SIZE	# STORIES ABOVE			# OF 1/2" REBARS
	NONE	ONE	TWO	
3 x 3 x 1/4	6' - 0"	3' - 6"	3' - 0"	1
4 x 3 x 1/4	8' - 0"	5' - 0"	3' - 0"	1
6 x 3-1/2 x 1/4	14' - 0"	8' - 0"	3' - 6"	2
2 - 6 x 3-1/2 x 1/4	20' - 0"	11' - 0"	11' - 0"	4

WINDOW SCHEDULE			
WINDOW			REMARKS
TYPE	MAT.	SIZE.	OPERATION
A	VINYL	2/8x5/0	DOUBLE HUNG
B	VINYL	2/8x5/0	DOUBLE HUNG
C	VINYL	2/8x5/0	DOUBLE HUNG
D	VINYL	2/0x3/0	CASEMENT
E	VINYL	2/8x5/0	DOUBLE HUNG
MIN. DUAL PANE. LOW-E & ARGON GAS FILLED. MAX. U = .31 TRIM TO BE WHITE			FROSTED MUST MEET EGRESS REQ.

MIN. DUAL PANE. LOW-E & ARGON GAS FILLED. MAX. U = .31 TRIM TO BE WHITE



2
A100
SCALE: 1/8"=1'-0"

LINE TYPE KEY:

NEW WALL	---
EXIST. WALL	---
ABOVE LINE	---
FDN. WALL	---
DEMO WALL	---



7612 Browns Bridge Road
Highland, MD 20777
301-776-2666
301-776-2886 fax
info@TransformingArchitecture.com
www.TransformingArchitecture.com

STAMP

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13662, EXPIRATION 10-22-2019.

NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE, AND, AS SUCH, MAY NOT BE RE-USED OR REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE

BID

PROJECT TITLE

THE
SOULE
RESIDENCE

13091 Williamfield Dr
Ellicott City, MD 21042

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 18-359

DATE 06/13/2018

SCALE AS NOTED



7612 Browns Bridge Road
Highland, MD 20777
301-776-2666
301-776-2886 fax
info@TransformingArchitecture.com
www.TransformingArchitecture.com

STAMP

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13662, EXPIRATION 10-22-2019.

NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE AND, AS SUCH, MAY NOT BE RE-USED OR REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE

BID

PROJECT TITLE

THE SOULE RESIDENCE

13091 Williamfield Dr
Ellicott City, MD 21042

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 18-359

DATE 06/13/2018

SCALE AS NOTED

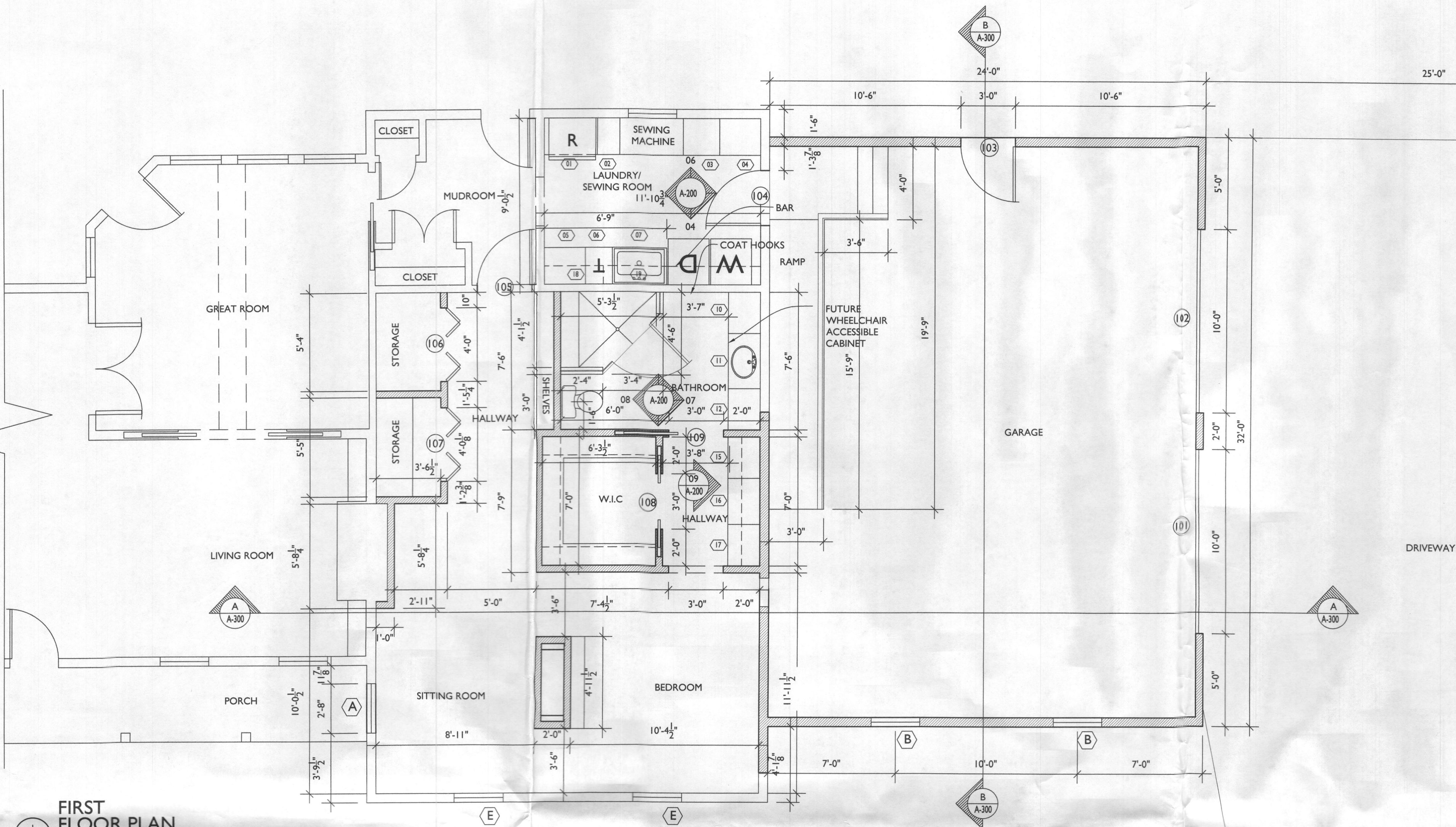
DRAWING TITLE

FLOOR + ELECTRICAL PLANS

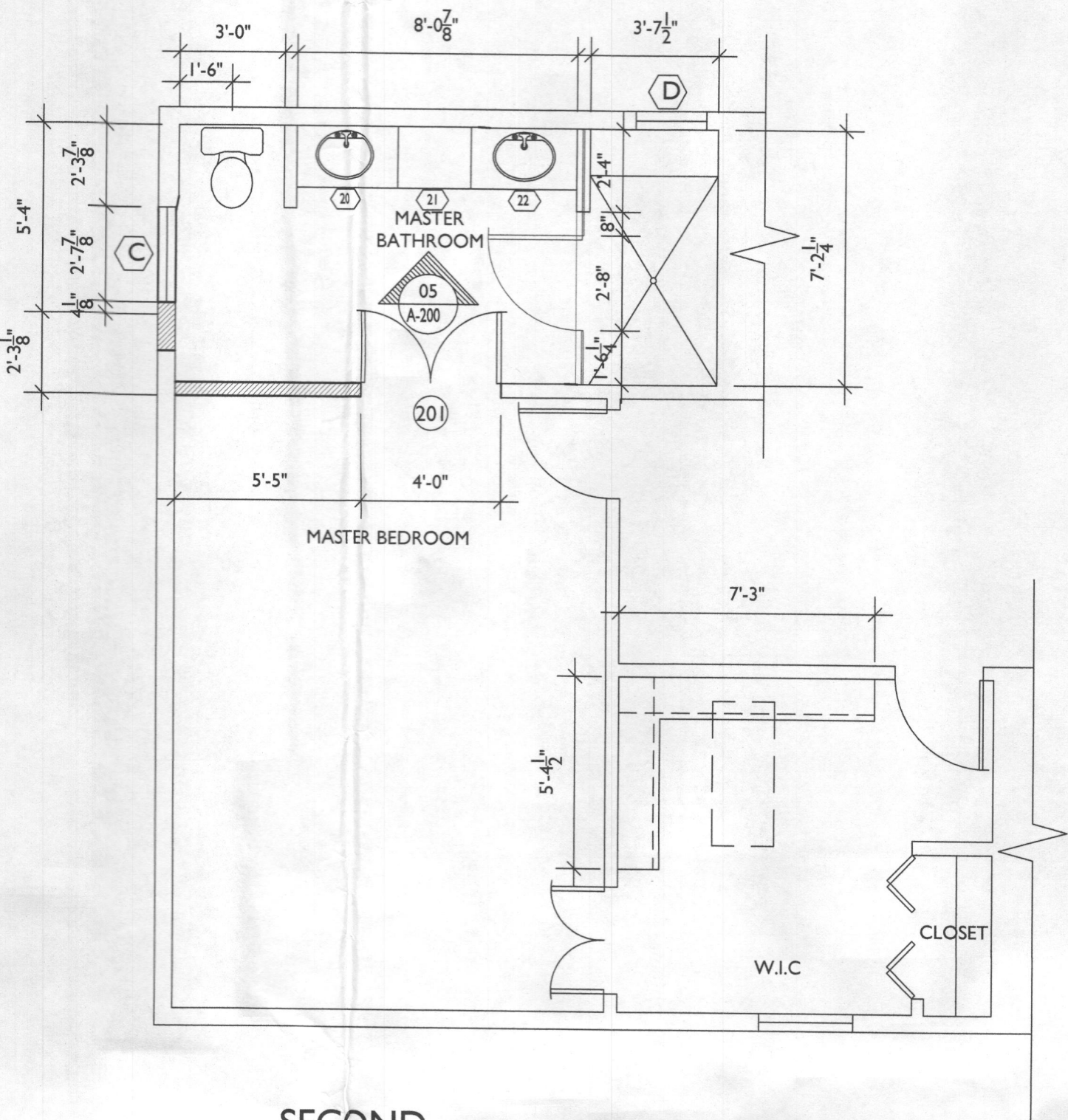
SHEET NUMBER

A-101

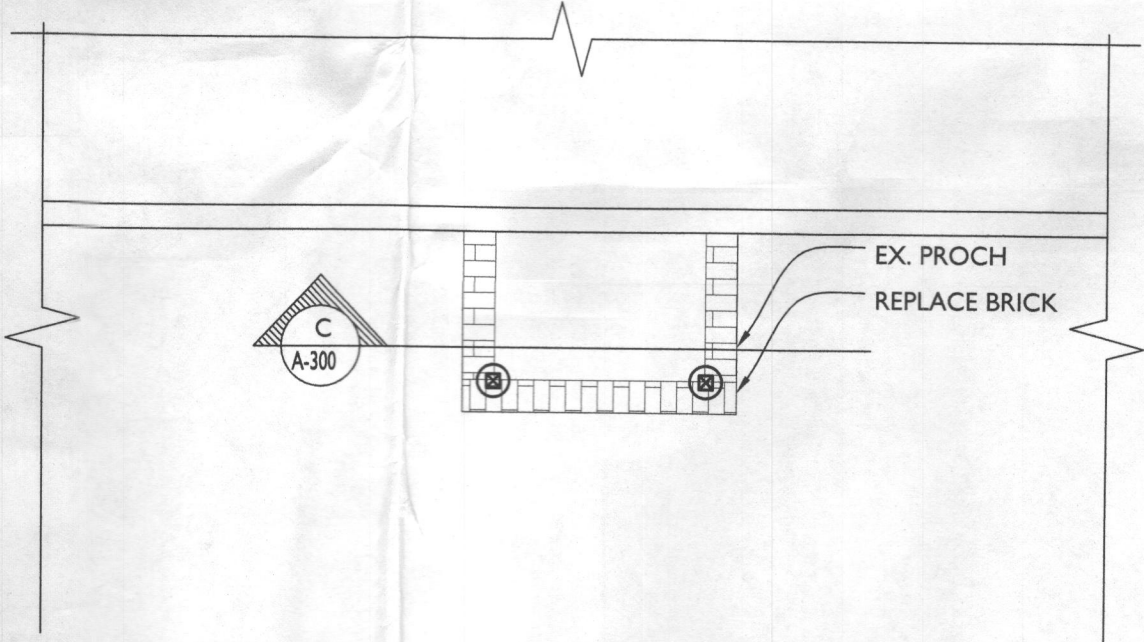
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



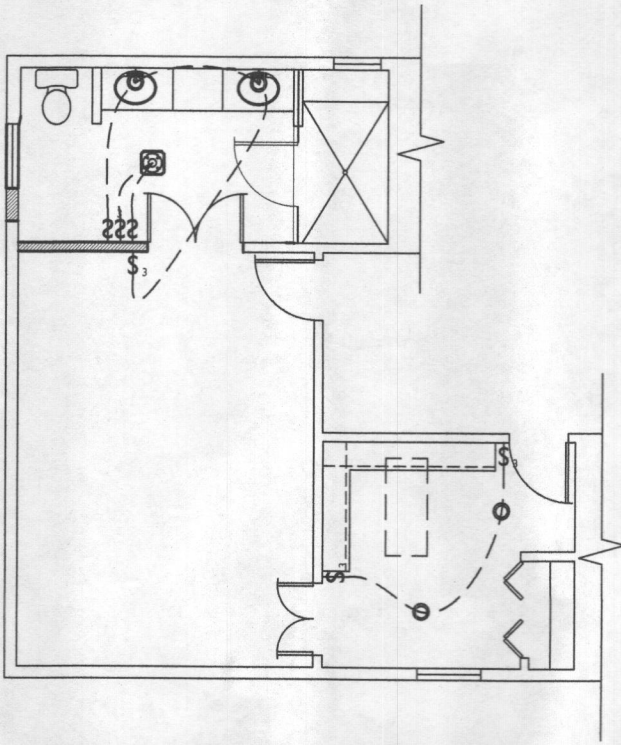
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



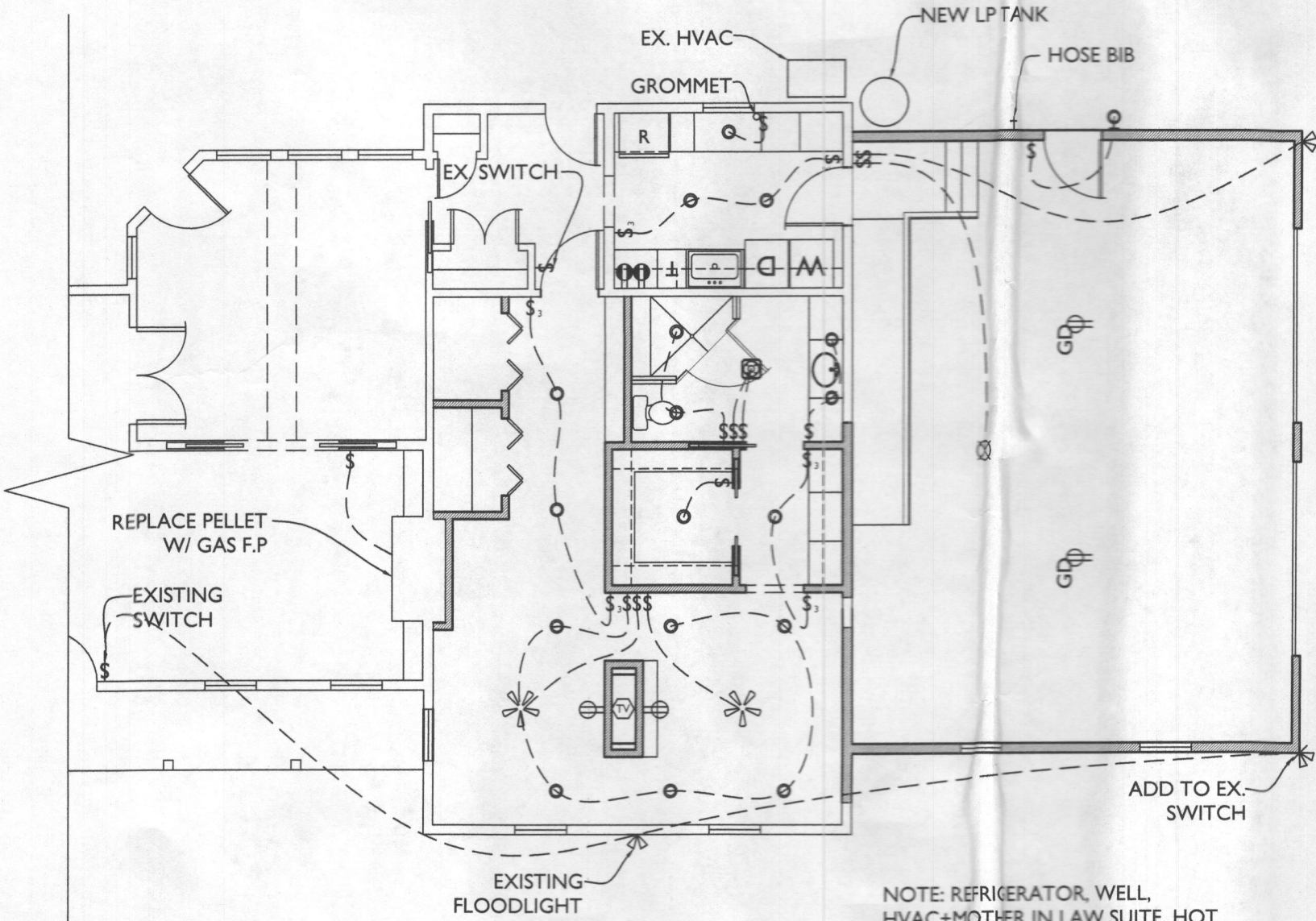
PORCH PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR ELECTRICAL LAYOUT
SCALE: 1/8"=1'-0"



FIRST FLOOR ELECTRICAL LAYOUT
SCALE: 1/8"=1'-0"



ELECTRICAL LEGEND

- SWITCH
- OUTLET
- GFI OUTLET
- RECESSED LED CLG. LIGHT
- INCANDESCENT CLG. FIXTURE
- LED WALL MOUNT FIXTURE
- LED CLG. FIXTURE
- EXHAUST FAN WITH LIGHT
- CLG. FAN W/ LIGHT
- CABLE TV
- 2-HEAD FLOOD

ELECTRICAL NOTES:

- OUTLETS PER CODE UNLESS OTHERWISE NOTED @ 18"H, 42" H ABOVE COUNTERTOPS.
- MOUNT LIGHT SWITCHES @ 42" H. MAX. ROCKER-TYPE
- SWITCHES PROVIDE DIMMERS FOR ALL RECESSED LIGHTS.
- PROVIDE HARD-WIRED SMOKE DETECTORS PER CODE
- QUIET FANS W/ LIGHT FIXTURES
- HINGE SWITCHES IN ALL CLOSETS U.N.O
- ALL FIXTURES ON DIMMERS
- CLIENT WILL PROVIDE SMART SOCKETS
- HVAC WILL BE MINI SPLIT

LINE TYPE KEY:

- NEW WALL
- EXIST. WALL
- ABOVE LINE
- FDN. WALL
- DEMO WALL



7612 Browns Bridge Road
Highland, MD 20777
301-776-2666
301-776-2886 fax
info@TransformingArchitecture.com
www.TransformingArchitecture.com

STAMP

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13662, EXPIRATION 10-22-2019.

NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE AND, AS SUCH, MAY NOT BE RE-USED OR REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE

BID

PROJECT TITLE

THE SOULE RESIDENCE

13091 Williamfield Dr
Ellicott City, MD 21042

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 18-359

DATE 06/13/2018

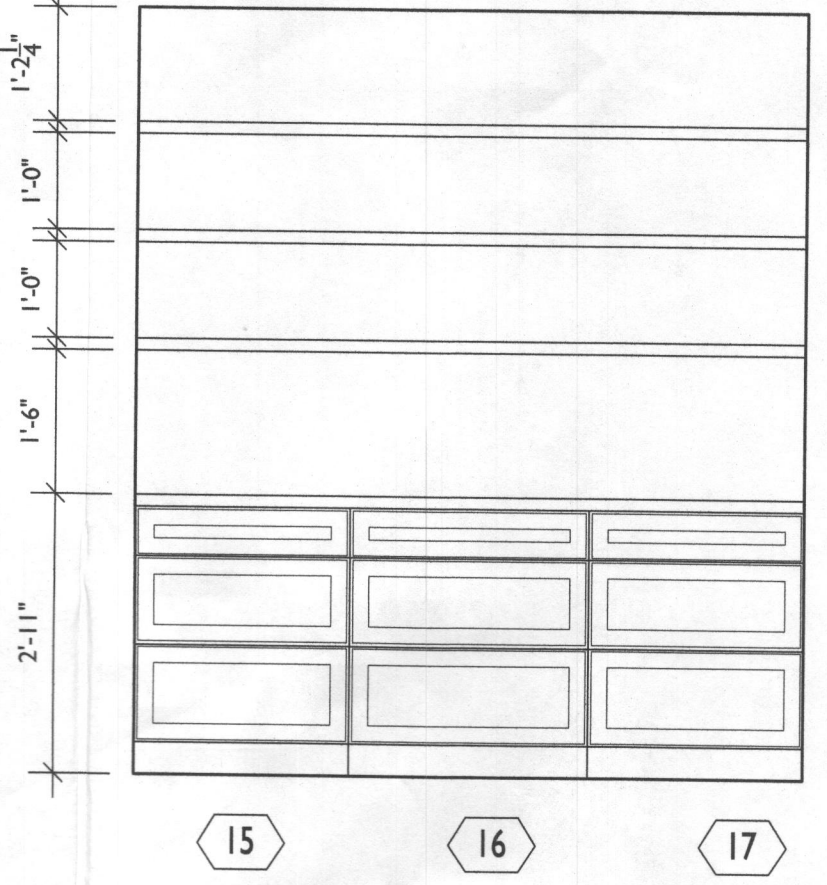
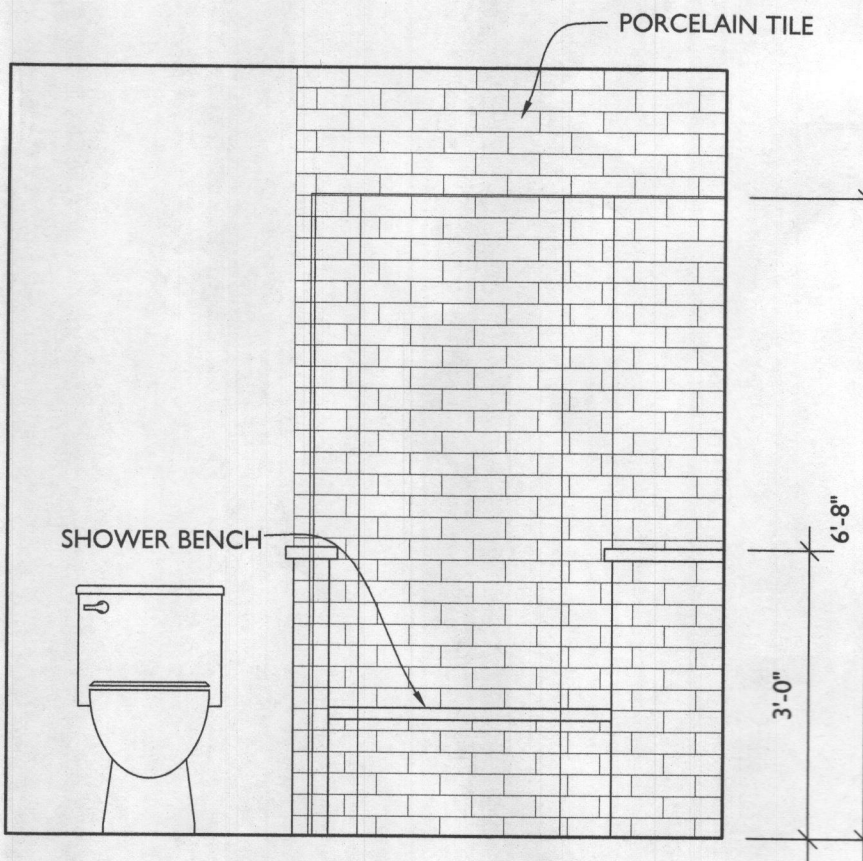
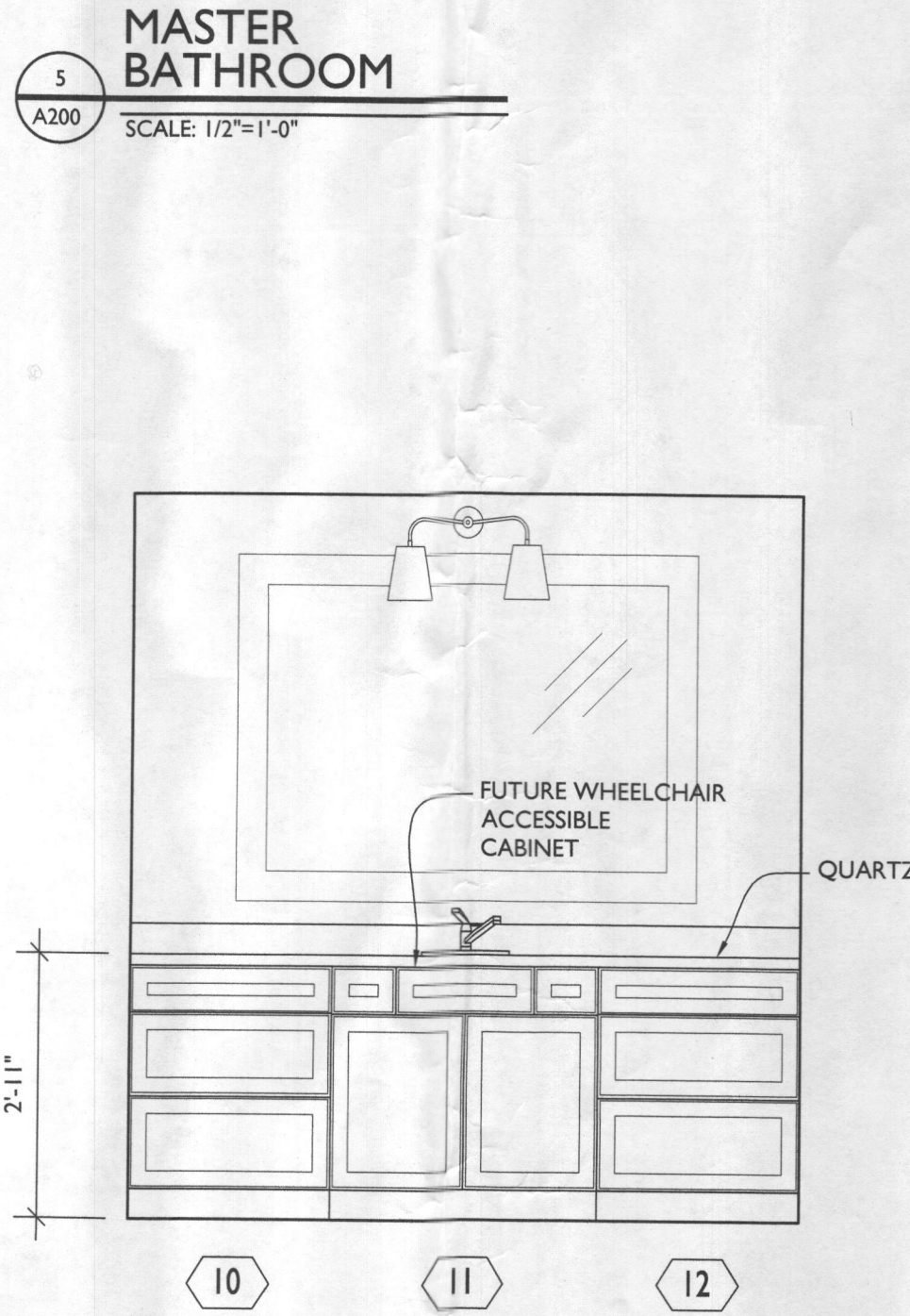
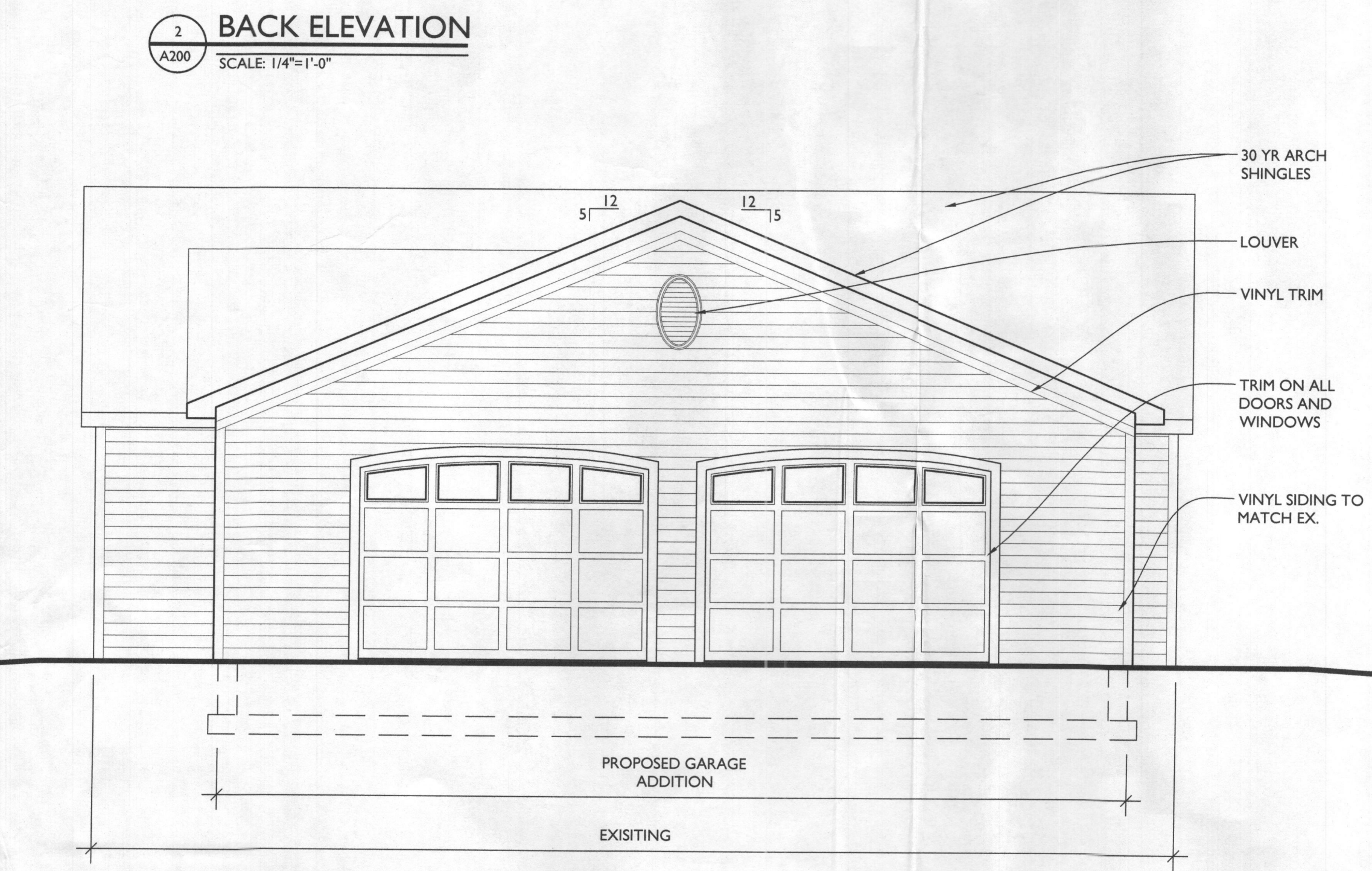
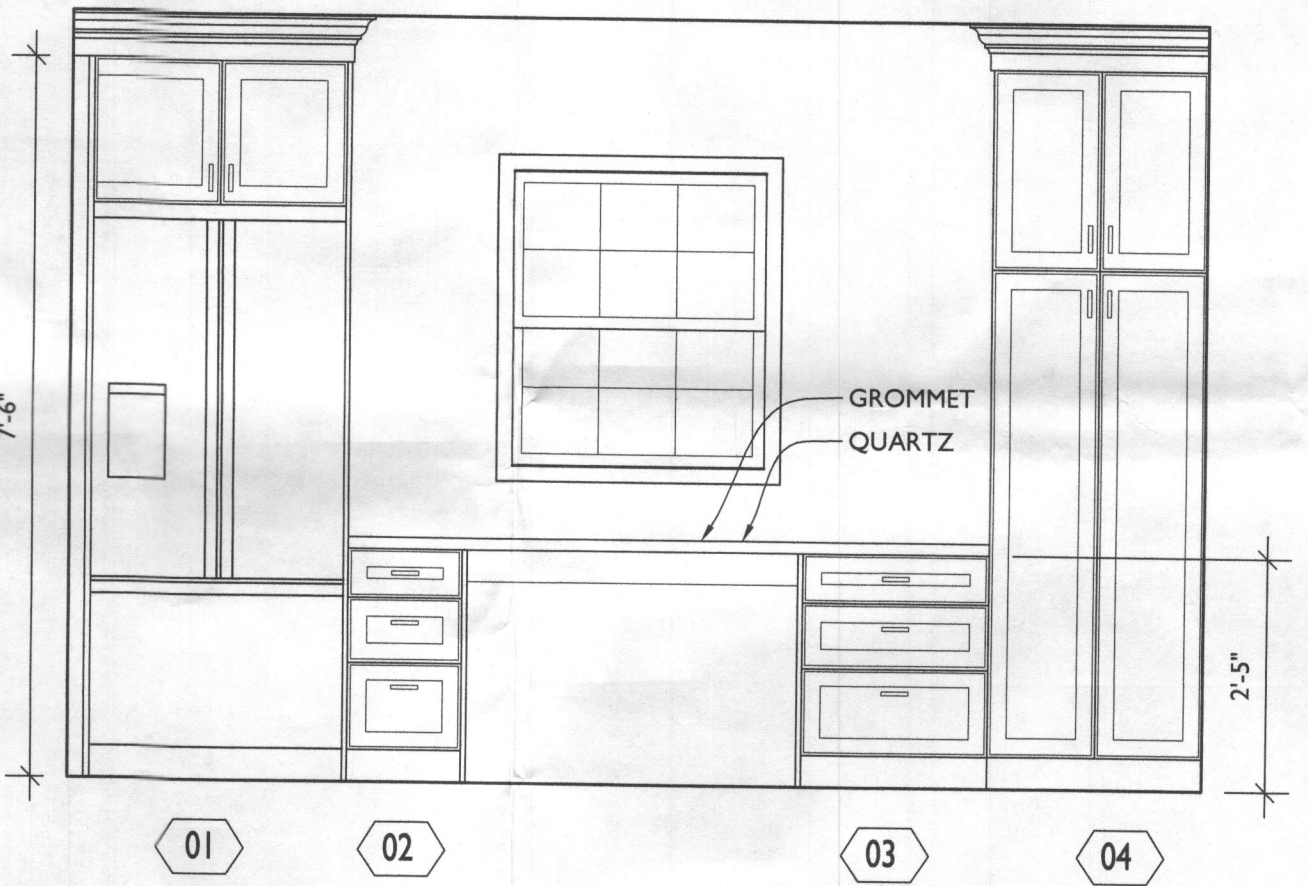
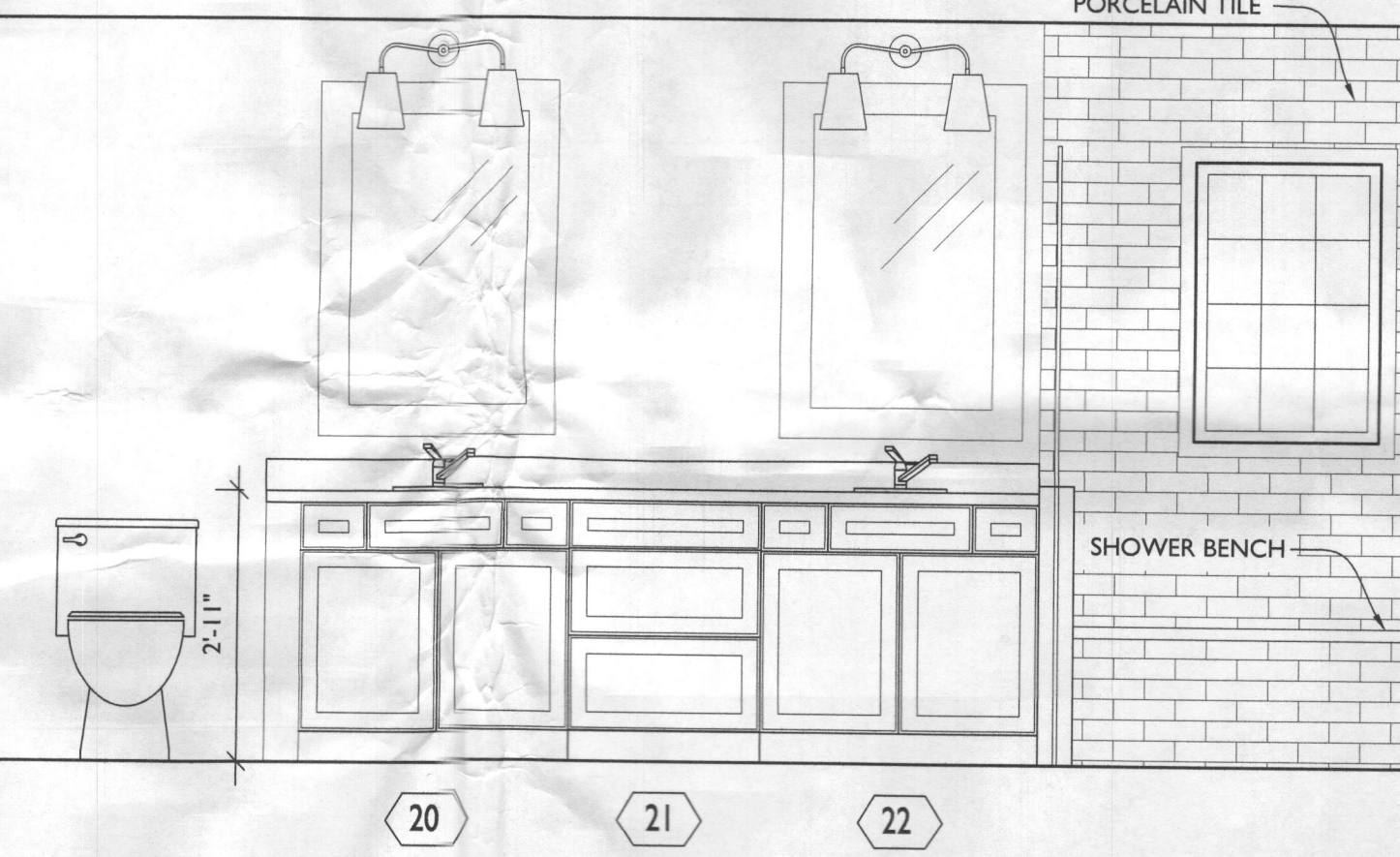
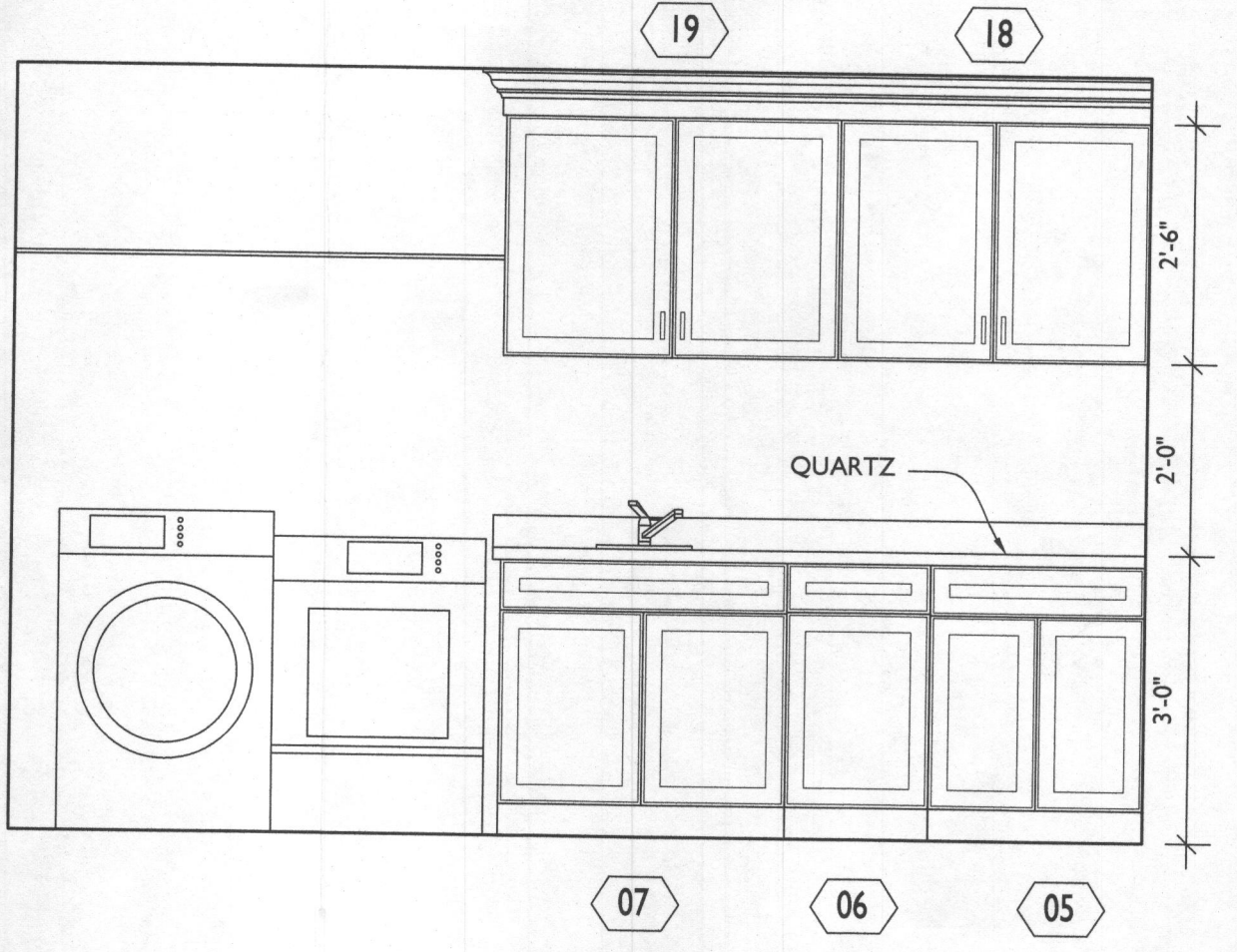
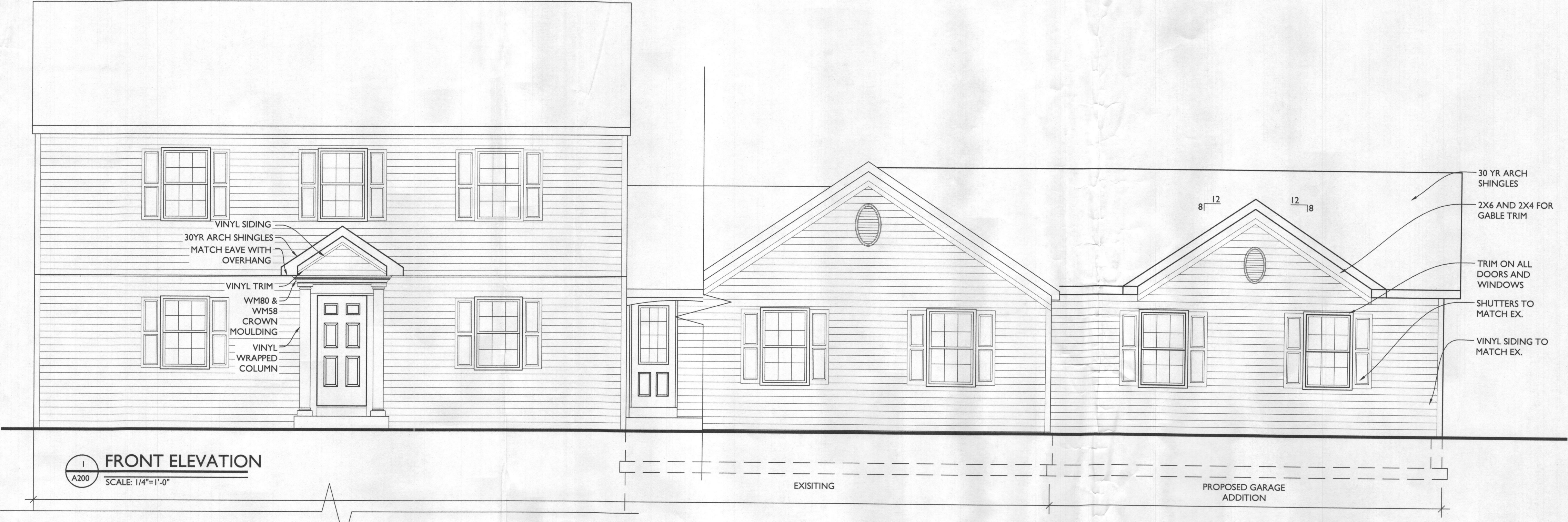
SCALE AS NOTED

DRAWING TITLE

EXTERIOR + INTERIOR ELEVATIONS

SHEET NUMBER

A-200



BATHROOM SCALE: 1/2"=1'-0"

BATHROOM SCALE: 1/2"=1'-0"

STORAGE SCALE: 1/2"=1'-0"

Linda R. Soule
13091 Williamfield Drive
Ellicott City, MD 21042
410 531-7148
Orders13091@hotmail.com

November 8, 2017

Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045

To Whom it May Concern:

We would like to add a ground floor ADA compliant master bedroom and bathroom to our house located at 13091 Williamfield Drive in Ellicott City in order to provide a safe living environment for my aging mother. The project would include converting our current garage into a bedroom and bathroom and adding a new garage to the right hand side of our house. Please see the attached drawing. Our current four bedroom house was built in 1977 and as built does not comply with all the current setback distances for well and septic. We would like to explore the feasibility of getting approval for a well and septic variance for this project as well as learning under which parameters this variance might be granted prior to embarking upon the cost of hiring an architect, drawing plans, and applying for a building permit. We believe that cost of percolation plans and testing and/or having to relocate the well and septic would be cost prohibitive to this project.

We respectfully request that this variance be granted because of the following conditions:

- 1: As part of the project, we plan to convert a small bedroom adjoining the current upstairs master bedroom to a walk-in closet with permanent closet features that would encumber the room reducing the number of bedrooms on the second level to three. Therefore, the addition of a ground floor master bedroom would not result in a net gain of any additional bedrooms and would maintain the current living capacity of the house.
2. While the house as built does not meet the current setback requirements, the footprint of the new addition located on the right side of the house would be compliant with the 30 foot well to new foundation setback and 20 foot septic easement under Howard County Code, Section 3.808.

3. It is our understanding that the Best Available Technology requirement was waived by Gov. Larry Hogan as of November 2106.

4. We have never had any problem with our current well and septic system with the exception of replacing the pipe/baffle leading from the septic tank to the septic trench/field in 2011 and installing a new well pump.

Please feel free to contact me if you have any questions concerning this request.

Sincerely,



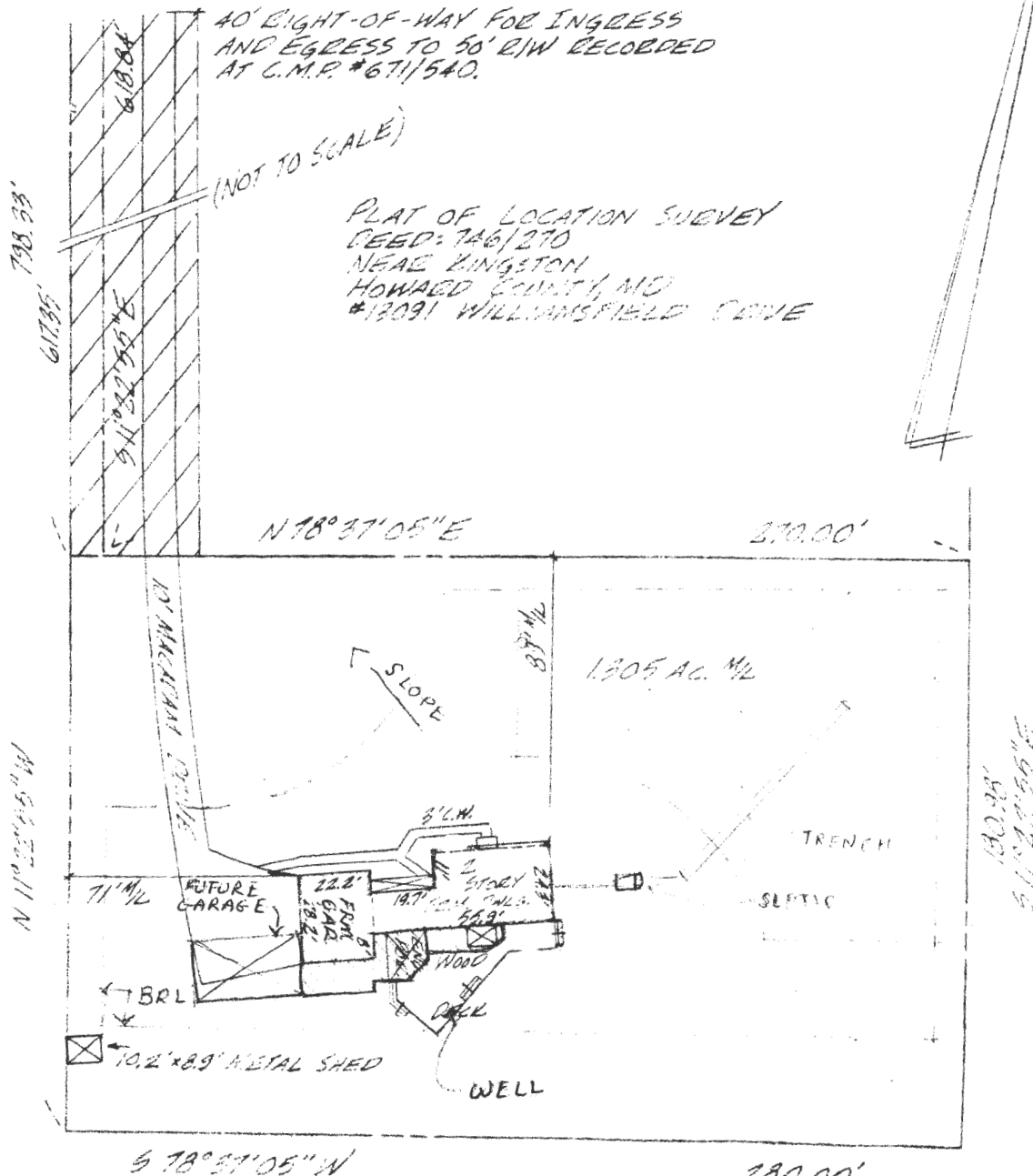
Linda R. Soule

RECEIVED
NOV 1 2016
HOWARD COUNTY DEPARTMENT OF
BUREAU OF ENVIRONMENTAL HEALTH

40' RIGHT-OF-WAY FOR INGRESS
AND EGRESS TO 50' R/W RECORDED
AT C.M.P. #671/540.

(NOT TO SCALE)

PLAT OF LOCATION SURVEY
DEED: 746/270
NEAR KINGSTON
HOWARD COUNTY, MD
#13091 WILLIAMSFIELD DRIVE



EDWIN J. KIRBY & ASSOCIATES
800 Greenspring Valley Road
Lutherville, MD 21093
301 - 337 - 7942

Scale: 1"=50'

Date: 8/6/91

13091 Williamsfield Dr.
Ellicott City, 21042

REV 11-07-17