



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: SEP 11 PM 1:04

Permit No.: B19003545

Building Address: 13715 Tergeo Dr.
City: W Friendship State: MD Zip Code: 21794
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 2
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
> Roadside Tree Project Permit	Footings:
☐ Yes ☒ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: Boarmen Property
Address: 12126 Rt 210
City: Linton State: MD Zip Code: 20759
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Electric: ☐ Yes ☒ No
Gas: ☒ Yes ☐ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☐ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other:
Sprinkler System:
☐ Yes ☐ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address
PERMITS
Title/Company

Print Name MICHELLE CLANCY
Date 9/11/19

RECEIVED
SEP 11 2019
LICENSES & PERMITS

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

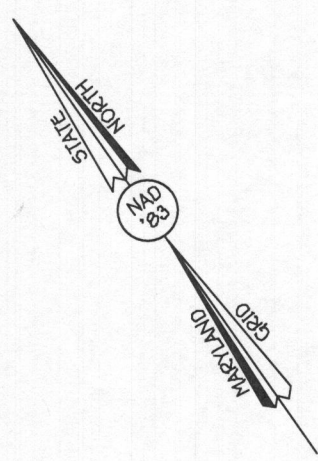
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	9/25/19	H. Oswald

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

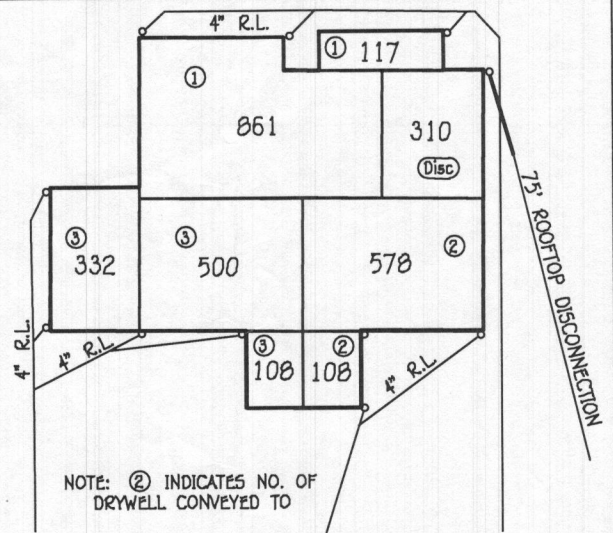
Filing Fee	\$ 110.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 7295

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



STORMWATER MANAGEMENT NOTES:

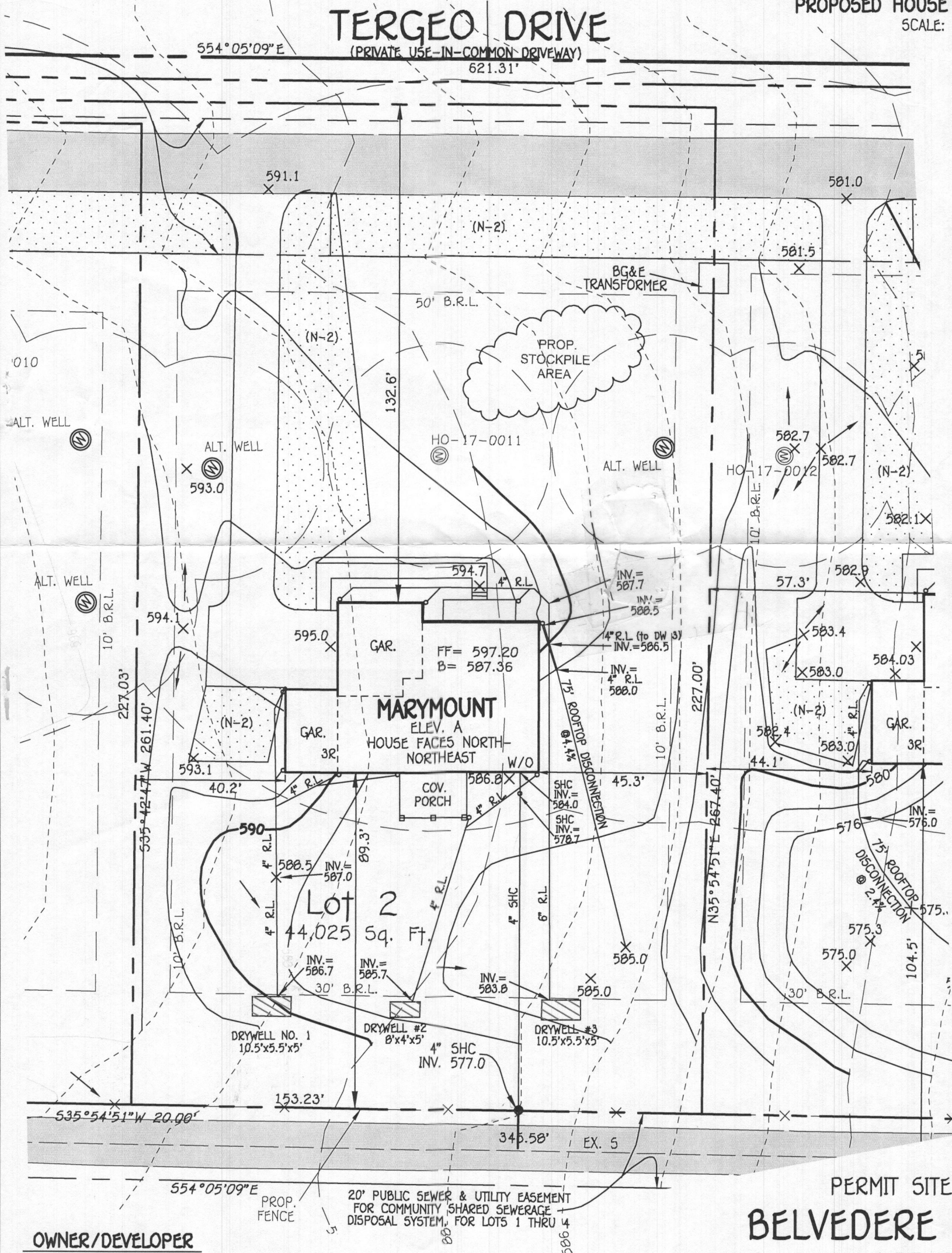
STORMWATER MANAGEMENT FOR LOT 2 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTIONS (N-2) FOR THE DRIVEWAY AREA. ONE ROOFTOP DISCONNECTION, AND 3 DRYWELLS ARE PROPOSED FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



NOTE: ② INDICATES NO. OF DRYWELL CONVEYED TO

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0011, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

PROPOSED HOUSE DRAINAGE AREAS SCALE: 1" = 30'



OWNER/DEVELOPER

NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MD 21046
410-379-5956

PLAN

SCALE: 1" = 30'

PERMIT SITE PLAN BELVEDERE ESTATES LOT 2

13715 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P\O 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN

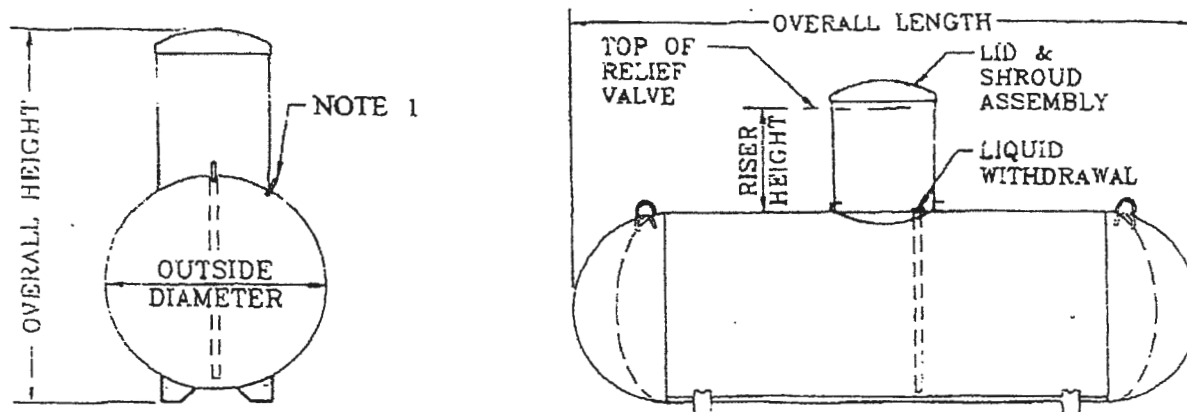
DATE: AUG. 5, 2019

SHEET 1 OF 1

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2895

TRINITY INDUSTRIES, INC.

Underground Vesse



General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

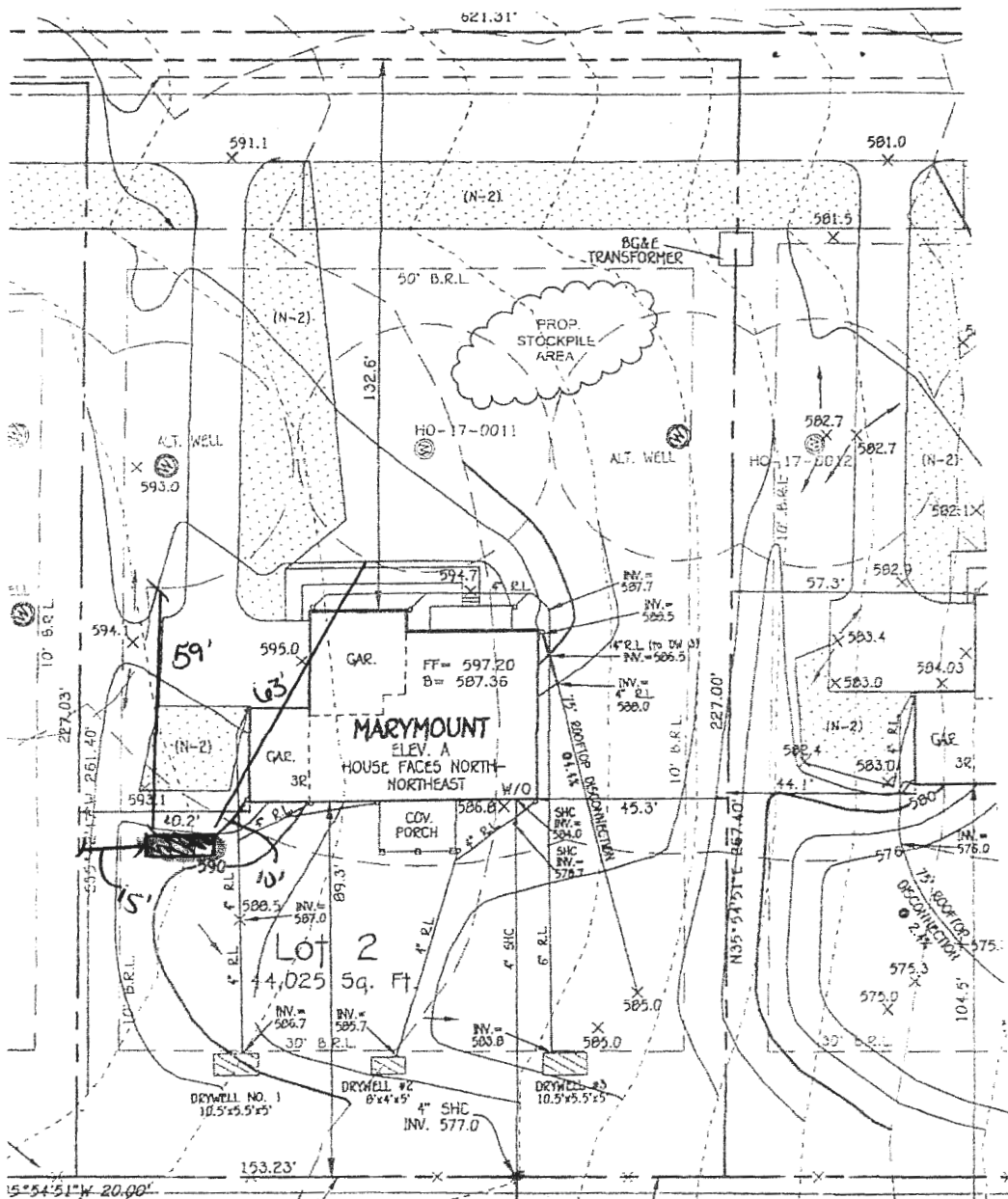
Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT		WEIGHT	QUANTITY IN FULL LOAD
				14"	28"		
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.8 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7' - 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2897.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8



PERMIT SITE PLAN
BELVEDERE ESTATES
 LOT 2

13715 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P\O 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: AUG. 5, 2019

SHEET 1 OF 1

ER/DEVELOPER

RV HOYLES
 STURGEON WOODS DRIVE
 LUMMA, MD 21045
 410-379-9956

COLLINS & CARTER, INC.

ENGINEERING CONSULTANTS & LAND SURVEYORS

QUINCY OFFICE: PAUL - 11077 BALTIMORE NATIONAL PIKE
 ELLENHART CITY, MARYLAND 21042
 (410) 481-1000

PLAN

SCALE: 1"=40'



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8/12/2019 10:12 AM

Permit No.: B19002678

Building Address: 13715 Tergeo Dr.
City: West Friendship State: MD Zip Code: 21029
Suite/Apt. #: WP/BA #: 19-90
Subdivision: Belvedere Estates
Lot: 2 Tax Map: Parcel:

Existing Use: Vacant lot
Proposed Use: Single family house
Estimated Construction Cost: \$ 230,000

Description of Work: New 2 story "Marymount"
EW A, with 2 car garage, 1 car side attached
garage, covered porch, and finished lower
level (Rec rm, bath rm, wet bar and bedroom)

Occupant/Tenant Name:
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Property Owner's Name: NVR Inc.
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5950 Fax:
Email:

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7772 Fax:
Email: jim@decaturbuilding.com

Contractor Company: NV Homes
Contact Person: Clint Cagle
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5950 Fax:
Email: ccagle@nvinc.com

Engineer/Architect Company:
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: 45' x 68'
Area of construction (sq. ft.):	2nd floor: 40' x 54'
Use group:	Basement: 45' x 69'
Construction type:	☒ Finished Basement
☐ Reinforced Concrete	☐ Unfinished Basement
☐ Structural Steel	☐ Crawl Space
☐ Masonry	☐ Slab on Grade
☐ Wood Frame	No. of Bedrooms: 5
☐ State Certified Modular	☒ Multi-family Dwelling
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	☐ State Certified Modular
	☐ Manufactured Home

Utilities
Electric: ☒ Yes ☐ No
Gas: ☒ Yes ☐ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☒ Electric ☐ Oil
☐ Natural Gas ☒ Propane Gas
☐ Other:
Sprinkler System:
☒ Yes ☐ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin
Email Address: jim@decaturbuilding.com
Title/Company: Agent/NV Homes
Print Name: Jim Kerwin
Date: 8/12/2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Is Sediment Control approval required for issuance?	8/12/19	40 David
☐ CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 10
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 271400

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

13715 Tergeo Drive
Lot 2

MARYMOUNT

Health Dept



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	STD. DWGS.	FULL BASEMENT																				STANDARD DETAILS
SPEC SHEET	56-1																					AD-1
ELEVATIONS	5																					AD-1b
FOUNDATIONS	14																					DR-1
FOUNDATION HOLD DOWNS	19																					DR-2
PLUMBING	21.1																					DR-3
BASEMENT FLOOR PLAN	22																					ET-1
FIRST FLOOR PLAN	25																					ET-1b
SECOND FLOOR PLAN	29																					ET-1c
BUILDING SECTIONS - FOYER	33																					ET-1f
BUILDING SECTIONS - GARAGE	35																					ET-2
STAIR SECTIONS	37																					ET-3
KITCHEN	40																					ET-3b
KITCHEN - NET BAR / BOOKCASE	44																					F-1
KITCHEN - LAUNDRY	45																					FA-1
BATHS	46																					FC-1
BASEMENT ELECTRICAL	47																					FC-2
FIRST FLOOR ELECTRICAL	50																					FC-4
SECOND FLOOR ELECTRICAL	54																					FD-1
FIRST FLOOR FRAMING	58																					FD-2
SECOND FLOOR FRAMING	60																					FD-2b
ROOF FRAMING	61																					FD-3
ROOF FRAMING - RIDER	65.2																					FP-1
TRUSS BRACING	66																					GB-1
WALL BRACING LAYOUT	68																					IT-1
HVAC LAYOUT - BASEMENT	72																					IT-1b
HVAC LAYOUT - CRAWLSPACE	74																					IT-1c
HVAC LAYOUT - FIRST FLOOR	75																					IT-2
HVAC LAYOUT - SECOND FLOOR	78																					JT-1
																						JT-3
																						JT-3b
																						KT-1
																						RF-1
																						RF-1b
																						SEP-1
																						SEP-2
																						SEP-3
																						SEP-4
																						SP-1
																						SP-2
																						SP-3
																						ST-1
																						ST-3b
																						WB-1
																						WB-2
																						WB-3
																						WB-3b
																						WD-1
																						WD-2
																						WD-3
																						WB-1

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1742 SF
	1742 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF
	2072 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT OR SIDE ENTRY GARAGE	524 SF
ONE CAR SIDE ATTACHED GARAGE	314 SF
	838 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	803 SF
BASEMENT BEDROOM (ADD SF)	240 SF
	1043 SF

TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1742 SF
2ND FLOOR (BASE SF)	2072 SF
BASEMENT BEDROOM (ADD SF)	240 SF
FINISHED BASEMENT	803 SF
	4857 SF

SET - VERSION

12000 - 01

CS-1

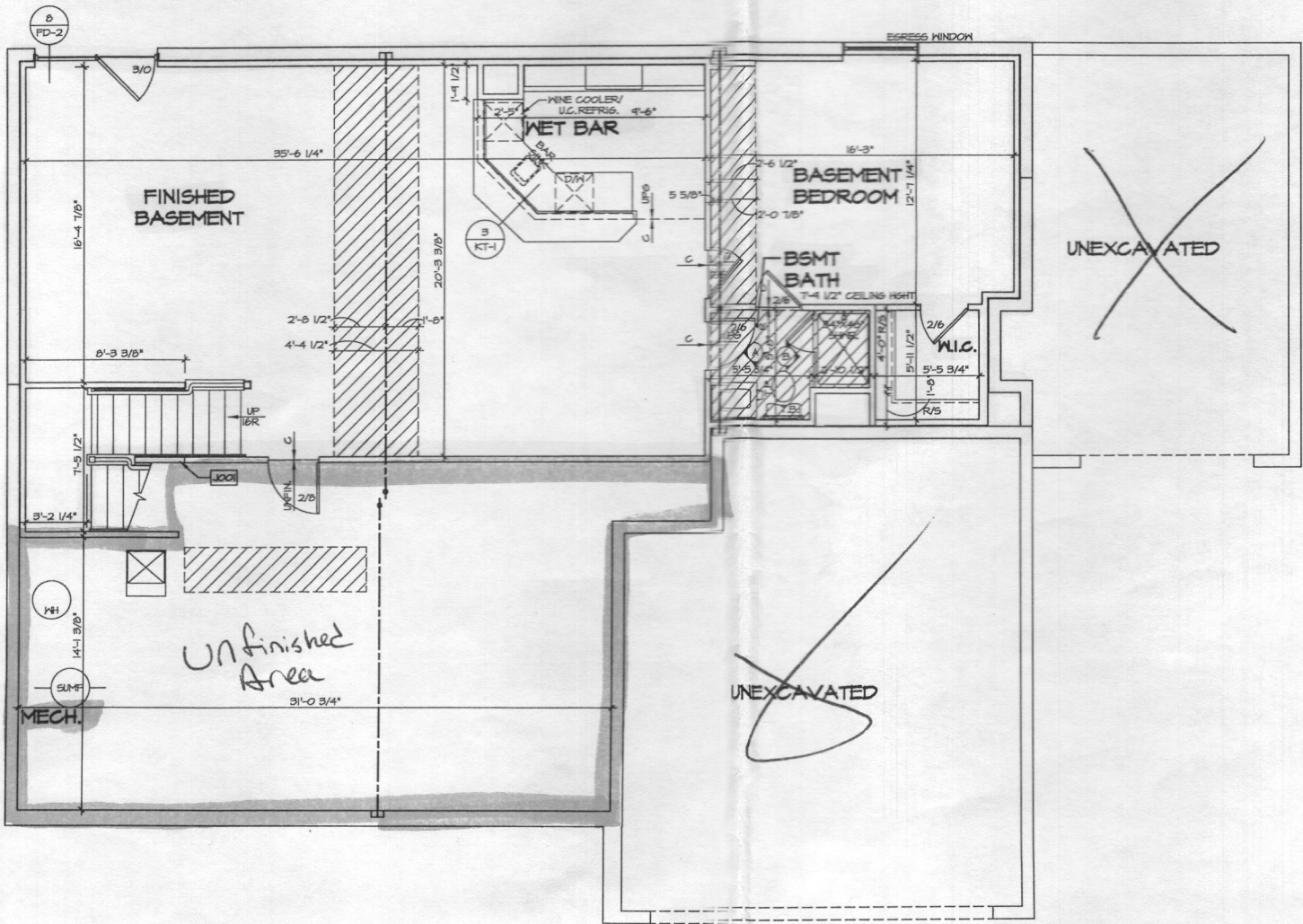
G:\NVR\Seva\MARYMOUNT_12000_01\MOE-BV-0002\1356728\Sheets\Lot_Specs\CS-1_COVERSHEET.dwg 08/06/19 - 3:57 pm

BASEMENT JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. INITIALS	REMARKS
J001	JACK - (2) 2X4 SFF STUD GRADE		BCC	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE FC DETAILS FOR FRAMING CONNECTORS	

FLOOR PLAN NOTES	
1.	ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2.	ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3.	ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4.	HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
5.	ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
6.	ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES	
AT GARAGE:	
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.	
AT STAIRS:	
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET	
WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA	
NOTES:	
1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"X8'-0" CEILING SPACE ABOVE MECHANICAL AREA). - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.	



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

© NVR, Inc., expressly reserves its copyright and other proprietary rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.

NVR
NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 12000	VEESION OF
DRAWN BY	DATE:
OPTION	OPTION

A-6
22

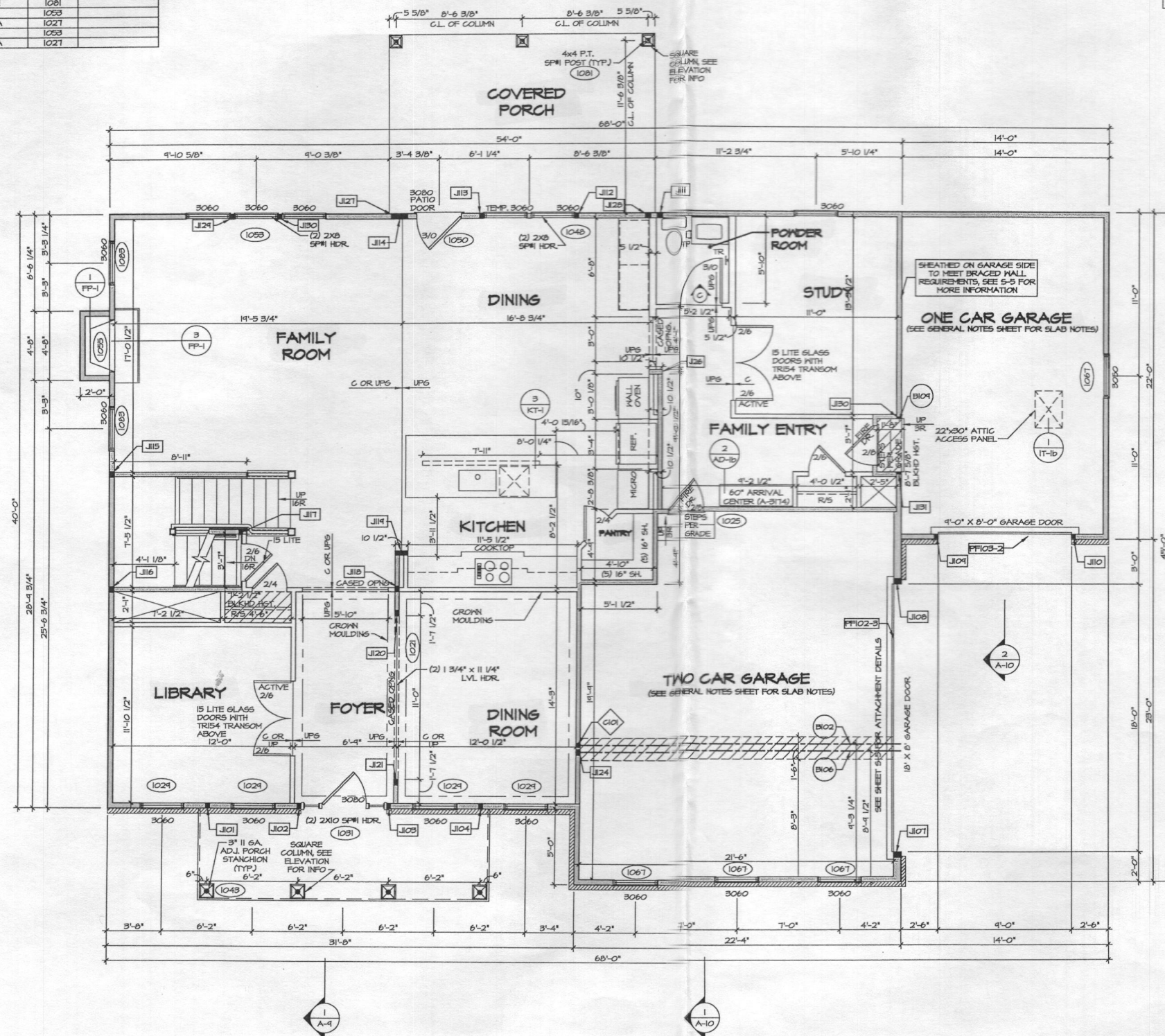
FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J101	JACK - (2) 2X4 SFF STUD GRADE	ELA, EVA	1043	
J102	JACK - (2) 2X4 SFF STUD GRADE	ELA	1031	
J103	JACK - (2) 2X4 SFF STUD GRADE	ELA	1031	
J104	JACK - (2) 2X4 SFF STUD GRADE	ELA, EVA	1043	
J107	JACK - (3) 2X6 SFF STUD GRADE	GCC	107B107B	
J108	JACK - (3) 2X6 SFF STUD GRADE	GCC	107B107B	
J109	JACK - (2) 2X4 SFF STUD GRADE	GAA	1071	
J110	JACK - (2) 2X4 SFF STUD GRADE	GAA	1071	
J111	JACK - (3) 2X4 SFF STUD GRADE		1018	
J112	JACK - (2) 2X4 SFF STUD GRADE		1048	
J113	JACK - (2) 2X4 SFF STUD GRADE		1048	
J114	JACK - (6) 2X4 SFF		1023	
J115	JACK - (3) 2X4 SFF STUD GRADE		1013	
J116	JACK - (3) 2X4 SFF STUD GRADE		1011	
J117	JACK - (2) 2X4 SFF STUD GRADE		1009	FIELD INSTALLED
J118	JACK - (3) 2X4 SFF STUD GRADE		1011	
J119	JACK - (6) 2X4 SFF		1023	
J120	JACK - (3) 2X4 SFF STUD GRADE	ELA	1021	
J121	JACK - (3) 2X4 SFF STUD GRADE	ELA	1021	
J124	JACK - (3) 2X4 SFF STUD GRADE	ELA/EVABR/GCC	1050	
J126	JACK - (3) 2X4 SFF STUD GRADE		1019	
J127	JACK - (3) 2X4 SFF STUD GRADE	EPE	1081	
J128	JACK - (3) 2X4 SFF STUD GRADE	EPE	1081	
J129	JACK - (2) 2X4 SFF		1058	
J130	JACK - 2X4 SFF STUD GRADE	GAA	1027	
J130	JACK - (2) 2X4 SFF		1058	
J131	JACK - 2X4 SFF STUD GRADE	GAA	1027	

FIRST FLOOR BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENS. NUM.
B102	BEAM STEEL - W2X8	22'-3"	GCC/ELABKR	1051
B106	BEAM STEEL - W4X22	22'-3"	GCC/ELABKR	1050
B109	EXT HEADER - 2X6 - 2 PLY	5'-10"	GAA	1021
PFI02-3	LVL - 20	20'-2 1/2"	GCC/ELABKR	107B
PFI03-2	LVL - 11-04	13'-6 1/2"	GAA	1071

STEEL COLUMN SCHEDULE				
IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENS. NUM.
C101	STANCHION - 3 IN SCHED 40	8'-0 3/4"		1051

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT LOAD ABOVE
	JACK
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE PG DETAILS FOR FRAMING CONNECTORS	

FLOOR PLAN NOTES	
1.	ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2.	ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3.	ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 8 1/2" UNLESS OTHERWISE NOTED.
4.	HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
5.	SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6.	ALL WINDOWS HAVE 8'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
7.	ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
GYPSUM NOTES	
AT GARAGE:	
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.	
AT STAIRS:	
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET	
WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA	
NOTES:	
1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED	
A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).	
PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.	



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO.

DATE

SET NO. 12000

VERSION 01

DRAWN BY

DATE:

OPTION

MODEL

MARYMOUNT

DRAWING TITLE

FIRST FLOOR PLAN

OPTION DESCRIPTION

SHEET NO.

A-7

25

© NVR, Inc., all rights reserved. No part of this drawing may be reproduced without written permission of NVR, Inc.

NVR

NVR, Inc. Suite 100

5285 Washburn Ave.

Frederick, MD 21703

12000-01-MDE-BV-0002A-1338129-Sheets-1-25 A-7 PLAN-13.dwg

08/06/19

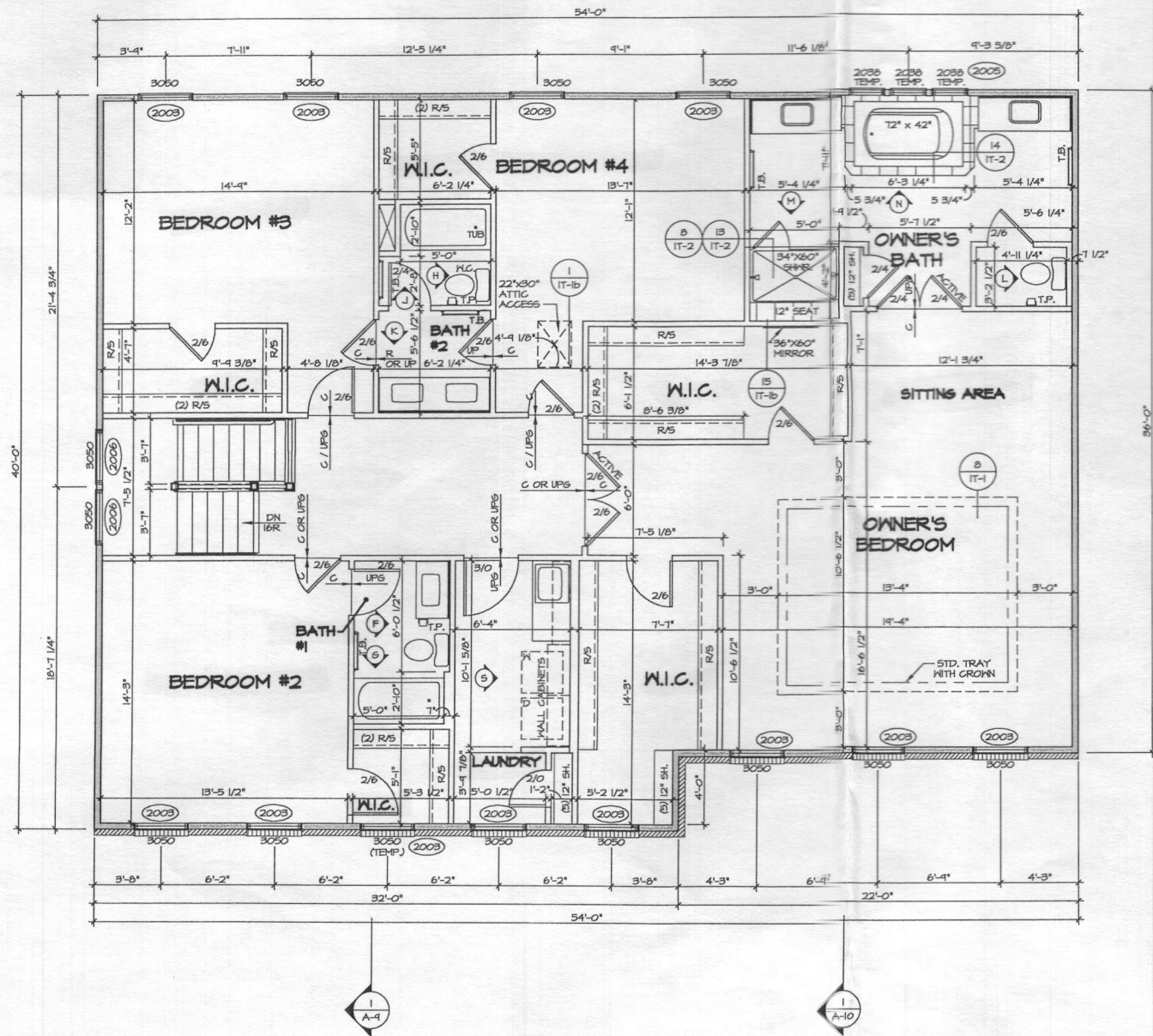
- 3:38 am

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 6. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 7. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

© NVR, Inc., expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.

NVR
NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 12000
VERSION 01
DRAWN BY
DATE:
OPTION

MODEL
MARYMOUNT
DRAWING TITLE
SECOND FLOOR PLAN
OPTION DESCRIPTION

SHEET NO.
A-8
29