



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: **B19003697**

Building Address: **13723 TERGO DRIVE**  
City: **WEST FRIENDSHIP** State: **MD** Zip Code: **21794**  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: **SFD**  
Proposed Use: **SFD W/PROPANE TANK**  
Estimated Construction Cost: \$ **4,000**  
Description of Work:  
**INSTALL 1000 GAL UNDERGROUND PROPANE TANK**

Occupant/Tenant Name: **OWNER**  
Was tenant space previously occupied? ☐ Yes ☐ No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<b>Depth</b> <b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
	2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<b>Roadside Tree Project Permit</b>	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: **NVR INC**  
Address: **9720 PATUXENT WOODS DRIVE**  
City: **COLUMBIA** State: **MD** Zip Code: **21046**  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: **MICHELLE CLANCY**  
Address: **PO BOX 310**  
City: **PERRY HALL** State: **MD** Zip Code: **21128**  
Phone: **443-610-7514** Fax: \_\_\_\_\_  
Email: **MICHELLE@APPLIEDANDAPPROVED.COM**

Contractor Company: **AIR GAS**  
Contact Person: **DENNIS FEAGA**  
Address: **6750 MACLEAN DRIVE**  
City: **GLEN BURNIE** State: **MD** Zip Code: **21060**  
License No.: **81215**  
Phone: **410-984-5681** Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Engineer/Architect Company: **CONTRACTOR**  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Utilities	
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: \_\_\_\_\_  
MICHELLE@APPLIEDANDAPPROVED.COM  
Email Address  
PERMITS  
Title/Company

Print Name: **MICHELLE CLANCY**  
Date: **10/29/19**  
**RECEIVED**  
**OCT 30 2019**  
LICENSES & PERMITS  
DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )	11/18/19	RJA
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No  
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 100
Tech Fee	\$ 10
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110.00
Sub- Total Paid	\$
Balance Due	\$
Check	# 7414

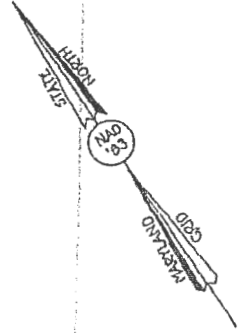
Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

T:\Operations\Updated Forms\Building applmp 03.21.2017.docx

AKH

STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT FOR LOT 4 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTIONS (N-2) FOR THE DRIVEWAY AREA AND 1 ROOFTOP DISCONNECTION (N-1) & 2 DRYWELLS (M-5), FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



OWNER/DEVELOPER

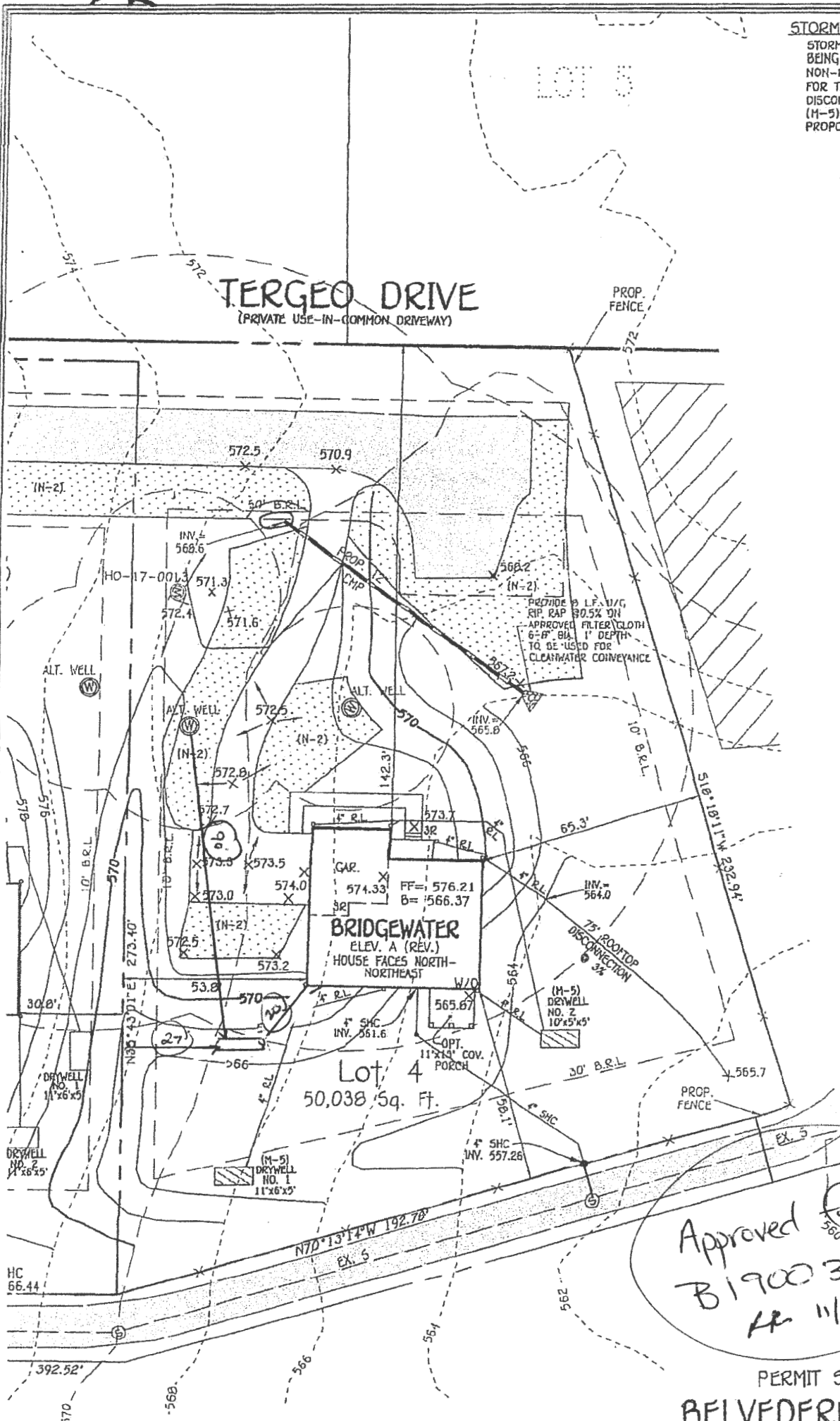
RY HOMES  
1720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-9956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.

553 S.F.	(N-1) 423 S.F.
464 S.F.	378 S.F.
	223 S.F.

HOUSE DOWNSPOUT DRAINAGE AREAS

SCALE: 1"=30'



NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0013, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

REVISED: AUGUST 20, 2019

FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTINEL SQUARE DRIVE SUITE 100 - 10022 BALTIMORE NATIONAL PIKE  
ELICOTT CITY, MARYLAND 21042  
(410) 291-1225

PLAN

SCALE: 1" = 40'

PERMIT SITE PLAN  
BELVEDERE ESTATES  
LOT 4

13723 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: B PARCELS NO.: 116 AND PLO 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN

DATE: SEPT. 30, 2019

SHEET 1 OF 1

~~1000 GNL Under Ground~~  
~~B 1900 2750~~

Approved for OPT  
B19003697  
AR 11/8/19



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2019 AUG 20 PM 1:10

Date Received: \_\_\_\_\_

Permit No.: **B19002750**

Building Address: 13223 Tergeo Dr  
City: West Friendship MD Zip Code: 21794  
Suite/Apt. #: \_\_\_\_\_ RDP/WP/BA #: GP-19-90  
Subdivision: Belvedere Estates  
Lot: 4 Tax Map: \_\_\_\_\_ Parcel: F-16-065  
Existing Use: Vacant lot  
Proposed Use: Single family house  
Estimated Construction Cost: \$ 230,000  
Description of Work: New 2 story "Bridgewater" ELEV with 2 car garage, covered porch, and finished lower level (Rec room, bath and bedroom)  
Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied? ☐ Yes ☒ No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: NVR Inc  
Address: 9720 Patuxent Woods Dr  
City: Columbia MD Zip Code: 21046  
Phone: 410-379-5956 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: Decatur Building Services  
Address: PO Box 552  
City: Woodbine MD Zip Code: 21797  
Phone: 443-309-7722 Fax: \_\_\_\_\_  
Email: jin@decaturbuilding.com  
Contractor Company: NV Homes  
Contact Person: Clint Cagle  
Address: 9720 Patuxent Woods Dr  
City: Columbia MD Zip Code: 21046  
License No.: 56  
Phone: 410-379-5956 Fax: \_\_\_\_\_  
Email: ccagle@nvrinc.com  
Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: <u>46</u> x <u>50</u>
Area of construction (sq. ft.):	2nd floor: <u>37</u> x <u>50</u>
Use group:	Basement: <u>46</u> x <u>50</u>
Construction type:	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin  
Email Address: jin@decaturbuilding.com  
Title/Company: Agent/NV Homes

Print Name: Jim Kerwin  
Date: 8/20/2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	10/1/18	U. Oswald

Is Sediment Control approval required for issuance? ☐ Yes ☒ No  
☐ CONTINGENCY CONSTRUCTION START

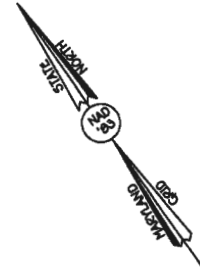
DPZ SETBACK INFORMATION

Front: \_\_\_\_\_  
Rear: \_\_\_\_\_  
Side: \_\_\_\_\_  
Side St.: \_\_\_\_\_  
All minimum setbacks met? ☐ Yes ☐ No  
Is Entrance Permit Required? ☐ Yes ☐ No  
Historic District? ☐ Yes ☐ No  
Lot Coverage for New Town Zone: \_\_\_\_\_  
SDP/Red-line approval date: \_\_\_\_\_

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 308505

# STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT FOR LOT 4 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTIONS (N-2) FOR THE DRIVEWAY AREA AND 1 ROOFTOP DISCONNECTION (N-1) & 2 DRYWELLS (M-5), FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



## OWNER/DEVELOPER

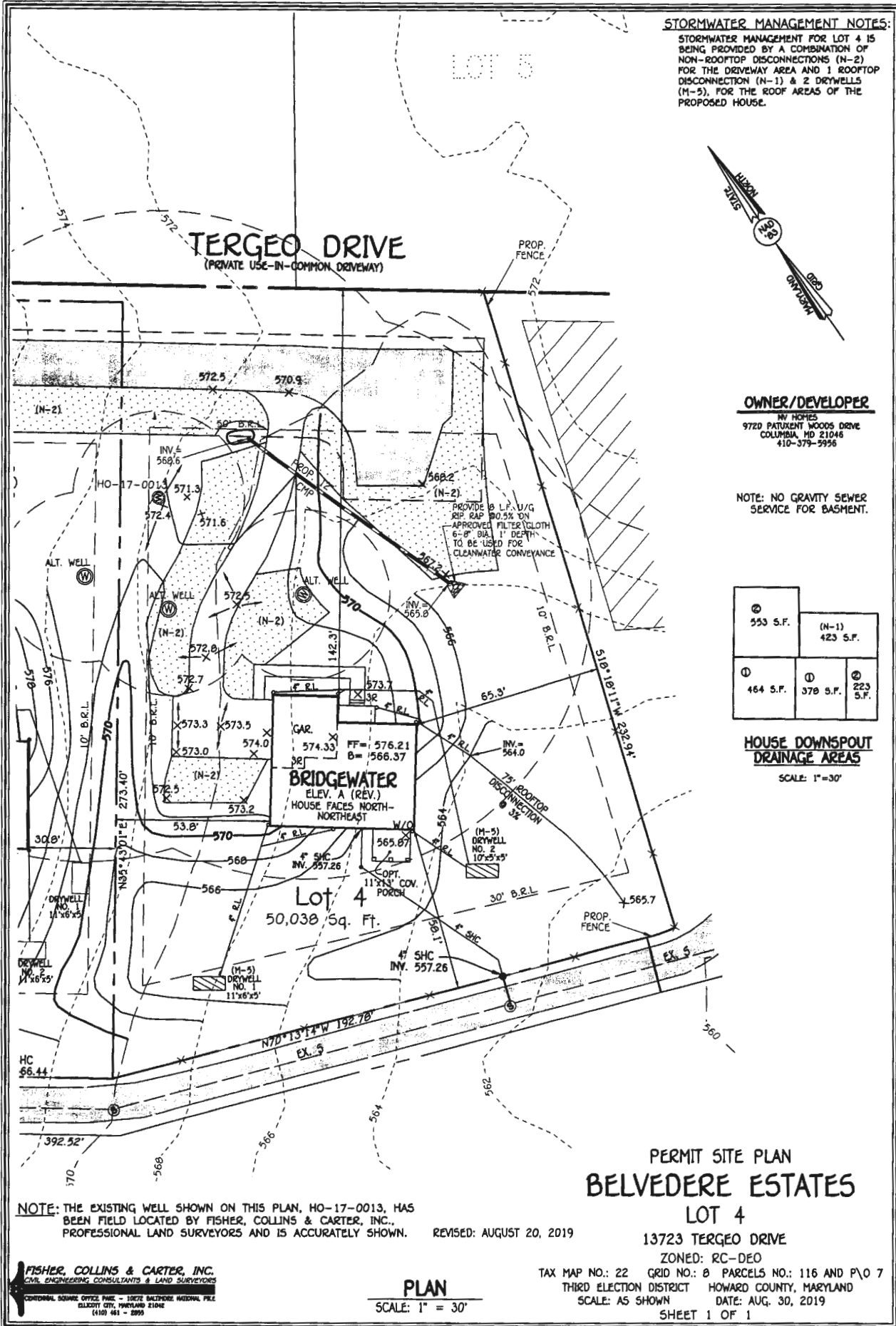
IN NOTES  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.

② 553 S.F.	(N-1) 423 S.F.
① 464 S.F.	① 378 S.F.
	② 223 S.F.

## HOUSE DOWNSPOUT DRAINAGE AREAS

SCALE: 1"=30'



NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0013, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

REVISED: AUGUST 20, 2019

FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING, CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10072 BELVEDERE NATIONAL PK.  
ELICOTT CITY, MARYLAND 21046  
(410) 461-2000

PLAN

SCALE: 1" = 30'

PERMIT SITE PLAN  
BELVEDERE ESTATES  
LOT 4

13723 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P/O 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

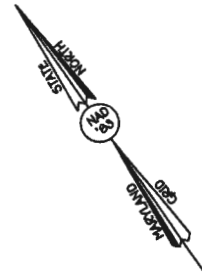
SCALE: AS SHOWN DATE: AUG. 30, 2019

SHEET 1 OF 1



# STORMWATER MANAGEMENT NOTES:

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## OWNER/DEVELOPER

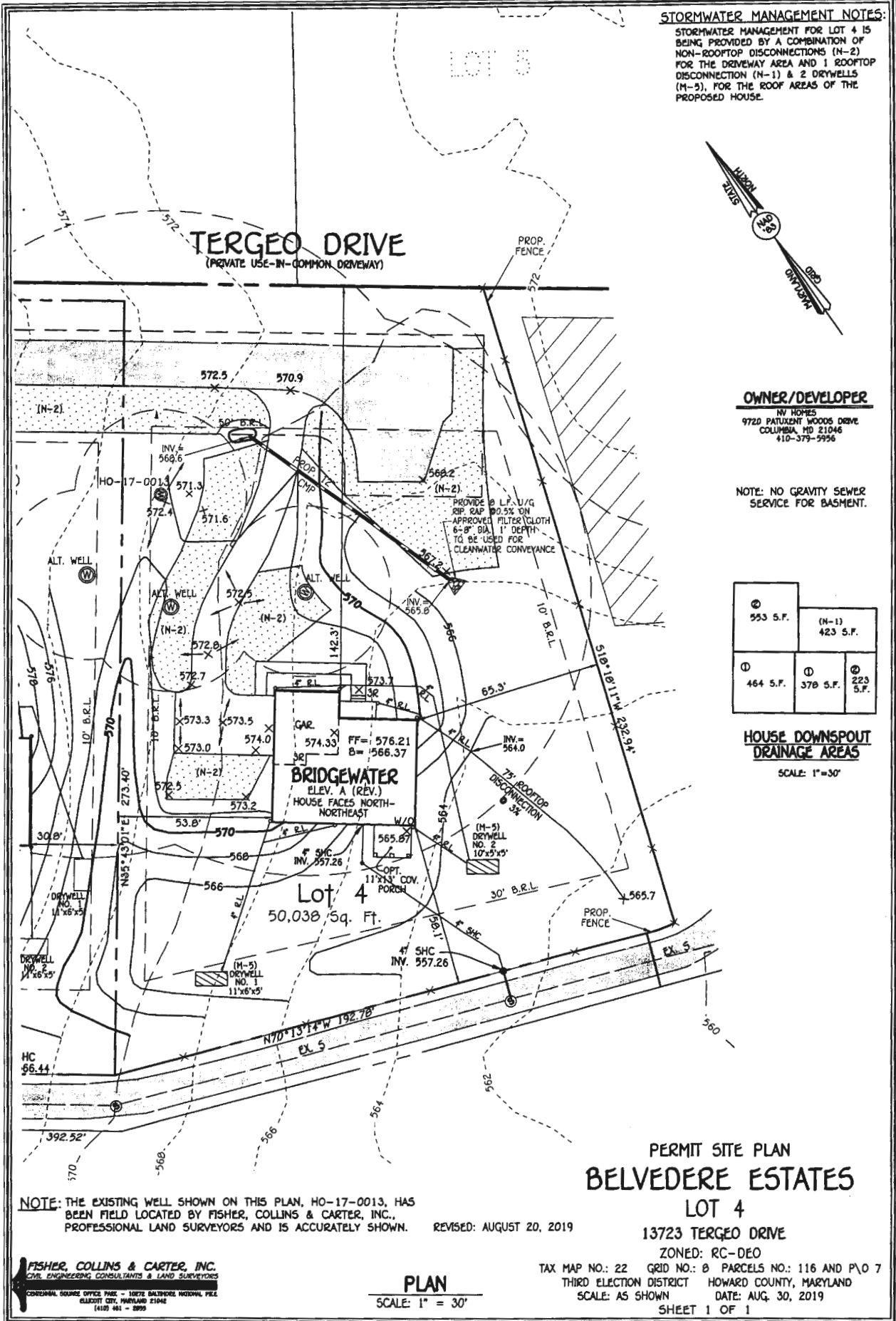
INV HOMES  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-9956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.

② 953 S.F.	(N-1) 423 S.F.
① 464 S.F.	① 378 S.F.
	② 223 S.F.

## HOUSE DOWNSPOUT DRAINAGE AREAS

SCALE: 1"=30'



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REVISED: AUGUST 20, 2019

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING, CONSULTANTS & LAND SURVEYORS  
CORPORAL SOURCE OFFICE, 1807E BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2999

## PLAN

SCALE: 1" = 30'

## PERMIT SITE PLAN BELVEDERE ESTATES LOT 4

13723 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P.O. 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: AUG. 30, 2019

SHEET 1 OF 1

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 9-27-19

To: HANK OSWALD HEALTH DEPARTMENT  
(Person's Name and Division)

From: DAVE HARWARD FLEC (410) 461-2855  
(Your Name, Company Name and Telephone Number)

Subject: Project name BELVEDERE ESTATES  
Project site address 13723 TERREO DRIVE  
Permit # B19002750 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☐ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ☐ Letter Summarizing Changes \* REVISED RIP RAD TO BE 50' FROM ALT WELL
- ☐ Energy conservation calculations
- ☒ Copies of PERMIT SITE PLAN (be specific).
- ☒ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request
- ☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- ☐ Other \_\_\_\_\_

**Contact Person Information: (Required)**

TONY FERTITTA  
Please Print Name

Telephone No: 410-461-2855

E-Mail Address: TONYF@FLEC-ENG.COM

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

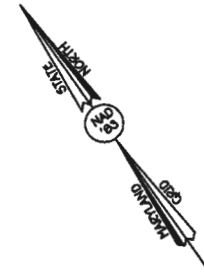
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DILP 2019 SEP 27 AM 9:00

# STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT FOR LOT 4 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTIONS (N-2) FOR THE DRIVEWAY AREA AND 1 ROOFTOP DISCONNECTION (N-1) & 2 DRYWELLS (M-5), FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



## OWNER/DEVELOPER

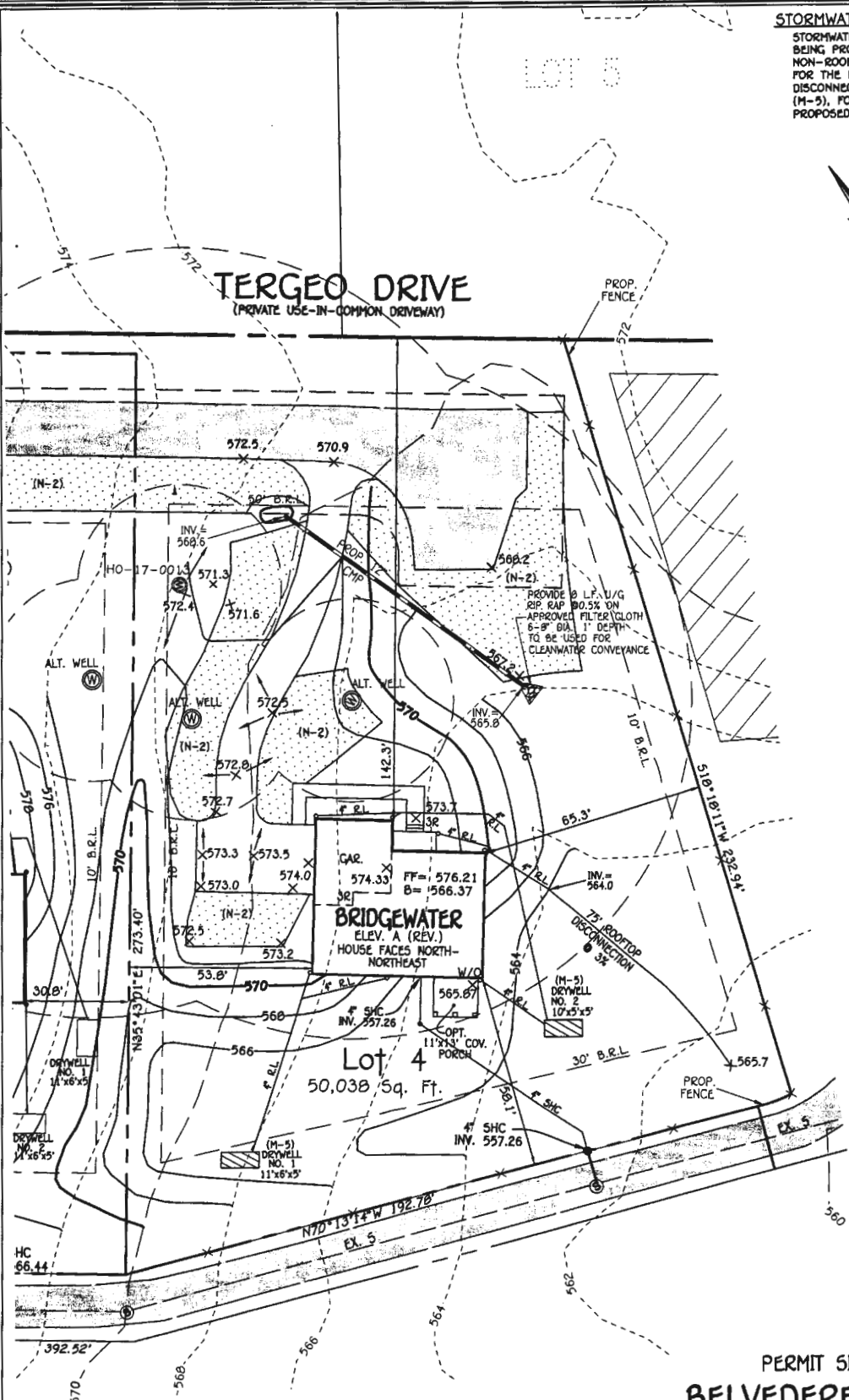
MY HOMES  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.

② 553 S.F.	(N-1) 423 S.F.
① 464 S.F.	① 378 S.F.
	② 223 S.F.

## HOUSE DOWNSPOUT DRAINAGE AREAS

SCALE: 1" = 30'



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REVISED: AUGUST 20, 2019

FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTURIAL SQUARE OFFICE PARK - 1827E BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2222

## PLAN

SCALE: 1" = 30'

## PERMIT SITE PLAN BELVEDERE ESTATES LOT 4

13723 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND PLO 7  
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: AUG. 30, 2019  
SHEET 1 OF 1



13723 Tergeo Drive  
Lot 4

BRIDGEWATER

Heath Dept

B19002750



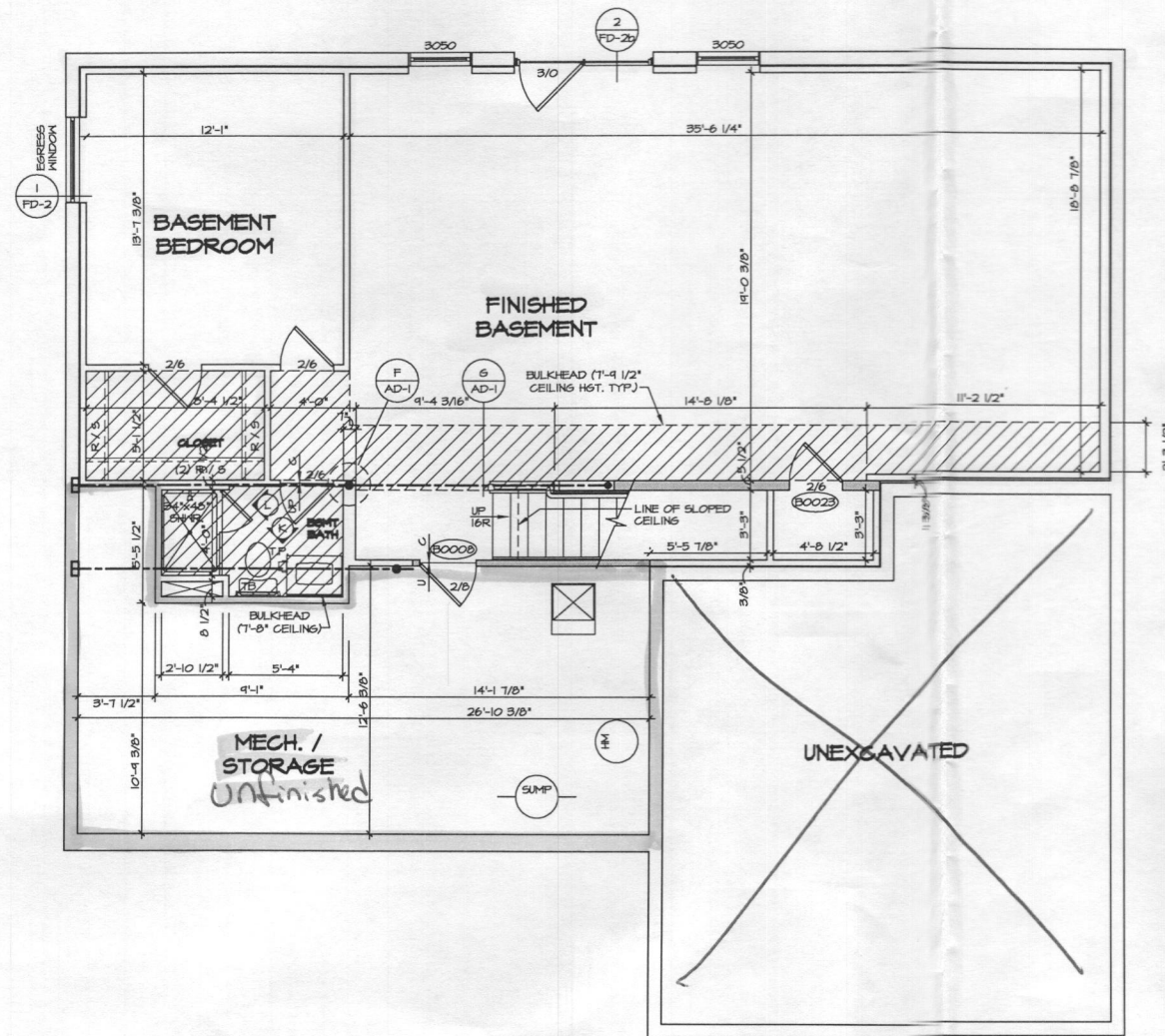
NVR, Inc.  
5285 Westview Drive, Suite 100  
Frederick, MD 21703

	FULL BASEMENT												STANDARD DETAILS
	STD. DNGS.												
SPEC SHEET	96-1												AD-1
GENERAL NOTES	2												DR-1
SCHEDULES	3												DR-2
ELEVATIONS	5												DR-3
FOUNDATIONS	14												ET-1
FOUNDATION HOLD DOWNS	19												ET-1b
PLUMBING	20												ET-1c
BASEMENT FLOOR PLAN	21												ET-1d
FIRST FLOOR PLAN	22												ET-1e
SECOND FLOOR PLAN	25												ET-1f
BUILDING SECTION AT FOYER	26												ET-1h
BUILDING SECTION AT GARAGE	27												ET-2
STAIR SECTIONS	28												ET-3a
KITCHEN	31												ET-3c
LAUNDRY / MISC. CABINET LAYOUTS	33												F-1
BATHS	34												FC-1
BASEMENT ELECTRICAL	35												FC-2
FIRST FLOOR ELECTRICAL	36												FC-4
SECOND FLOOR ELECTRICAL	37												FD-1
FIRST FLOOR FRAMING	38												FD-2
SECOND FLOOR FRAMING	39												FD-2b
ROOF FRAMING	40												FD-3
TRUSS BRACING	45												FP-1
WALL BRACING LAYOUT	46												FP-1b
BASEMENT - HVAC LAYOUT	50												GB-1
CRAWL SPACE - HVAC LAYOUT	53												IT-1
FIRST FLOOR - HVAC LAYOUT	54												IT-1b
SECOND FLOOR - HVAC LAYOUT	58												IT-1c
													IT-2
													JT-1
													JT-3
													JT-3b
													KT-1
													RF-1
													RF-1b
													SEP-1
													SEP-2
													SEP-3
													SEP-4
													SP-1
													SP-2
													SP-3
													ST-1
													NB-1
													NB-2
													ND-1
													ND-2
													ND-3
													NS-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1525 SF
	1525 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	1711 SF
	1711 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT ENTRY GARAGE OR TWO CAR SIDE ENTRY GARAGE	528 SF
	528 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT (BASE SF)	1171 SF
	1171 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL / STORAGE (BASE SF)	366 SF
	366 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1525 SF
2ND FLOOR (BASE SF)	1711 SF
FINISHED BASEMENT (BASE SF)	1171 SF
	4412 SF
SET - VERSION	
13000 - 01	
CS-1	

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**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAMHEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
  - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
  - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  - ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  - ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

- GYPSUM NOTES**
- AT GARAGE:  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

**BASEMENT JACK SCHEDULE**

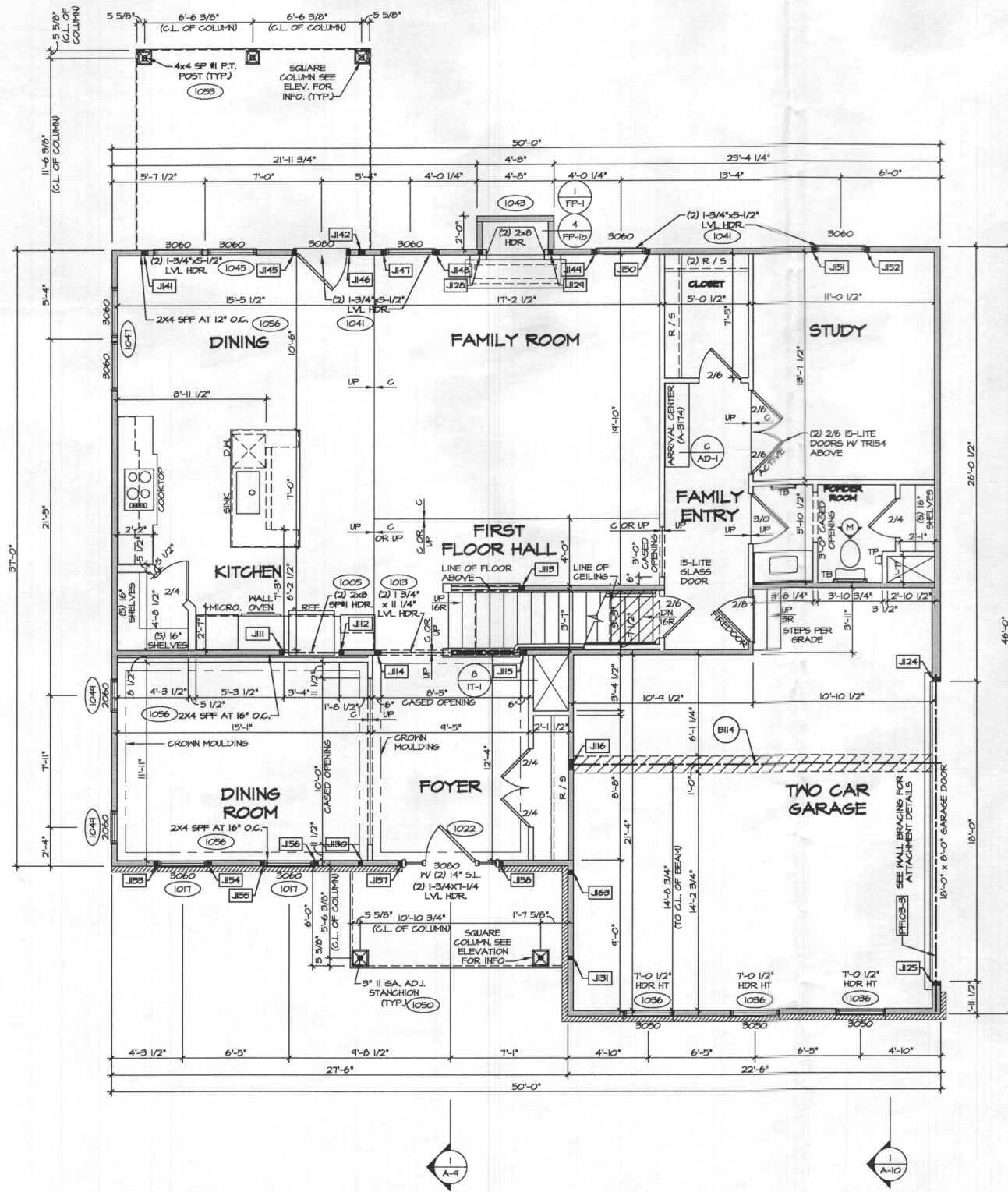
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
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SHEET NO.	MODEL	SET NO.	VERSION
A-6	BRIDGEWATER	01	01
	DRAWING TITLE	DRAWN BY	JAB
	BASEMENT FLOOR PLAN	DATE:	
	OPTION DESCRIPTION	OPTION	FBA
	W/ FULL BASEMENT FOUNDATION		
21			





**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)					
1A	(2) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN FLIES W/ (2) ROWS 16D NAILS AT 12" O.C.				
2A	(2) PLY 14" TO AND 18" TALL (INCLUSIVE); FASTEN FLIES W/ (3) ROWS 16D NAILS AT 12" O.C.				
3A	(2) PLY 20" TALL AND OVER; FASTEN FLIES W/ (4) ROWS 16D NAILS AT 12" O.C.				
4A	(3) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN FLIES W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE				
5A	(3) PLY 14" TO AND 18" TALL (INCLUSIVE); FASTEN FLIES W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE				
6A	(3) PLY 20" TALL AND OVER; FASTEN FLIES W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE				

FIELD INSTALLED FIRST FLOOR BEAM/HEADER SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS
BI14	BEAM STEEL - #12X35	22'-5 1/2"	FBA	1015	
PF103-3	LVL - 20	20'-2"	GCC, ZDK, ELA, ELB, ELI	1092	6A

FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J111	JACK - (2) 2X4 SFF STUD GRADE		1005	
J112	JACK - (2) 2X4 SFF STUD GRADE		1005	
J113	JACK - (2) 2X4 SFF STUD GRADE		1004	
J114	JACK - (3) 2X4 SFF		1013	
J115	JACK - (3) 2X4 SFF		1013	
J116	JACK - (3) 2X4 SFF		1015	
J124	JACK - (2) 2X6 SFF STUD GRADE	GCC	1092	
J125	JACK - (2) 2X6 SFF STUD GRADE	GCC	1092	
J126	JACK - (2) 2X4 SFF STUD GRADE	L&F	1049	
J127	JACK - (2) 2X4 SFF STUD GRADE	L&F	1049	
J130	JACK - (2) 2X4 SFF STUD GRADE	ELA, EVA	1051	
J131	JACK - (2) 2X4 SFF STUD GRADE	ELA, EVA	1051	
J141	JACK - (3) 2X4 SFF STUD GRADE	EPE	1055	
J142	JACK - (3) 2X4 SFF STUD GRADE	EPE	1055	
J145	JACK - (2) 2X4 SFF STUD GRADE		1041	
J146	JACK - (2) 2X4 SFF STUD GRADE		1041	
J147	JACK - (2) 2X4 SFF STUD GRADE		1041	
J148	JACK - (2) 2X4 SFF STUD GRADE		1041	
J149	JACK - (2) 2X4 SFF STUD GRADE		1041	
J150	JACK - (2) 2X4 SFF STUD GRADE		1041	
J151	JACK - (2) 2X4 SFF STUD GRADE		1041	
J152	JACK - (2) 2X4 SFF STUD GRADE		1041	
J153	JACK - (2) 2X4 SFF STUD GRADE	ELA, ELB	1011	
J154	JACK - (2) 2X4 SFF STUD GRADE	ELA, ELB	1011	
J155	JACK - (2) 2X4 SFF STUD GRADE	ELA, ELB	1011	
J156	JACK - (2) 2X4 SFF STUD GRADE	ELA, ELB	1011	
J157	JACK - (2) 2X4 SFF STUD GRADE	ELA, ELB, ELK	1022	
J158	JACK - (2) 2X4 SFF STUD GRADE	ELA, ELB, ELK	1022	
J163	JACK - (2) 2X4 SFF STUD GRADE	ELA W EVA, ELB, ELR		

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE FC DETAILS FOR FRAMING CONNECTORS	

**GYPSUM NOTES**  
AT GARAGE:  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.  
AT STAIRS:  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

**FLOOR PLAN NOTES**  
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.  
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.  
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.  
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.  
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.  
6. ALL WINDOWS HAVE 8'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.  
7. ALL CASED OPENINGS AT 11'-11", UNLESS OTHERWISE NOTED.

REMARKS

REV. NO. DATE

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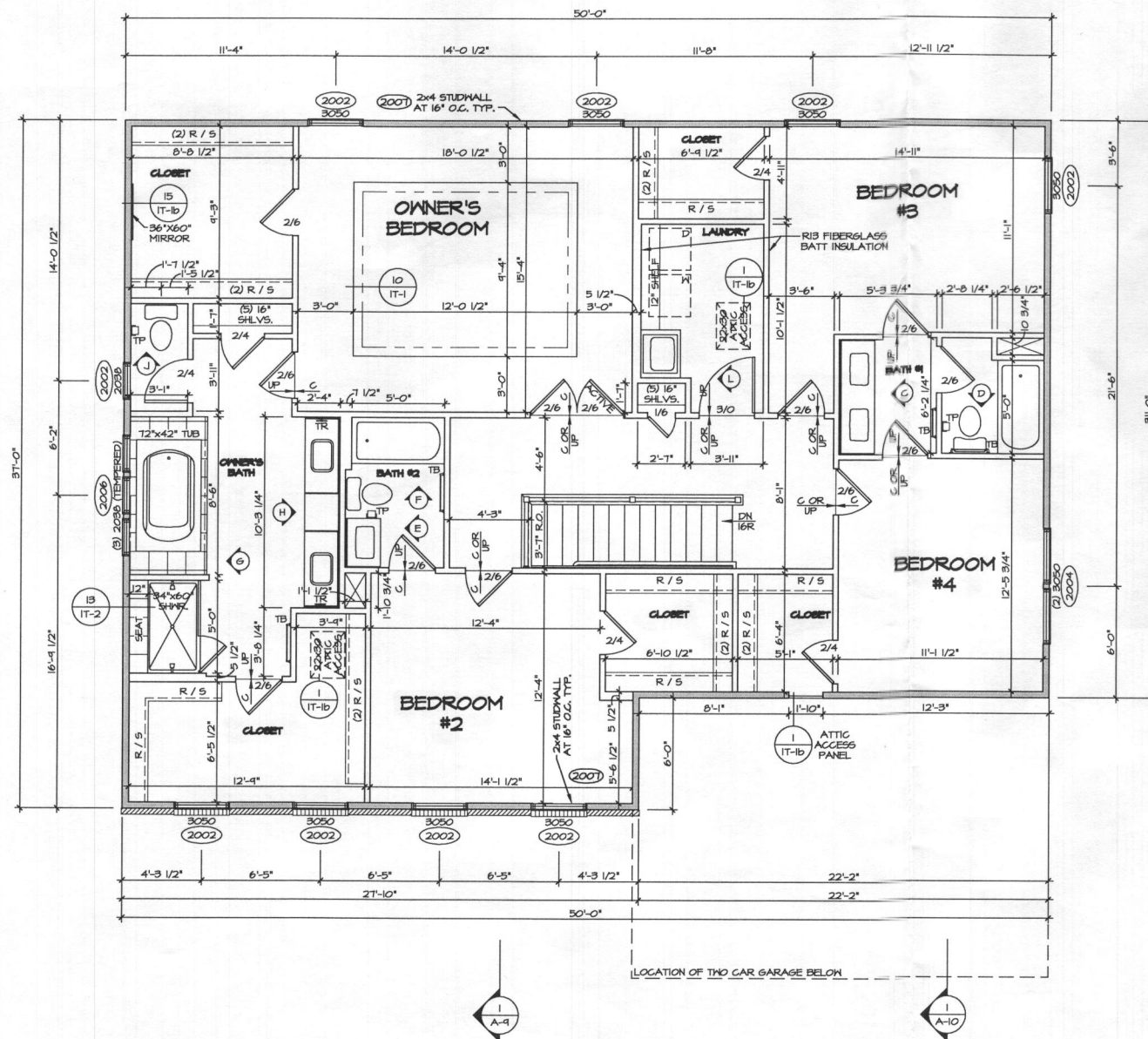
**NVR**  
NVR, Inc.  
5285 Watview Drive, Suite 100  
Frederick, MD 21703

SET NO. 15000  
VERSION 01  
DRAWN BY JAB  
DATE:  
OPTION

**BRIDGEWATER**  
DRAWING TITLE  
FIRST FLOOR PLAN  
OPTION DESCRIPTION

SHEET NO. **A-7**  
22





FIELD INSTALLED SECOND FLOOR BEAM/HEADER SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

FLOOR PLAN NOTES	
1.	ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2.	ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3.	ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4.	HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5.	SEE TRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6.	ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
7.	ALL CASED OPENINGS AT T-1", UNLESS OTHERWISE NOTED.

REMARKS

REV. NO. DATE

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Frederick, MD 21703

SET NO. 15000  
VERSION 01  
DRAWN BY JAB  
DATE:  
OPTION

MODEL BRIDGewater  
DRAWING TITLE  
SECOND FLOOR PLAN  
A-8

OPTION DESCRIPTION

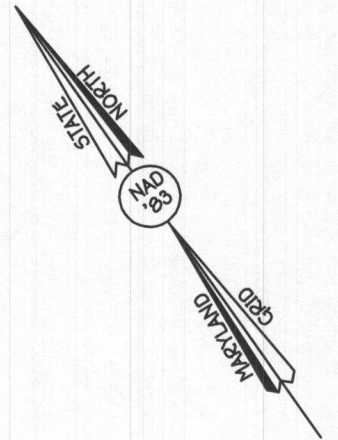
25

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# STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT FOR LOT 4 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTIONS (N-2) FOR THE DRIVEWAY AREA AND 1 ROOFTOP DISCONNECTION (N-1) & 2 DRYWELLS (M-5), FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



## OWNER/DEVELOPER

NV HOMES  
9720 PATUXENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-379-5956

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT.

② 553 S.F.	(N-1) 423 S.F.
① 464 S.F.	① 378 S.F.
	② 223 S.F.

## HOUSE DOWNSPOUT DRAINAGE AREAS

SCALE: 1"=30'

REVISED

Date: 10/01/19  
Comments: B19002750  
HEALTH REV ONLY  
TO 4" SHC  
PERMIT SITE PLAN

## BELVEDERE ESTATES LOT 4

13723 TERGEO DRIVE

ZONED: RC-DEO

TAX MAP NO.: 22 GRID NO.: 8 PARCELS NO.: 116 AND P\O 7

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN

DATE: AUG. 30, 2019

SHEET 1 OF 1

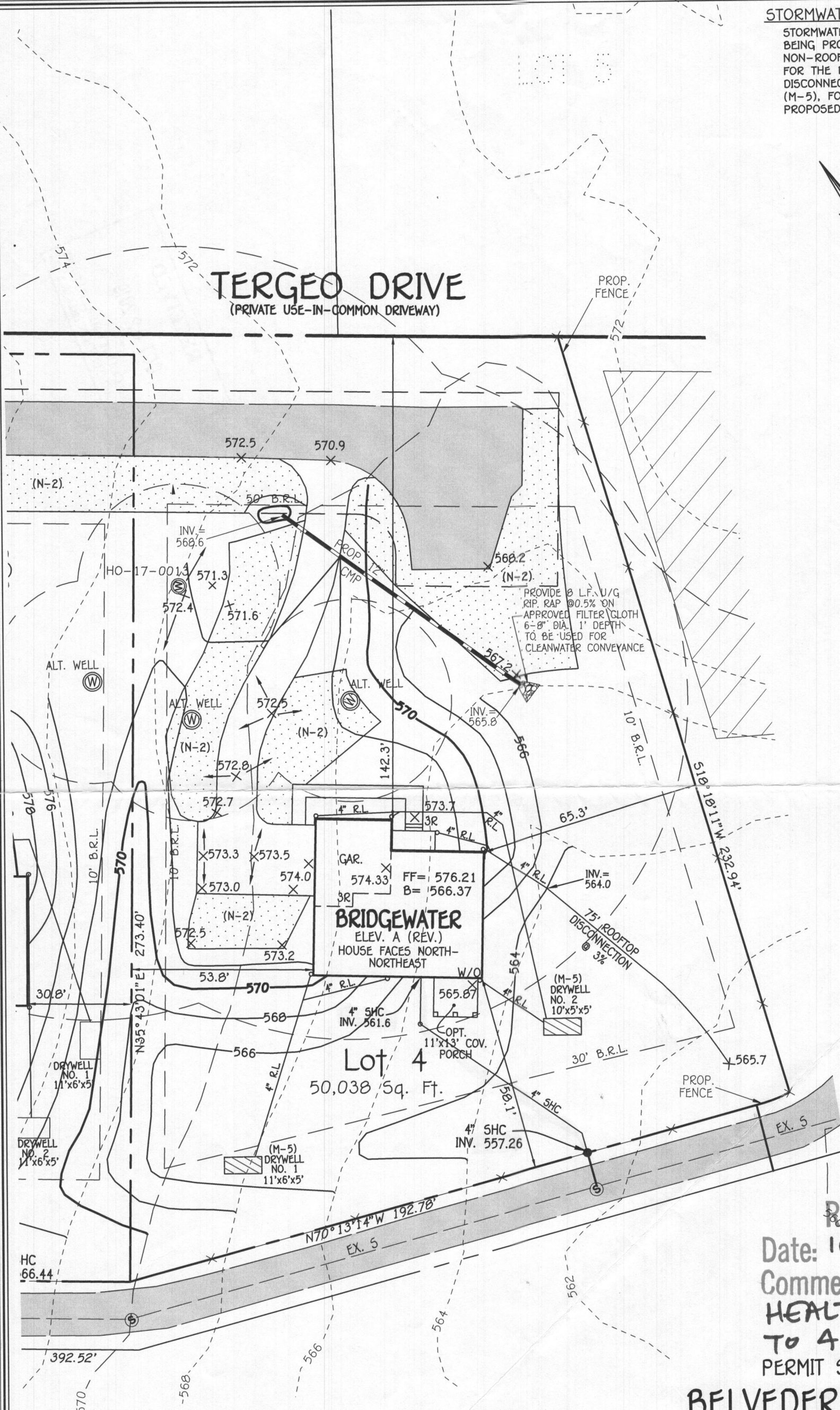
NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0013, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

REVISED: AUGUST 20, 2019

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461 - 2055

## PLAN

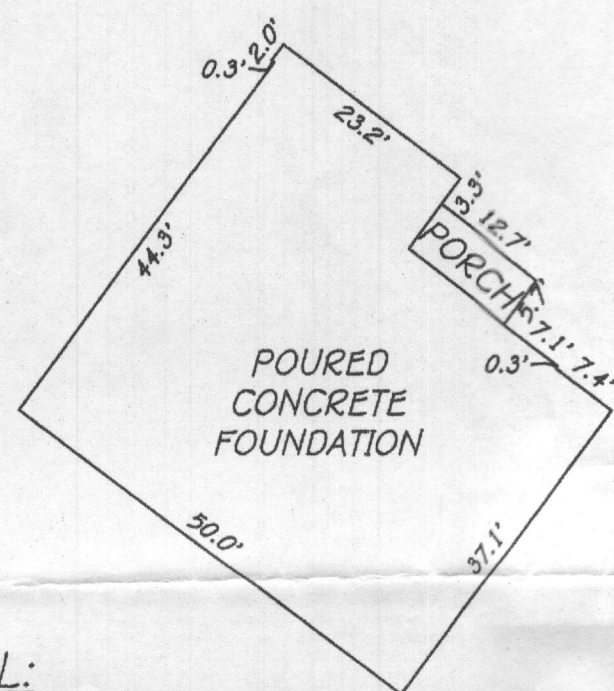
SCALE: 1" = 30'





# GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C00650, EFFECTIVE 11/6/2013.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1.0'.
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-17-0013 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2020.
- 7) BUILDING PERMIT #B-19002750



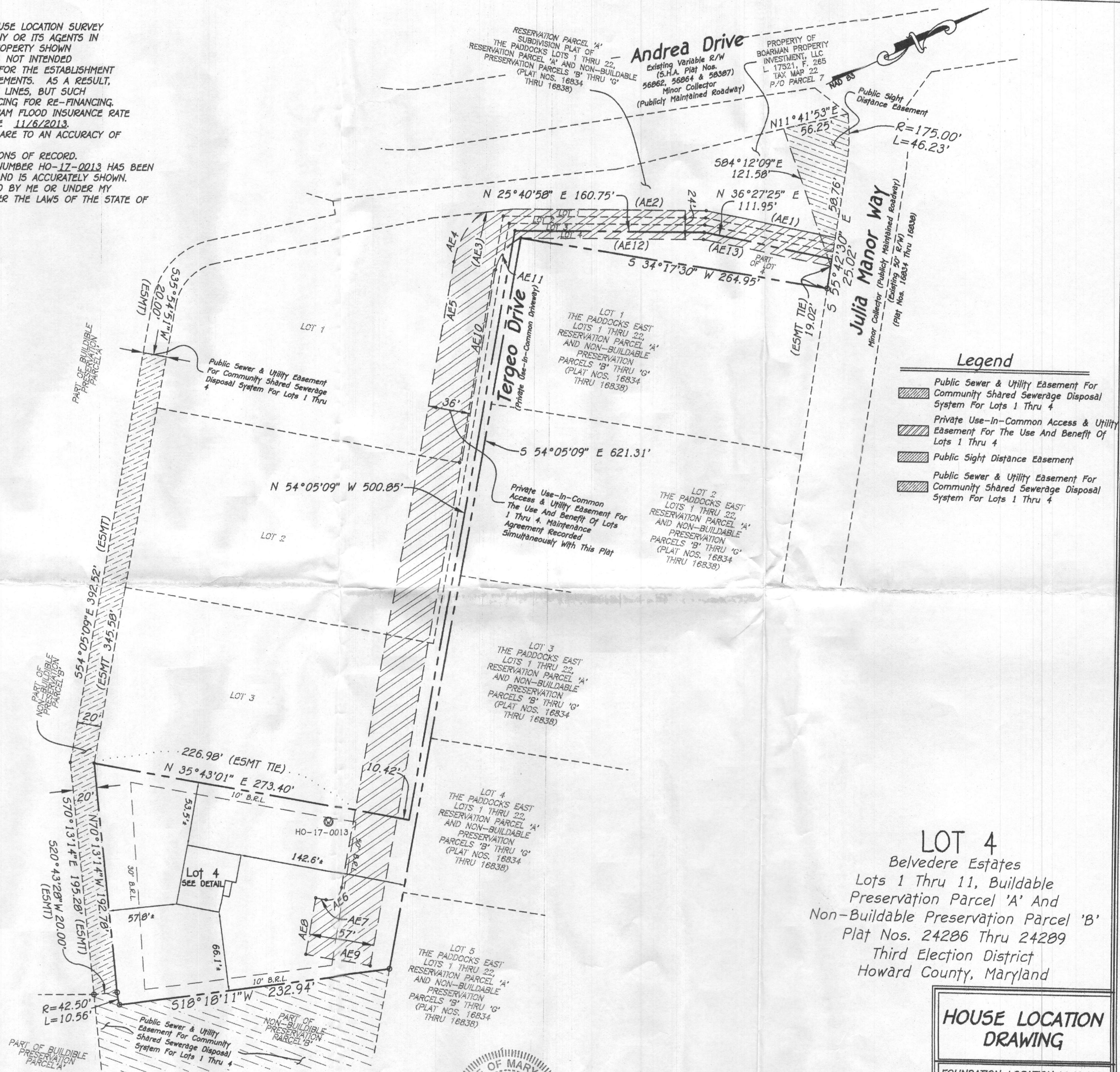
DETAIL:  
1"=20'

## Private Use-In-Common Access & Utility Easement Line Table

Sym.	Bearing & Distance
AE1	S 36°27'25" W 112.97'
AE2	S 25°40'27" W 163.78'
AE3	S 19°16'42" W 26.92'
AE4	R=67.74' L=48.40'
AE5	S 54°04'31" E 532.01'
AE6	R=12.00' L=18.85'
AE7	S 35°55'29" W 9.00'
AE8	S 54°04'31" E 48.00'
AE9	N 35°55'29" E 57.00'
AE10	N 54°04'31" W 592.01'
AE11	R=37.93' L=35.22'
AE12	N 25°40'58" E 155.17'
AE13	N 36°27'25" E 111.61'

FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461 - 2295

#13723 TERGEO DRIVE  
B.R.L. BUILDING RESTRICTION LINE  
TOP OF FOUNDATION ELEVATION = 575.3'±



## Legend

- Public Sewer & Utility Easement For Community Shared Sewerage Disposal System For Lots 1 Thru 4
- Private Use-In-Common Access & Utility Easement For The Use And Benefit Of Lots 1 Thru 4
- Public Sight Distance Easement
- Public Sewer & Utility Easement For Community Shared Sewerage Disposal System For Lots 1 Thru 4

## LOT 4

Belvedere Estates  
Lots 1 Thru 11, Buildable  
Preservation Parcel 'A' And  
Non-Buildable Preservation Parcel 'B'  
Plat Nos. 24286 Thru 24289  
Third Election District  
Howard County, Maryland

## HOUSE LOCATION DRAWING

FOUNDATION LOCATION: 11/6/19  
FINAL LOCATION:  
BOUNDARY SURVEY:

SCALE: 1"=60'  
DATE: 11/12/19  
DRAWN BY: MD  
CHECKED BY: MLR  
PROJECT No.: 21160-6001



Mark L. Belcher  
PROPERTY LINE SURVEYOR  
REG. #339

11/12/19  
DATE