



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19000744

Building Address: 1032 THUNDERBIRD DRIVE
City: WOODBINE State: MD Zip Code: 21797
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Feigloner
Section: _____ Area: _____ Lot: 38
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 1.23

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work: INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: DAISCOOP LLC
Address: 2215 DUVALL ROAD
City: WOODBINE State: MD Zip Code: 21797
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	☒ SF Dwelling ☐ SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
	☐ Finished Basement
	☐ Unfinished Basement
	☐ Crawl Space
Construction type: _____	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms: _____
☐ Structural Steel	Multi-family Dwelling _____
☐ Masonry	No. of efficiency units: _____
☐ Wood Frame	No. of 1 BR units: _____
☐ State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
➤ Roadside Tree Project Permit	Footings: _____
☐ Yes ☒ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Electric: ☐ Yes ☒ No	
Gas: ☒ Yes ☐ No	
Water Supply	
☐ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Heating System	
☐ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
Other: _____	
Sprinkler System:	
☐ Yes ☐ No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address: _____
PERMITS
Title/Company: _____

Print Name: MICHELLE CLANCY
Date: 3/18/19

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/3/19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

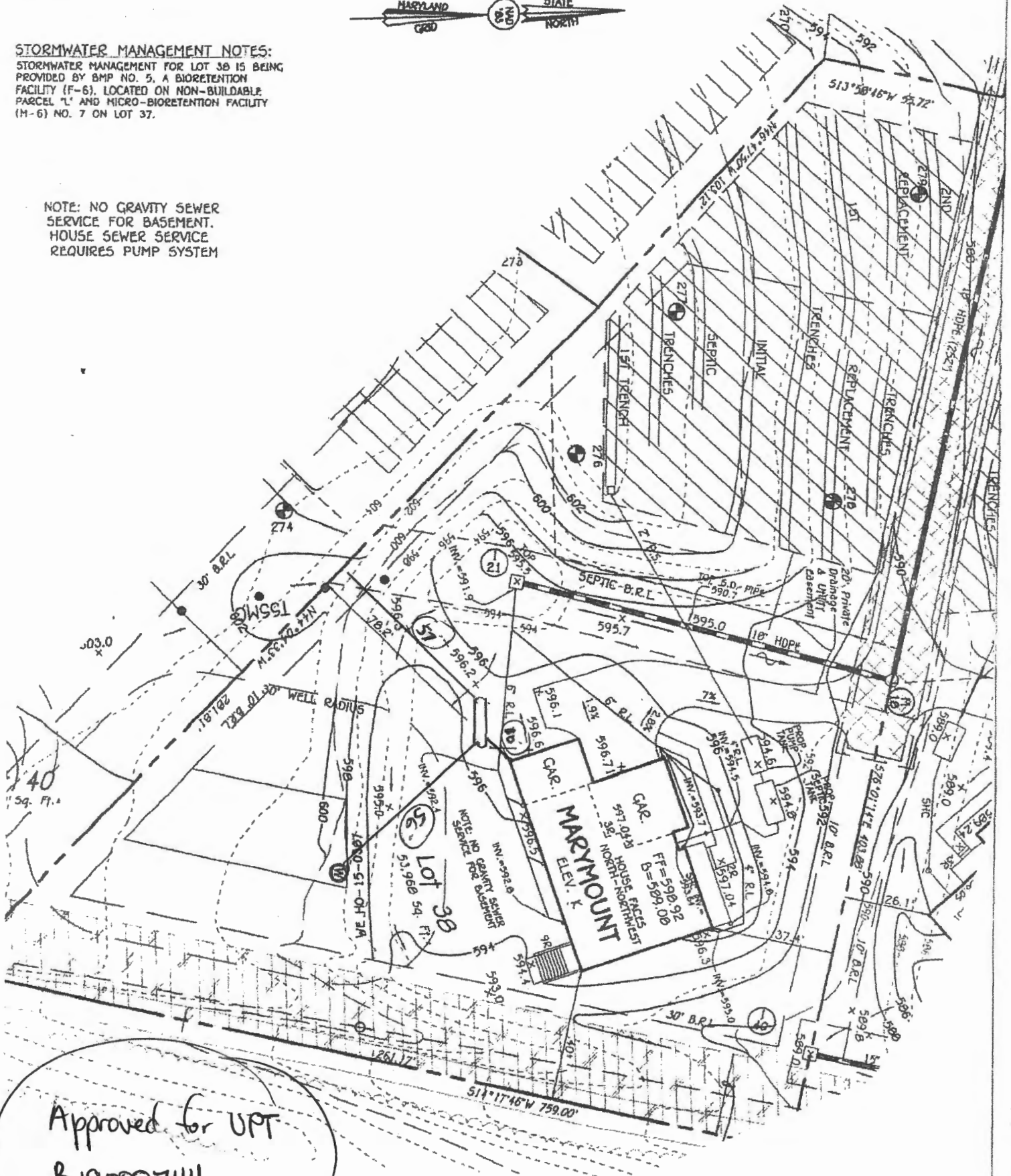
OWNER/DEVELOPER

WY HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MD 21046
410-379-9956



STORMWATER MANAGEMENT NOTES:
STORMWATER MANAGEMENT FOR LOT 38 IS BEING PROVIDED BY BMP NO. 5, A BIORETENTION FACILITY (F-6), LOCATED ON NON-BUILDABLE PARCEL "L" AND MICRO-BIORETENTION FACILITY (M-6) NO. 7 ON LOT 37.

NOTE: NO GRAVITY SEWER SERVICE FOR BASEMENT.
HOUSE SEWER SERVICE REQUIRES PUMP SYSTEM



Approved for UPT

B19000744

4/3/19

PLAN

SCALE: 1" = 40'

PERMIT SITE PLAN
LOT 38

1032 THUNDERBIRD DRIVE

FAIRLANE FARMS

PHASE TWO

ZONED: RC-DEO

TAX MAP NO.: 0 GRID NO.: 2 PARCEL NO.: 0

5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 40'

DATE: NOVEMBER 27, 2018

SHEET 1 OF 1

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0387, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTURIAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

1000

GAL

UG

P10 SHEET 3 of 3



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILT 2013 MAR 4 PM 2:02

Date Received: _____

Permit No.: **B1900056**

Building Address: 1032 Thunderbird Drive
City: Woodbine State: MD Zip Code: 21797
Suite/Apt. #: _____ SDP/WP/BA #: 6P-18-35
Census Tract: _____ Subdivision: Fairlane Farms
Section: _____ Area: _____ Lot: 38
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____
Existing Use: Vacant lot
Proposed Use: Single family home
Estimated Construction Cost: \$ 230,000
Description of Work: New 2 story "Marymont" ELV 'K' with 2 car side garage and 1 car side attached garage finished lower level (kitchen, master #2, bath + wet bar)
Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: NVR Inc
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
Contact Person: Spit Cagle
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: CCagle@NVRInc.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	☒ SF Dwelling ☐ SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: <u>45</u> x <u>68</u>
Area of construction (sq. ft.): _____	2 nd floor: <u>42</u> x <u>54</u>
Use group: _____	Basement: <u>45</u> x <u>54</u>
Construction type: _____	☒ Finished Basement
☐ Reinforced Concrete	☐ Unfinished Basement
☐ Structural Steel	☐ Crawl Space
☐ Masonry	☐ Slab on Grade
☐ Wood Frame	No. of Bedrooms: <u>4</u>
☐ State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
☒ Roadside Tree Project Permit	Footings: _____
☐ Yes ☒ No	Roof: _____
Roadside Tree Project Permit # _____	☐ State Certified Modular
	☐ Manufactured Home

Utilities
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Electric: ☒ Yes ☐ No
Gas: ☒ Yes ☐ No
Heating System
☒ Electric ☐ Oil
☐ Natural Gas ☒ Propane Gas
Other: _____
Sprinkler System:
☒ Yes ☐ No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL CC WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBE THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin
Email Address: Jim@DecaturbuildingServices.com
Title/Company: AGENT NV Homes

Print Name: Jim Kerwin
Date: 3/4/2019
RECEIVED
MAR 04 2019

LICENSES & PERMITS

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)	<u>3/4/19</u>	<u>[Signature]</u>
PSZA (Engineering)		
Health	<u>3/12/19</u>	<u>H. O. [Signature]</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front:	<u>60</u>
Rear:	<u>30</u> / <u>40</u>
Side:	<u>10</u> / <u>37</u>
Side St.:	
All minimum setbacks met?	☒ Yes ☐ No
Is Entrance Permit Required?	☒ Yes ☐ No
Historic District?	☐ Yes ☒ No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Mittu yes

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>24140</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

MARYMOUNT

Health Dept.

B19000567



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT																																																STANDARD																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
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FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1742 SF
1ST FLOOR ELEVATION "K" (ADD SF)	52 SF
	1794 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "K" (ADD SF)	52 SF
	2124 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT OR SIDE ENTRY GARAGE	524 SF
ONE CAR SIDE ATTACHED GARAGE	314 SF
	838 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	883 SF
FINISHED BASEMENT AREA #2 W/ ELEV "K" (ADD SF)	486 SF
	1369 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1742 SF
1ST FLOOR ELEVATION "K" (ADD SF)	52 SF
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "K" (ADD SF)	52 SF
FINISHED BASEMENT	883 SF
FINISHED BASEMENT AREA #2 W/ ELEV "K" (ADD SF)	486 SF
	5286 SF

SET - VERSION
CS-1

| 2000 - 0 |
CS-1

C:\NVR\Solves\MARYMOUNT_12000_01\MDE-FF-003B\125695\Sheets\Lot Specific\CS-1 COVERSHEET.dwg 02/22/19 - 4:26 am

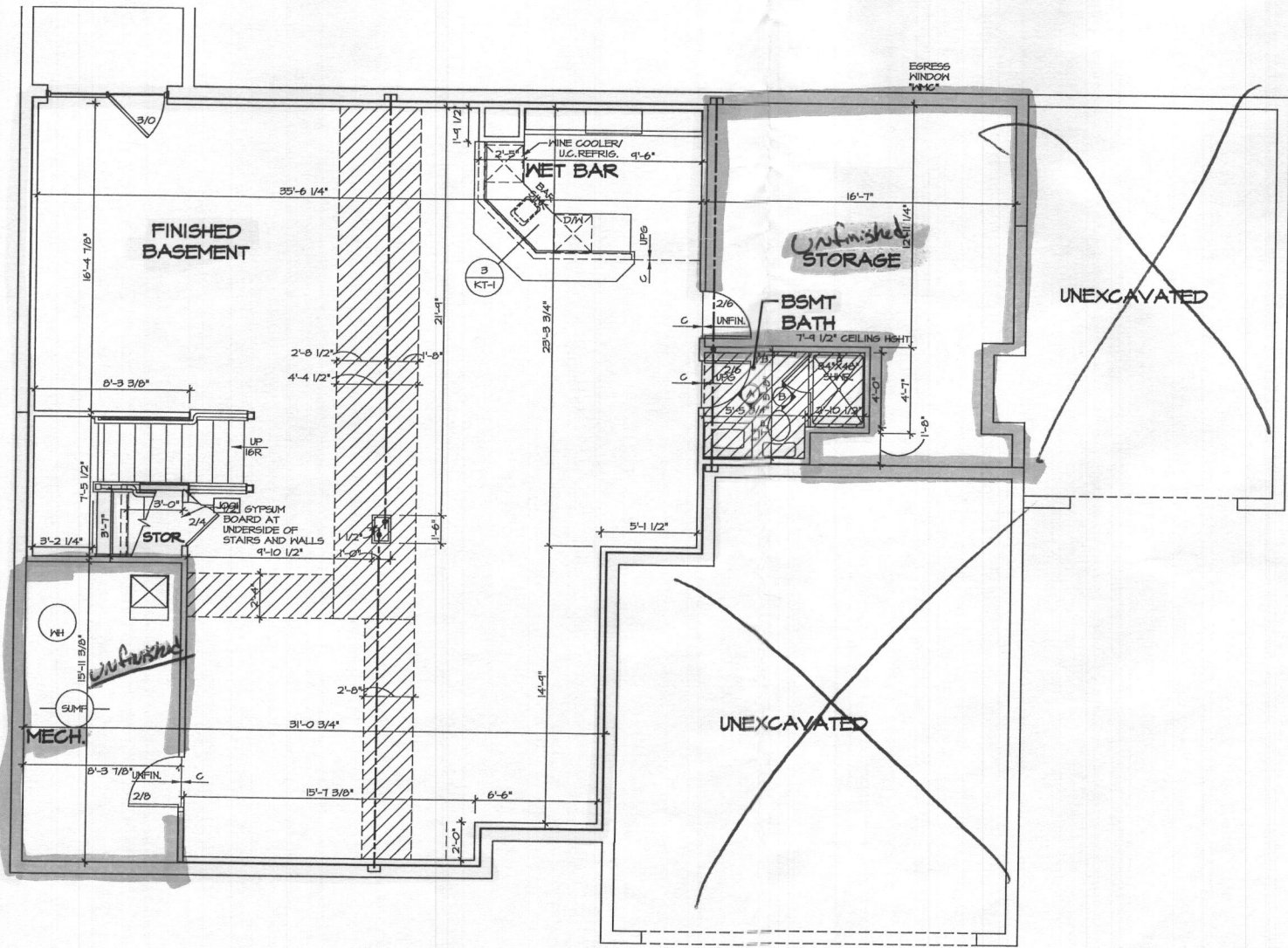
BASEMENT JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J001	JACK - (2) 2X4 SFF STUD GRADE		B0011	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

FLOOR PLAN NOTES	
1.	ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2.	ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3.	ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 8 1/2", UNLESS OTHERWISE NOTED.
4.	HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5.	SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6.	ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
7.	ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.

GYPSUM NOTES	
AT GARAGE:	5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
AT STAIRS:	1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
WITH OPTION "SC1" - DRYWALL:	UNFINISHED BASEMENT CEILING AREA

NOTES:	
•	1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
•	A MAXIMUM AREA OF 80 SQ. FT. MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
•	PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

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NVR, Inc.
Architectural Services
100
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 12000	VERSION 01
DRAWN BY	DATE:
OPTION DESCRIPTION	OPTION

SHEET NO. **A-6** 22

FIRST FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J107	JACK - (3) 2x6 SFF STUD GRADE	GCC	107B/107B	
J108	JACK - (3) 2x6 SFF STUD GRADE	GCC	107B/107B	
J109	JACK - (2) 2x4 SFF STUD GRADE	GAA	107T	
J110	JACK - (2) 2x4 SFF STUD GRADE	GAA	107T	
J111	JACK - (3) 2x4 SFF STUD GRADE		101H	
J112	JACK - (2) 2x4 SFF STUD GRADE		104B	
J113	JACK - (2) 2x4 SFF STUD GRADE		104B	
J114	JACK - (6) 2x4 SFF		1023	
J115	JACK - (3) 2x4 SFF STUD GRADE		1013	
J116	JACK - (3) 2x4 SFF STUD GRADE		1011	
J117	JACK - (2) 2x4 SFF STUD GRADE		1004	FIELD INSTALLED
J118	JACK - (3) 2x4 SFF STUD GRADE		1011	
J119	JACK - (6) 2x4 SFF		1023	
J120	JACK - (3) 2x4 SFF STUD GRADE	ELK	1021	
J121	JACK - (3) 2x4 SFF STUD GRADE	ELK	1021	
J122	JACK - (3) 2x4 SFF STUD GRADE	ELK	1019	
J123	JACK - (2) 2x4 SFF		1053	
J124	JACK - (2) 2x4 SFF		1021	
J125	JACK - (2) 2x4 SFF		1053	
J126	JACK - (2) 2x4 SFF		1021	
J127	JACK - (2) 2x4 SFF		2000	
J128	JACK - (3) 2x4 SFF	ELK	2000	
J129	JACK - (3) 2x4 SFF STUD GRADE	ELK	2000	

FIRST FLOOR BEAM/HEADER SCHEDULE					
IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENS. NUM.	REMARKS
B102	BEAM STEEL - W12X30	22'-3"	GCC/ELABKR	1057	
B108	BEAM BUILT 2x8 - 2 PLY	8'-4 5/16"	ELK/GCC	1062	FIELD INSTALLED
B109	EXT HEADER - 2x8 - 2 PLY	3'-10"	GAA	1021	FIELD INSTALLED
PF102-3	LVL - 20	20'-2 1/2"	GCC/ELABKR	107B	PORTAL FRAME
PF103-2	LVL - 11-04	13'-8 1/2"	GAA	107T	PORTAL FRAME

STEEL COLUMN SCHEDULE					
IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENS. NUM.	REMARKS
C101	STANCHION - 3 IN SCHED 40	8'-0 3/4"		1057	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE FG DETAILS FOR FRAMING CONNECTORS	

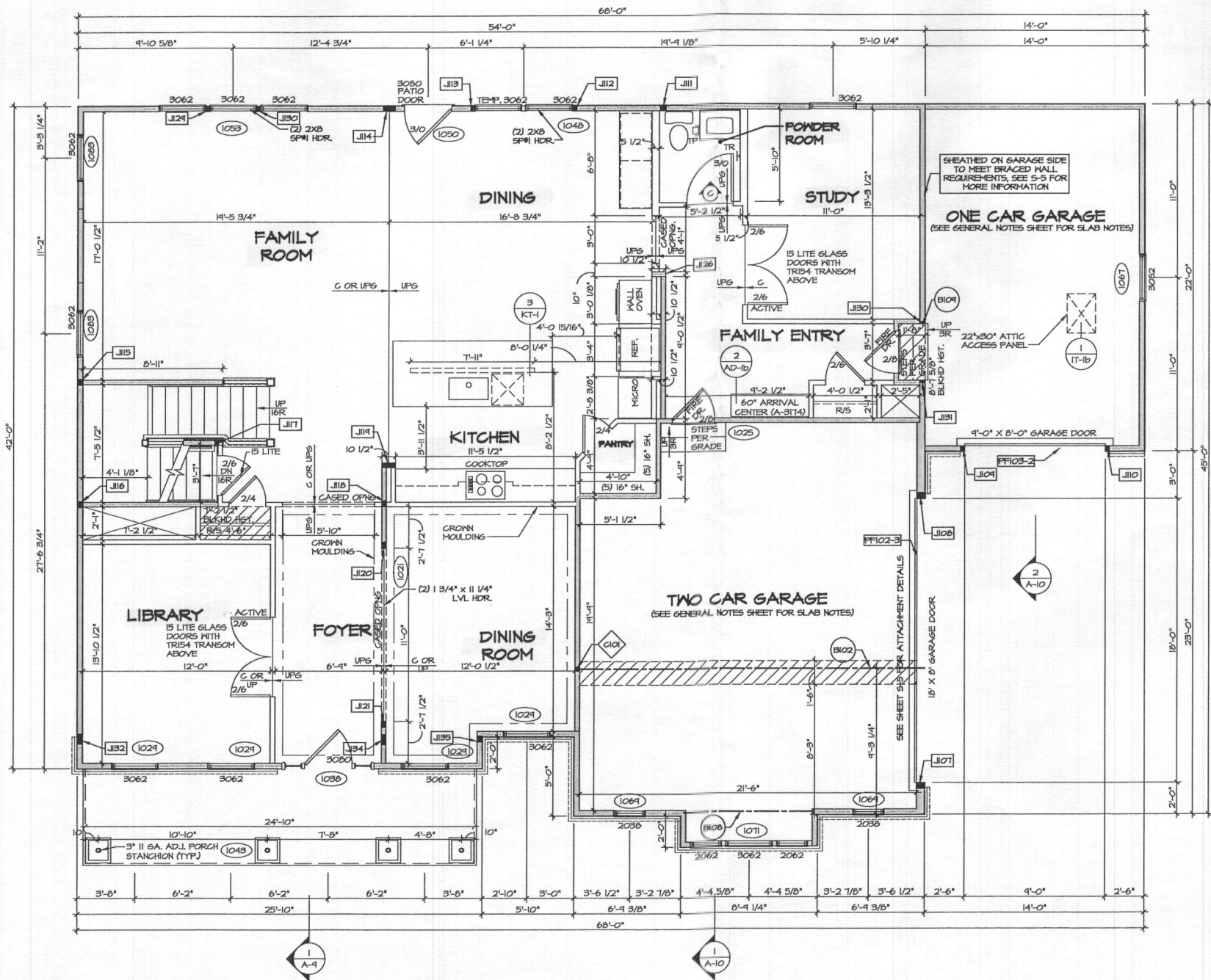
- FLOOR PLAN NOTES**
 - ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE 8'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
- GYPSUM NOTES**

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:
 - 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

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NVR
NVR, Inc.
Architectural Services
5285 Woodloch Lane, Suite 100
Frederick, MD 21703

MODEL
MARYMOUNT

DRAWING TITLE
FIRST FLOOR PLAN

OPTION DESCRIPTION

SET NO. 12000
VERSION 01
DRAWN BY
DATE:
OPTION

SHEET NO.
A-7

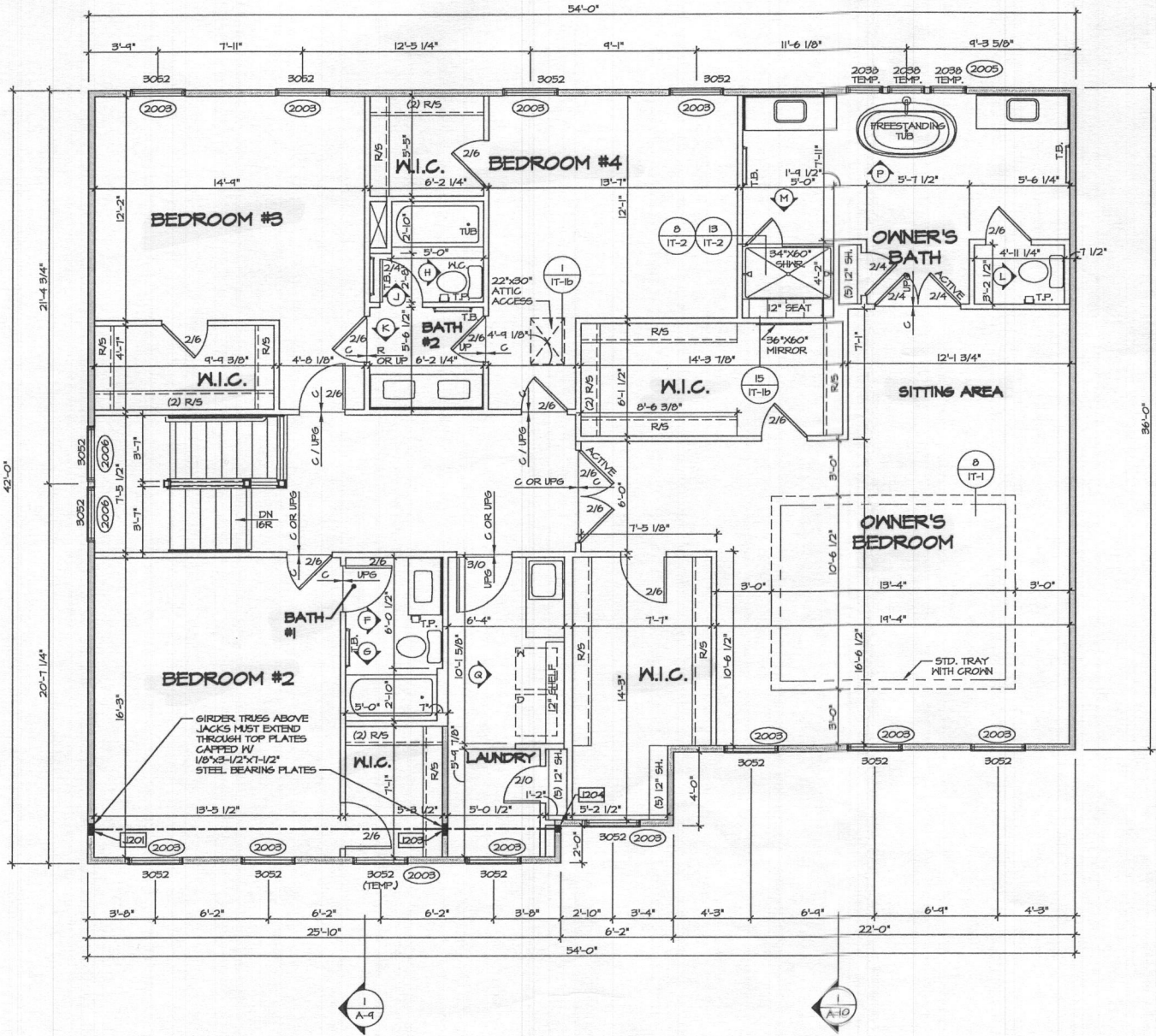
25

© NVR Solver MARYMOUNT 12000-01 WDE-HF-0038A 1125695A Sheet A-7 PLN1 LS DWG 02/22/19 - 4271 cm

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J201	JACK - (5) 2X4 5F#1	ELK	2000	MUST EXTEND THROUGH TOP PLATE, CAP WITH 1/8" x 3-1/2" x 7-1/2" STEEL BEARING PLATE
J203	JACK - (5) 2X4 5F#1	ELK	2000	MUST EXTEND THROUGH TOP PLATE, CAP WITH 1/8" x 3-1/2" x 7-1/2" STEEL BEARING PLATE
J204	JACK - (3) 2X4 5FF STUD GRADE	ELK	2000	

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

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NVR, Inc.
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SET NO. 12000

VERSION 01

DRAWN BY

DATE

OPTION

MODEL MARYMOUNT

DRAWING TITLE SECOND FLOOR PLAN

OPTION DESCRIPTION

SHEET NO. A-8

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