

RECEIVED

APR 08 2021

PERMIT NUMBER: B 21001288

DATE ACCEPTED:

LICENSES & PERMITS  
DIVISION

## RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

## BUILDING SITE ADDRESS REQUIRED

Street Address: 13001 Wainwright Road

Unit:

City: Highland

State: MD

Zip Code: 20777

Subdivision/Village/Complex Name:

SDP/WP/BA #:

Lot: Rev. Parcel 2

Tax Map: 40 grid 8

Parcel: 398

Grading Permit #:

## DESCRIPTION OF WORK REQUIRED

Existing Use: Residential garage

Proposed Use: Artist studio

Estimated Cost: \$25,000.00

Trade Work to Be Completed (Separate Permits Required): ☒ Mechanical (HVACR) ☒ Electrical ☒ Plumbing ☐ None

Construction of new artist studio over existing garage.

## PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Trexler

Primary Residence: ☒ Yes ☐ No

Owner's Street Address: 13001 Wainwright Rd

City: Highland

State: MD

Zip Code: 20777

Phone: (202) 841-6664

Email: liztrexler@gmail.com

## APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Owner

Contact Name: Liz Trexler

Street Address: 13001 Wainwright Rd

City: Highland

State: MD

Zip Code: 20777

Phone: (202) 841-6664

Email: liztrexler@gmail.com

## CONTRACTOR INFORMATION REQUIRED

Business Name: Owner

Licensee's Name: Liz Trexler

License #:

Street Address: 13001 Wainwright Rd

City: Highland

State: MD

Zip Code: 20777

Phone: (202) 841-6665

Email: liztrexler@gmail.com

## ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:

Name: Michael Butler

Street Address: 5650 Ten Oaks Road

City: Clarksville

State: MD

Zip Code: 21029

Phone:

Email:

## BUILDING CHARACTERISTICS REQUIRED

Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF\*) Condo: ☐ Yes ☒ NoUtilities: ☒ Electric ☐ Gas Water Supply: ☐ Public ☒ Private (Well) Sewage Disposal: ☐ Public ☒ Private (Septic)Heating System: ☐ Electric ☐ Natural Gas ☒ Propane ☐ Other: Roadside Tree Project: ☐ No ☐ Yes: #Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D ☐ None Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

## ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name &amp; Options:

# of Bedrooms (SF): # of efficiency units (MF\*): # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):

# Rooms: # Full Baths: # Half Baths: # Fireplaces:

Garage/Carport Info: ☐ Attached Garage ☒ Detached Garage ☐ Integral Garage ☐ Carport ☐ NoneBasement/Foundation Info: ☒ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☐ Finished Basement: ☐ Full or ☐ Partial1<sup>st</sup> Fl Width: 1<sup>st</sup> Fl Depth: 2<sup>nd</sup> Fl Width: 2<sup>nd</sup> Fl Depth: Bsmt Width: Bsmt Depth:Energy Method: ☒ Prescriptive ☐ Performance ☐ UA Alternative ☐ ERI Gross Area: sq ft Occupiable Area: sq ft

## AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

## FOR OFFICE USE ONLY

AGENCIES REQUIRED/APPROVALS:

☐ PR ☐ DPZ ☐ DED ☒ Health 5/10/21 ☐ SHA ☐ CID

SUBMITTAL FEES:

PAYMENT:

ACCEPTED BY:

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Monday, May 10, 2021 10:49 AM  
**To:** liztrexler@gmail.com  
**Subject:** B21001288\_13001 Wainwright Road\_Art Studio

Hi Ms. Trexler:

Good morning. I just have 2 questions about your building permit for the proposed art studio over the existing garage.

- 1.) Will the bathroom be a half or full bathroom? Page S1.01 shows a full bath w/ tub, but all other pages show a half bathroom.
- 2.) Will the art studio be used as a business or will it remain private?

Thanks in advance for your time.

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
(410) 313 - 1786  
hoswald@howardcountymd.gov

## Oswald, Hank

---

**From:** lizzie trexler <liztrexler@gmail.com>  
**Sent:** Monday, May 10, 2021 3:42 PM  
**To:** Oswald, Hank  
**Subject:** Fwd: B21001288\_13001 Wainwright Road\_Art Studio  
**Attachments:** Trexler(BOH Comments)-Rev Struct.pdf; Trexler(BOH Comments)-Rev Struct.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Mr. Oswald,

Thank you for your recent email concerning my application for a building permit. I would like to offer the following in response to your comments.

1. The layout shown on the architectural drawings is correct. Bathroom is a half bath. There is no need for a tub or other large wash basin as the wash sink in the studio is more than sufficient for needed cleanups, etc. I have attached revised structural plans which have been corrected to reflect the proper layout should you need them.
2. Studio is to be used for private, personal hobby purposes.

I hope this addresses your concerns. If you need any additional information or if you have any additional questions please let me know.

Thanks again

Liz Trexler

**From:** "Oswald, Hank" <hoswald@howardcountymd.gov>  
**Date:** May 10, 2021 at 10:48:51 AM EDT  
**To:** liztrexler@gmail.com  
**Subject:** B21001288\_13001 Wainwright Road\_Art Studio

Hi Ms. Trexler:

Good morning. I just have 2 questions about your building permit for the proposed art studio over the existing garage.

1. Will the bathroom be a half or full bathroom? Page S1.01 shows a full bath w/ tub, but all other pages show a half bathroom.

2. Will the art studio be used as a business or will it remain private?

Thanks in advance for your time.

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
(410) 313 - 1786  
hoswald@howardcountymd.gov







1. TYPICAL ROOF SLOPE SHALL BE 7:12 UNLESS NOTED. ROOF DORMERS SHALL BE AS NOTED ON THE PLAN.
2. LOOKOUTS SHALL BE 2 X 4 NOMINAL SPACED 24" O/C AND SHALL BE PLACED WITH THE LONG DIMENSION (3 1/2") VERTICAL. ALL LOOKOUTS SHALL START AT FIRST INBOARD TRUSS AND PASS OVER THE GABLE WALL FRAMING.
3. ROOF SHEATHING SHALL BE 5/8" APA RATED SHEATHING AND SHALL BE PLACED WITH THE LONG DIMENSION HORIZONTAL. CLIPS SHALL BE PROVIDED AT MID SPAN BETWEEN ALL TRUSSES.
4. ALL SHEATHING PANELS SHALL SPAN AT LEAST TWO SUPPORTS AND ALL PANEL EDGES SHALL BE SPACED A MINIMUM OF 48" FROM OTHER EDGES.
5. SHEATHING SHALL BE PLACED TO ALLOW FOR CONTINUOUS VENTILATION AT THE RIDGE.
6. SHEATHING SHALL OVERLAP FACIA BOARD AT ALL GABLES, EAVES AND EDGES.
  - a. ALL ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH 2018 IRC AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
  - b. APPROVED ICE BARRIERS SHALL BE PLACED AT ALL EAVES, VALLEYS, WALLS, CHIMNEYS AND VENTS PER 2018 IRC AND MANUFACTURERS RECOMENDATIONS.
  - c. ALUMINUM OR OTHER APPROVED CORROSION RESISTANT FLASHINGS AND COUNTER FLASHINGS SHALL BE PROVIDED AT ALL BASE, CAP, VALLEY, SIDEWALL, CHIMNEY, VENT AND OTHER ROOF PENETRATIONS PER CODE.
  - d. DRIP EDGES SHALL BE INSTALLED AT ALL EAVES AND RAKE EDGES.









GENERAL NOTES

- The work shall be performed in strict accordance with all applicable federal, state, and local codes and ordinances and specifically in accordance with the ordinances and requirements of the Howard County, MD.
- Work shall include all labor, assemblies, and finish work including all parts and materials necessary to make a complete, in-place, properly working and finished installation.
- All work shall be carried out in accordance with accepted first-class construction practices.
- All materials used in the construction of the improvements indicated herein shall be new unless otherwise approved by the Owner.
- The Contractor shall schedule work to avoid interruptions to the ongoing normal operations elsewhere on the property. All disruptive work shall be scheduled and coordinated with the Owner.
- Work shall be protected at all times to preclude damage by persons or weather. All damaged work shall be restored to a new condition before final acceptance. Any part of the existing building defaced, removed or altered in accomplishing the work under this contract shall be replaced or repaired to match the surrounding area in texture, color, finish and dimensions.
- The contractor shall examine the drawings, specifications and visit the job site and fully inform himself of all existing conditions and work required by the drawings and specifications before submitting his bid. The Contractor shall also include in their bid any additional items of construction that may be required due to existing site conditions whether or not indicated on the drawings. Waiver of responsibility or request for additional payment based on lack of knowledge of existing conditions at the site will not be accepted or considered.
- Contractor shall field measure all distances and clearances prior to commencement of new work or ordering materials. Any deviations to the contract documents shall be reported to the Owner prior to proceeding with that portion of work. Drawings are not to be scaled for dimensions or sizes. Verify all dimensions in the field.
- Prior to proceeding with any work that may result in additional cost or additional time to the project, the Contractor shall determine the additional cost or time (or if the exact cost or time cannot be determined, the Contractor shall make his most reasonable estimate and an estimate of the worst case) and submit the additions to the Owner for approval. Should the Contractor fail to advise the Owner prior to proceeding with the work, additional cost or time will not be approved.
- This contractor shall coordinate all his work with the Owner for the exact location of chases, furring spaces, dropped ceilings, structure penetrations, painting, etc.
- All dimensions are to be stud face of partitions, face of masonry, face of concrete or centerline of structural steel, unless otherwise noted.
- All dimensions and descriptions on construction drawings are complementary. Any work shown or referred to on any construction document shall be provided as though required by all related documents. Most stringent requirements shall apply. Any discrepancies between the drawings shall be clarified with the Owner before proceeding.
- The contractor shall secure and pay for all permits (excluding building permit), fees, licenses and inspections necessary for a proper completion of all work required by these documents.
- All equipment and materials shall be installed in strict conformance with the manufacturer's recommendations.
- All notes on the drawings shall be assumed to be typical unless otherwise noted on the drawings or specifications.
- Do not alter, load or penetrate the existing structure in any manner which may compromise its integrity.
- All surfaces are intended to be finished unless otherwise noted on the drawings or specifications. Any surface not clearly defined or indicated to be finished in the finish schedule shall be of the same material and finish as surfaces of areas of similar use elsewhere in the project.
- Clean-up: Remove all construction debris daily and as required to maintain a clean environment and to prevent the possibility of accident or fire. Coordinate all removal work with Owner if required.
- Contractor shall paint all new wall surfaces to match existing wall color. Where the blending of old and new finishes occurs in the middle of a single plane paint all surfaces, new and existing, where work has occurred to nearest corner or break.
- After completion of project and immediately prior to final inspection of the work, Contractor shall clean all new and existing surfaces of dust, debris, loose construction material and equipment.
- Remove all construction debris daily and as required to maintain a clean environment and to prevent the possibility of accident or fire. Coordinate all removal work with Owner.
- This contractor shall guarantee the entire installation to be free from defects for one year from the date of acceptance by the owner. Any defects occurring during the guarantee period shall be corrected at no additional cost to the owner.

TREXLER RESIDENCE  
13001 WAINWRIGHT RD, HIGHLAND, MD

PROPOSED SCOPE OF WORK

REMOVE EXISTG GARAGE ROOF AND CONSTRUCT NEW SECOND LEVEL TO CONTAIN AN ARTS AND CRAFTS STUDIO. NEW SPACE SHALL BE FULLY CONDITIONED UTILIZING EXISTG HVAC UNIT IN THE GARAGE. ELECTRIC SERVICES TO BE PROVIDED FROM EXISTING SERVICE GARAGESERVICE PANELS.

PROJECT INFORMATION

BUILDING CODE INFORMATION			
CONTROLLING CODES		Edition	
INTL BUILDING CODE	IBC	2018	
INTL RESIDENTIAL CODE	IRC	2018	
INTL MECHANICAL CODE	IMC	2018	
INTL ENERGY CONSERV G	IECC	2018	
LIFE SAFETY CODE	LSC	2018	
USE GROUP		R	
TYPE OF CONSTRUCTION		5 B	
BUILDING AREA			
Existing Structure	5F	2,136	
MAX ALLOWABLE LOT COVERAGE			
ACCESSORY BUILDING	5F	2,200	
RR District over 2 ac			

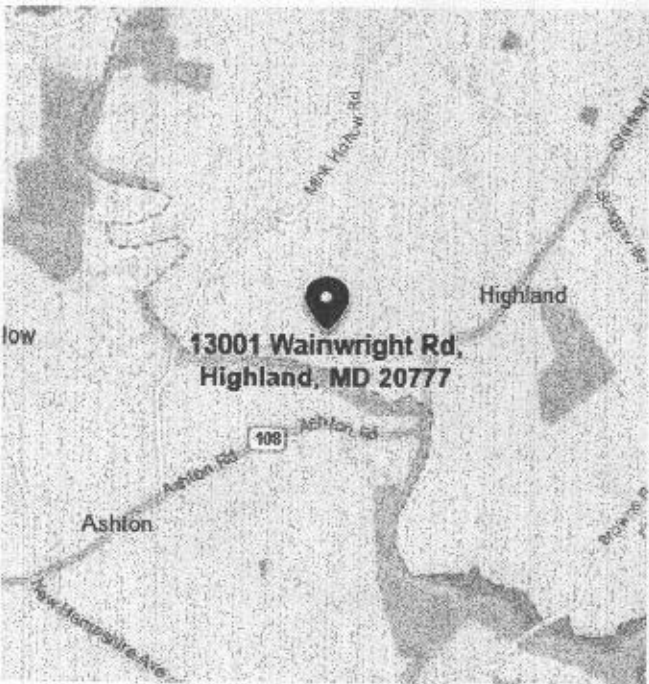
PROJECT DESIGN CRITERIA

GENERAL	
GROUND SNOW LOAD	25 PSF
WIND SPEED	< 115 MPH
• TOPOGRAPHIC EFFECTS	NO
• SPECIAL WIND REGION	NO
• WIND BORNE DEBRIS ZONE	NO
SEISMIC CATEGORY	A
SUBJECT TO DAMAGE FROM	
• WEATHERING	SEVERE
• FROST DEPTH	30"
• TERMITES	MDD-HEAVY
• DECAY	SLIGHT
ENERGY CLIMATE ZONE	4
WINTER DESIGN TEMP	+ 13° F
ICE BARRIER UNDERLAY REQ'D	YES
FLOOD HAZARDS	NO
AIR FREEZING INDEX	500
MEAN ANNUAL TEMPERATURE	55° F

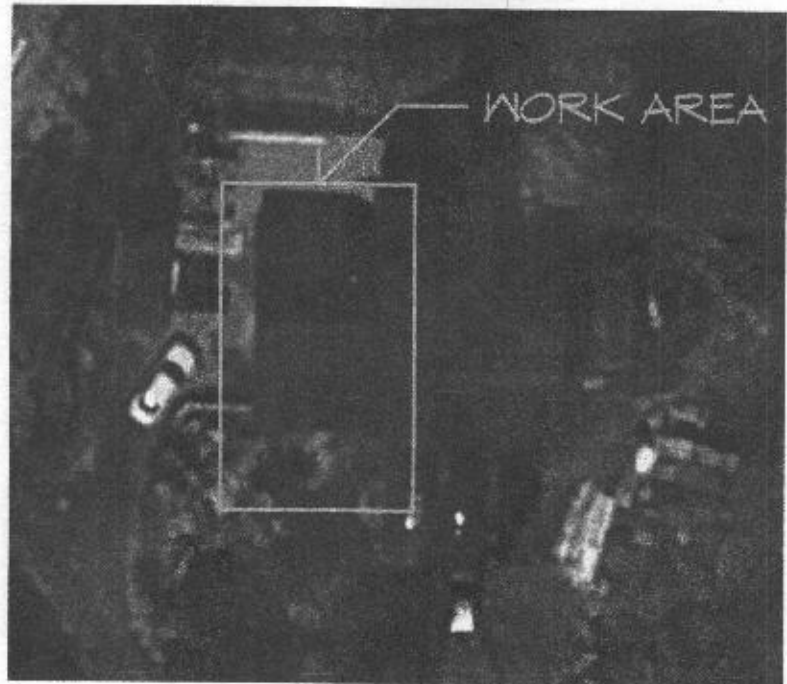
SOIL CLASSIFICATION DATA	
GROUP	1
TYPE	ML
ASSUMED BEARING CAPACITY	2,500 PSF

STRUCTURAL LOADS	
SLAB ON GRADE	100/40
ROOMS (OTHER THAN SLEEPING)	40/12
SLEEPING ROOMS	30/10
ATTIC W/ STORAGE	20/10
ATTIC W/O STORAGE	7-0/4
ROOF	30/15
STAIRS	40/0
BALCONIES	60/15
DECKS	40/10

DEFLECTION	
DESIGN A	
RAFTERS	
• SLOPE > 3/12	L/180
• SLOPE < 3/12	L/240
INTERIOR WALLS AND PARTITIONS	
FLOORS AND PLASTERER CEILINGS	L/360
ALL OTHER STRUCTURAL MEMBERS	
EXTERIOR WALLS	
• WITH PLASTER OR STUCCO FINISH	H/360
• WITH BRITTLE FINISH	L/240
• WITH FLEXIBLE FINISH	L/120



VICINITY MAP



SATELITE VIEW

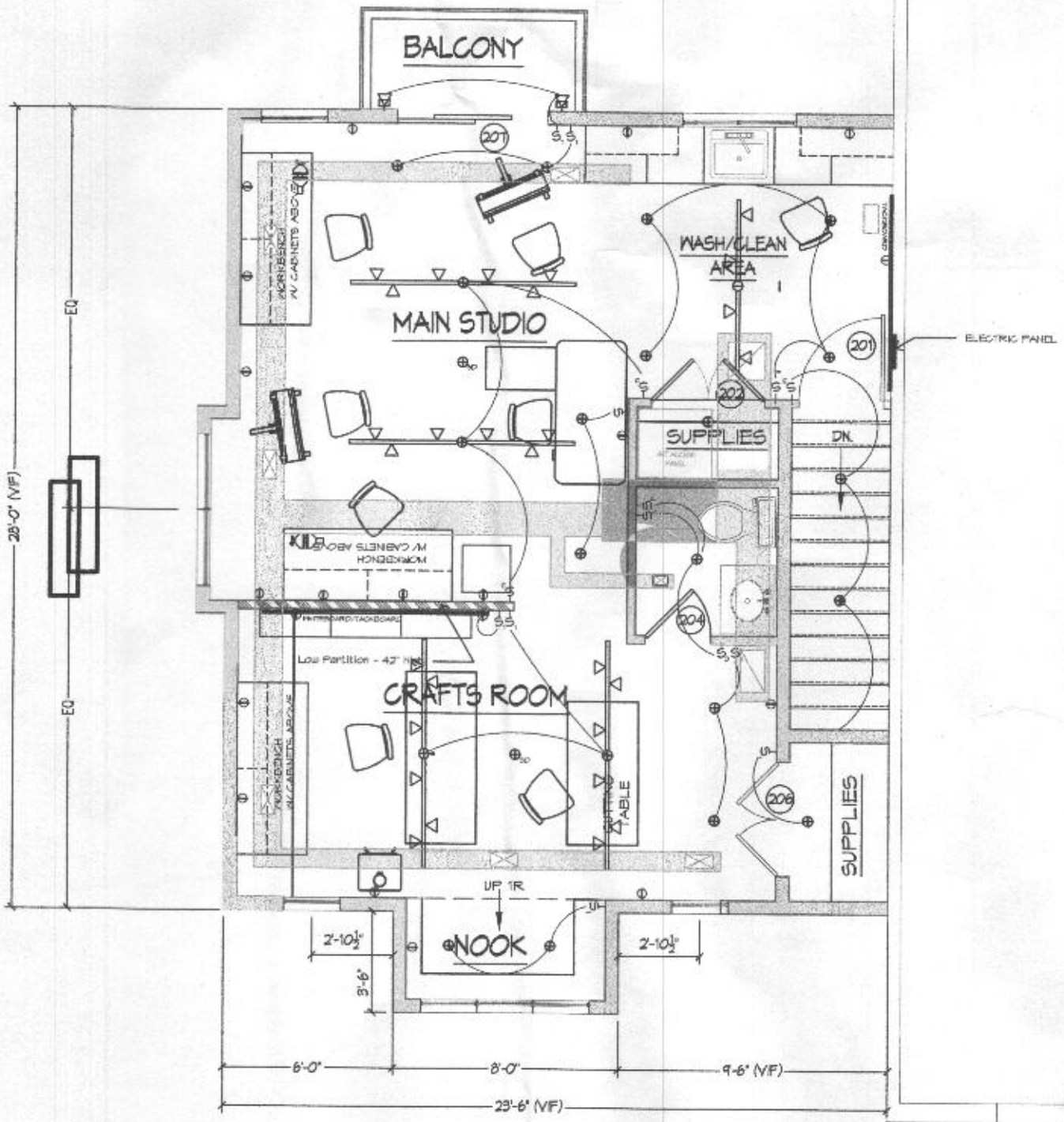
PROPOSED CONSTRUCTION SYSTEMS

OUTLINE SPECIFICATIONS

- FLOOR SYSTEM
- PRE-ENGINEERED 11 1/8" JOISTS @ 16" O/C RATED FOR SPANS INDICATED ON THE DRAWING. TJI OR EQUAL.
  - 3/4" TONGUE AND GROOVE ADVANTECH PANELS GLUED AND FASTENED TO JOISTS INSTALLED PER MANUFACTURERS REQUIREMENTS
  - MINIMUM R-30 FIBERGLASS INSULATION
- WALLS
- EXTERIOR WALLS:
    - 2X6 CONSTRUCTION
    - 1/2" EXTERIOR SHEATHING APPLIED CONTINUOUSLY TO FRAMING.
    - AIR/MOISTURE BARRIER PER CODE
    - MINIMUM R-20 FIBERGLASS INSULATION
    - 30 YEAR FIBER CEMENT LAP SIDING
  - INTERIOR WALLS:
    - 2X4 CONSTRUCTION @ COMMON INTERIOR
    - 2X6 CONSTRUCTION @ STAIRWAY
    - 1/2" GIBB EACH SIDE (5/8" @ STAIRWAY)

- ROOF
- PRE-ENGINEERED WOOD TRUSSES SPACED 24" O/C.
  - ROOF SHEATHING MINIMUM 5/8" APA RATED SHEATHING.
  - LOOKOUTS SHALL BE 2 X 4 (LLV) NOMINAL SPACED 24" O/C
  - MINIMUM R-30 FIBERGLASS INSULATION
  - ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES.
  - ALUMINUM GUTTERS AND DOWNSPOUTS

- WINDOWS & DOORS
- ANDERSON SERIES 400 WINDOWS
  - SAFETY GLAZED WHERE REQUIRED.



PROPOSED CRAFTS STUDIO PLAN

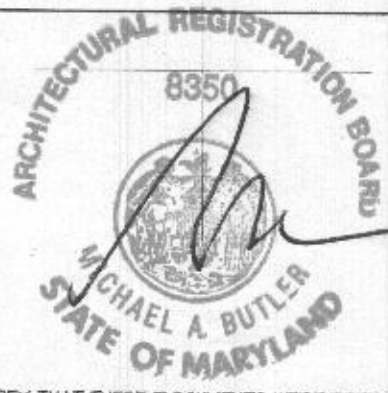
3/16" = 1'-0"

TENOAKS  
COLLABORATIVE

ARCHITECTURE PLANNING DESIGN CONSTRUCTION MANAGEMENT  
301.476.4375 410.531.6771

CONSULTANTS:

ALL SQUARE



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 83950, EXPIRATION DATE 11-5-2020.

PROJECT:

TREXLER  
RESIDENCE

CRAFTS STUDIO RENOVATIONS  
13001 WAINWRIGHT ROAD  
HIGHLAND, MD

REVISIONS

MARK	DATE	DESCRIPTION
01	1/21/19	OWNER REVIEW
02	3/17/19	FINAL REVIEW
03	4/17/19	PERMIT

PROJECT NO: 12-045-18  
CAD DWG FILE: GARAGE ADDITION-TREXLER.DWG  
DRAWN BY: SNYRDLEY  
CHK'D BY: MAB  
COPYRIGHT: M BUTLER 2019

SHEET TITLE

PROJECT  
DATA

A1.00







GENERAL NOTES:

1. REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL SLEEVES, ANCHORS, OPENINGS, ETC. NOT SHOWN ON THE STRUCTURAL PLANS.
2. ALL MATERIALS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS NOTED IN THE STRUCTURAL NOTES BASED ON THE DATE NOTED ON THE CONSTRUCTION DOCUMENTS.
3. THIS PROJECT HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE LIVE LOADS INDICATED IN THE DESIGN DATA ABOVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL SHORING AND BRACING FOR THE STRUCTURE IF ACTUAL CONSTRUCTION LOADS EXCEED THE DESIGN LOADS.
4. ALL DIMENSIONS AND NOTES SHALL SUPERCEDE ALL SCALE REFERENCES ON THE DRAWINGS.
5. ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE CURRENT BUILDING CODE AND ALL LOCAL ORDINANCES.
6. UNLESS OTHERWISE NOTED, ALL REFERENCES TO THE CONTRACTOR APPLY TO THE GENERAL CONTRACTOR AND TO ALL SUBCONTRACTORS.
7. THIS PROJECT IS SUBJECT TO SITE VISITS BY THE ARCHITECT WHEN REQUESTED BY THE ARCHITECT'S CLIENT.
8. THE CONTRACTOR SHALL COMPLY WITH ANY EXISTING STATE AND APPLICABLE COUNTY OR CITY REGULATIONS AND LEGISLATION REGARDING THE CONTROL OF POLLUTION AS IT APPLIES TO THE WORK.

CONTRACTOR RESPONSIBILITIES:

1. ALL MATERIALS, CONSTRUCTION TECHNIQUES AND PRACTICES IN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE CODES AND REGULATIONS OF THE STATE AND ITS LOCAL JURISDICTION AS WELL AS ALL APPLICABLE INDUSTRY STANDARDS.
2. PERMITS AND TESTS: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND TEST IN CONJUNCTION WITH THE PROJECT.
3. INSURANCE: THE CONTRACTOR SHALL OBTAIN AND PAY FOR INSURANCE COVERAGE FOR THE PROTECTION OF LIFE AND PROPERTY.
4. CLARIFICATION: IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE PROJECT WORK.
5. BEFORE SUBMITTING TO BID, THE CONTRACTOR SHALL VISIT THE PREMISES AND BECOME FAMILIAR HIMSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
6. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL ADJACENT AREAS AND PROPERTIES.
7. THE CONTRACTOR SHALL SUBMIT SAMPLES OF THE FINISH MATERIALS FOR APPROVAL.
8. CONTRACTOR, SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.
9. THE WORK PRESENTED IN THIS SET OF PLANS REPRESENTS COMPLETION OF THE BUILDING AS SHOWN IN ITS ENTIRETY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL BUILDING & OCCUPANCY PERMITS RELATED TO THIS PROJECT AND ITS COMPLETION.
10. THE CONTRACTOR SHALL PERFORM ALL WORK AS SHOWN ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL WORK.
11. ALL WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE, 2015, AND WITH LOCAL AMENDMENTS.
12. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE LIFE SAFETY CODE (NFPA #101), LOCAL AND STATE FIRE CODES AND LATEST IRC 2015.
13. DEMOLITION AND REMOVAL AS REQUIRED SHALL BE DONE BY THE CONTRACTOR.
14. CONTRACTOR SHALL MOVE DEBRIS, MATERIALS, ETC. TO ALLOW ADEQUATE ACCESS TO OTHER SUBCONTRACTORS.
15. CONTRACTOR SHALL PROVIDE A TEMPORARY DUMPSTER FOR TRASH REMOVAL THROUGHOUT CONSTRUCTION.
16. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH LOCAL ORDINANCES & REGULATIONS.

GENERAL CONSTRUCTION DATA & NOTES

DESIGN LOADS	LIVE	DEAD
FIRST FLOOR	40 psf	10 psf
SECOND FLOOR	30 psf	10 psf
ATTIC	20 psf	10 psf
ROOF	30 psf	10 psf
DECK/BALCONY	40 psf	10 psf

LUMBER:

1. LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. LUMBER FOR JOISTS, RAFTERS, BEAMS, POSTS, STUD BEARING AND EXTERIOR STUD WALLS SHALL BE SOUTHERN PINE #2 OR APPROVED EQUIVALENT WITH THE FOLLOWING MINIMUM REQUIREMENTS:

$F_b = 1250 \text{ psi}$   
 $F_v = 175 \text{ psi}$   
 $F_c = 565 \text{ psi}$  (PERPENDICULAR TO GRAIN)  
 $E = 1,600,000 \text{ psi}$   
MAXIMUM MOISTURE CONTENT = 19%, KILN DRIED.

2. PLYWOOD SHALL BE EXTERIOR GRADE, IDENTIFIED WITH THE APA GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH APA LISTED SPAN RATING AND THE PROJECT SPECIFICATIONS.

WOOD FRAMING:

1. STUD BEARING AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MID-HEIGHT (BETWEEN FLOOR AND CEILING). ALL DOUBLE STUDS SHALL BE NAILED TO EACH OTHER AT 8 INCH MAXIMUM SPACING, FULL HEIGHT. BRACE EXTERIOR BUILDING CORNERS IN STUD WALLS WITH DIAGONALLY PLACED METAL STRAPS OR PLYWOOD SHEATHING NAILED OR SCREWED TO STUDS.

ROOF TRUSSES:

1. ROOF TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE SPAN, CONFIGURATION AND LOADING CONDITIONS INDICATED ON THE DRAWINGS. SUBMIT COMPLETE SHOP DRAWINGS AND CALCULATIONS INCLUDING TRUSS LOADING DIAGRAMS, FRAMING PLANS, BEARING, BRIDGING AND CONNECTION DETAILS FOR REVIEW PRIOR TO FABRICATION OF TRUSSES. IN LIEU OF STRESS DIAGRAM MANUFACTURER'S TEST DATA MAY BE SUBMITTED SHOWING THE ALLOWABLE CAPACITY OF THE MEMBERS. SEE THE "CONTRACTOR RESPONSIBILITIES" AND "SUBMITTAL" NOTES FOR ADDITIONAL REQUIREMENTS.
2. THE DESIGN AND DETAIL OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF F.H.A. 64541.1 DESIGN CRITERIA FOR TRUSSED RAFTERS, THE "NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS", AND ALL APPLICABLE BUILDING CODES.
3. ROOF TRUSSES SHALL BE FABRICATED WITH TOOTHED METAL PLATES DESIGNED AND INSTALLED PER THE TRUSS PLATE INSTITUTE SPECIFICATIONS. TRUSSES SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED, 16 GAUGE, TOOTHED METAL PLATES OR 20 GAUGE, STEEL GUSSET NAILING PLATES. ALL CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE DESIGN STRESSES PLUS ALL ECCENTRICITIES.
4. ALL ROOF TRUSSES SHALL BE CONNECTED TO TOP PLATES WITH APPROVED HURRICANE CLIPS.
5. DESIGN OF HURRICANE CLIPS BASED ON TRUSS REACTIONS IS THE RESPONSIBILITY OF THE WOOD TRUSS MANUFACTURER AND SPECIALTY ENGINEER.
6. THE HURRICANE CLIP DESIGN MUST ACCOMMODATE A 300 POUND PER LINEAL FOOT WIND LOAD LATERAL REACTION ALONG THE TOP OF WALLS.
7. THE ROOF TRUSS IS CONSIDERED A SYSTEM AND STABILITY OF THE ROOF TRUSS SYSTEM ABOVE THE ELEVATION OF THE TRUSS SUPPORTS IS THE RESPONSIBILITY OF THE ROOF TRUSS MANUFACTURER. TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND DETAILING OF ALL TEMPORARY AND PERMANENT BRIDGING REQUIRED FOR THE STABILITY OF THE ROOF TRUSS SYSTEM.
8. WHERE MULTIPLE TRUSSES ARE INDICATED ON THE DRAWINGS OR REQUIRED BY THE TRUSS ENGINEER, THE TRUSSES SHALL BE MECHANICALLY FASTENED OR NAILED TO EACH OTHER IN ORDER FOR THE GIRDER MEMBERS TO SHARE THE SUPERIMPOSED LOADS INCLUDING LOADS FROM HEADERS FRAMING INTO THE GIRDER.
9. THE ROOF TRUSSES SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED, IN WRITING, BY THE TRUSS MANUFACTURER.

BRACED WALL CONSTRUCTION:

1. EACH EXTERIOR WALL SHALL BE CONTINUOUSLY SHEATHED WITH APPROPRIATELY RATED WOOD SHEATHING.
2. PROVIDE 48" PERFORATED STRAPS @ 4' O/C TO SECURE NEW FLOOR AND WALL SYSTEM TO EXISTING EXTERIOR WALL BELOW.
3. REAR WALL NARROW WALL CONDITIONS: PROVIDE AND INSTALL 2 HOLD-DOWN ANCHORS AT EACH CONDITION AND AT BOTH BEDROOM FLOOR LEVEL AND MAIN FLOOR LEVEL PER IRC 2018 602.10.4, TABLE R602.10.3(2). AT MAIN FLOOR, EMBED ANCHOR RODS IN EXP. SLEEVE SET IN EPOXY-FILLED HOLES DRILLED THROUGH SILL PLATE AND INTO EXISTING FOUNDATION WALL. HOLD-DOWN ANCHORS BY SIMPSON STRONG-TIE OR EQ.
4. ALL ROOF FRAMING SHALL BE FASTENED TO EXTERIOR WALL WITH HOLD-DOWN ANCHORS BY SIMPSON STRONG-TIE OR EQ.

WOOD FRAMING:

1. PROVIDE STIFFENERS, BRACING BACKUP PLATES, BLOCKING AND OTHER ITEMS OF CONCEALED CONSTRUCTION IN STUD WALLS TO SUPPORT PLUMBING FIXTURES, BATHROOM ACCESSORIES WALL HUNG CABINETS AND OTHER EQUIPMENT.
2. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED WOOD.
3. ALL NEW FLOOR JOISTS BEARING INTO EXISTING WALLS MUST HAVE SOLID BEARING.
4. ALIGN TOP OF NEW FRAMING FLUSH WITH TOP OF EXISTING.
5. DOOR AND WINDOWS.
6. INSTALL NEW DOORS AS CALLED FOR ON THE DRAWINGS.
7. PROVIDE AND INSTALL NEW WINDOWS AS CALLED FOR ON ELEVATION DRAWINGS.
8. FINISHES
9. NEW SIDING SHALL BE SELECTED BY OWNER.
10. NEW ASPHALT SHINGLES SHALL BE SELECTED BY OWNER.
11. ALL NEW EXTERIOR WALLS TO BE FRAMED WITH 2X6 STUDS 16" O.C. WITH R-21 BATT INSULATION AND FINISHED WITH 1/2" GYPSUM BD. AT INTERIOR FACE, UNLESS OTHERWISE NOTED.
12. ALL NEW NON-RATED INTERIOR PARTITIONS TO BE 2X4'S AT 16" O.C. FINISHED WITH 1/2" GYPSUM BD. BOTH SIDES.
13. ALL GYP. BD. WALLS TO RECEIVE PRIMER PLUS TWO COATS OF LATEX PAINT. COLOR TO BE SELECTED BY OWNER.
14. INSTALL HARDWOOD, CARPET AND CERAMIC TILE WHERE CALLED FOR ON DRAWINGS. COLOR TO BE SELECTED BY OWNER. PROVIDE UNDERLAYMENT GRADE SUBFLR AS SHOWN ON DRAWINGS.
15. PROVIDE THRESHOLD BETWEEN HARDWOOD AND CERAMIC TILE. PROVIDE MARBLE THRESHOLD AT DOOR TO BATHROOMS.
16. PROVIDE CARPET IN ALL BEDROOMS, AND ADJACENT CLOSETS, UNLESS OTHERWISE NOTED

SPECIALITIES:

1. SUPPLY CLOSETS TO HAVE 5 STACKED WIRE MESH SHELVES TO FIT SIZE OF CLOSET.
2. PROVIDE THE FOLLOWING FULL BATH ACCESSORIES:
  - a. RECESSED MEDICINE CHEST WITH MIRROR DOOR W/ TWO ADJUSTABLE SHELVES
  - b. 2 TOWEL HOLDER,
  - c. TOILET PAPER HOLDER,
  - d. RECESSED SOAP DISH,

GENERAL MEP DATA & NOTES

MECHANICAL - ELECTRICAL - PLUMBING:

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF EXISTING UTILITIES, IF ANY, PRIOR TO ANY EXCAVATION, OR DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES, SUCH AS WATER, SEPTICSEWER, GAS, ELECTRICAL AND PHONE SERVICES TO THE BUILDING AND FOR ANY UPGRADING THAT MAY BE NECESSARY.

MECHANICAL

1. ALL MECHANICAL WORK TO BE DONE BY A CERTIFIED MECHANICAL CONTRACTOR LICENSED IN THE STATE OF MARYLAND.
2. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL OPENINGS, BULKHEADS AND CHASES REQUIRED FOR CLEARANCE AND INSTALLATION OF MECHANICAL DUCTS, COORDINATE WITH OTHER SUBCONTRACTORS, AND NOTIFY OWNER OF ANY CONFLICT.
3. CONCEAL ALL DUCTWORK IN CHASE OR BETWEEN JOISTS UNLESS OTHERWISE SPECIFIED. INSULATE ALL DUCTS IN UNHEATED AREAS.

PLUMBING:

1. ALL THE PLUMBING WORK SHALL BE DONE BY A CERTIFIED PLUMBING CONTRACTOR LICENSED IN THE STATE OF MARYLAND.
2. ALL PLUMBING FIXTURES (EXCEPT WATER CLOSETS) SHALL RECEIVE HOT AND COLD WATER SUPPLY.

ELECTRICAL:

1. ALL ELECTRICAL WORK SHALL BE DONE BY A CERTIFIED ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF MARYLAND.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE CONSTRUCTION OF A COMPLETE AND FULLY FUNCTIONING ELECTRICAL SYSTEM.
3. ALL LABOR AND MATERIALS, ALTHOUGH NOT SPECIFICALLY MENTIONED, BUT NECESSARY FOR THE COMPLETION OF WORK AND THE SUCCESSFUL OPERATION OF THE ELECTRICAL SYSTEMS, SHALL BE SUPPLIED AS IF SPECIFICALLY INDICATED.
4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, LOCAL BUILDING CODE, AND ALL APPLICABLE CODES.
5. MATERIALS AND EQUIPMENT INSTALLED AS PART OF THE PERMANENT INSTALLATION SHALL BE NEW UNLESS OTHERWISE INDICATED AS SPECIFIED, AND SHALL BE APPROVED BY THE UNDERWRITERS LABORATORIES, INC. FOR INSTALLATION IN EACH PARTICULAR CASE WHERE STANDARDS HAVE BEEN ESTABLISHED.
6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CERTIFICATES OF INSPECTION. ALL FEES AND CHARGES ASSOCIATED SHALL BE PAID BY THE CONTRACTOR. THE CERTIFICATES OF INSPECTION SHALL BE DELIVERED TO THE OWNER BEFORE FINAL PAYMENT IS MADE.
7. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL, EQUIPMENT AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER OF SUBSTANTIAL COMPLETION.

OUTLINE SPECIFICATIONS

FLOOR SYSTEM

1. PRE-ENGINEERED 11 7/8" JOISTS @ 16" O/C RATED FOR SPANS INDICATED ON THE DRAWINGS. TJI OR EQUAL.
2. 3/4" TONGUE AND GROOVE ADVANTECH PANELS GLUED AND FASTENED TO JOISTS INSTALLED PER MANUFACTURERS REQUIREMENTS
3. MINIMUM R-38 FIBERGLASS INSULATION

WALLS

1. EXTERIOR WALLS:
  - a. 2X6 CONSTRUCTION
  - b. 1/2" EXTERIOR SHEATHING APPLIED CONTINUOUSLY TO FRAMING.
  - c. AIRMOISTURE BARRIER PER CODE
  - d. MINIMUM R-20 FIBERGLASS INSULATION
  - e. 30 YEAR FIBER CEMENT LAP SIDING
2. INTERIOR WALLS:
  - a. 2X4 CONSTRUCTION @ COMMON INTERIOR
  - b. 2X6 CONSTRUCTION @ STAIRWAY
  - c. 1/2" GNB EACH SIDE (5/8" @ STAIRWAY)

ROOF

1. PRE-ENGINEERED WOOD TRUSSES SPACED 24" O/C.
2. ROOF SHEATHING MINIMUM 5/8" APA RATED SHEATHING.
3. LOOKOUTS SHALL BE 2 X 4 (LLV) NOMINAL SPACED 24" O/C
4. MINIMUM R-38 FIBERGLASS INSULATION
5. ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES.
6. ALUMINUM GUTTERS AND DOWNSPOUTS

WINDOWS & DOORS

1. ANDERSON SERIES 400 WINDOWS
2. SAFETY GLAZED WHERE REQUIRED.

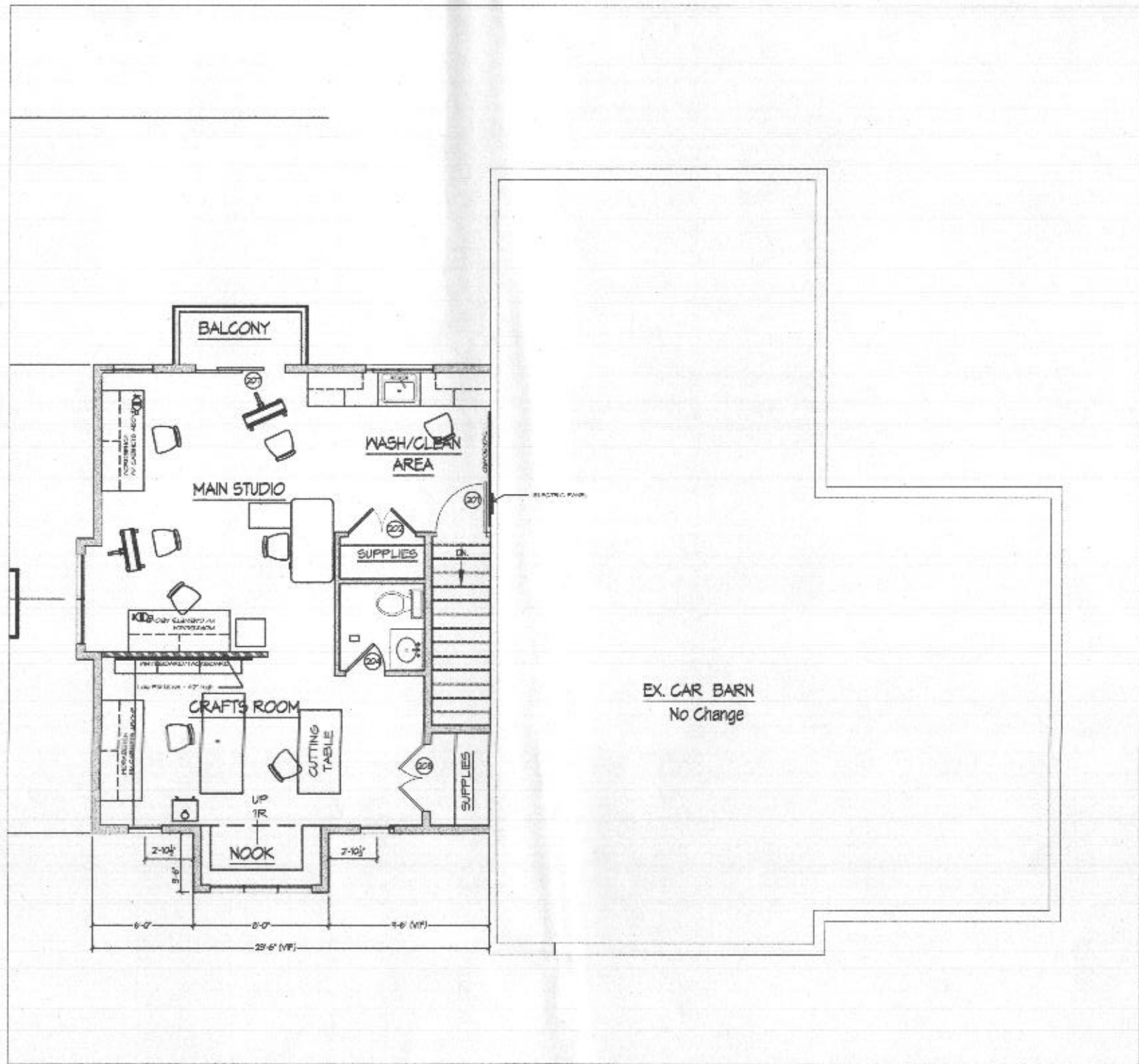


1 PARTIAL FRONT ELEVATION

Scale: NTS

2 PARTIAL FRONT ELEVATION

Scale: NTS



3 PROPOSED CRAFTS STUDIO PLAN

Scale: 1/8"=1'-0"

TECHNICAL SKS

ARCHITECTURE PL L E CTION MANAGEMENT

CONSULTANTS:

ALL SQUARE



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 8350. EXPIRATION DATE 11-9-2020.

PROJECT:

TREXLER RESIDENCE

CRAFTS STUDIO RENOVATIONS

13001 MAINWRIGHT ROAD  
HIGHLAND, MD 20771

REVISIONS

MARK	DATE	DESCRIPTION
01	5/17/19	REVIEW
02	9/17/19	FINAL REVIEW
03	09/15/21	PERMIT

PROJECT NO: 12-045-1B

CAD DWG FILE: GARAGE ADDITION-TREXLER.DWG

DRAWN BY: SNEYRDLEY

CHK'D BY: MAB

COPYRIGHT: M BUTLER 2019

SHEET TITLE

PROJECT NOTES

A1.01



ALL SQUARE



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 8350, EXPIRATION DATE 11-5-2020.

PROJECT:

TREXLER  
RESIDENCE

13001 MAINRIGHT RD  
HIGHLAND, MD

REVISIONS

MARK	DATE	DESCRIPTION
01	5/17/19	REVIEW
02	6/17/19	FINAL REVIEW
03	03/15/21	PERMIT

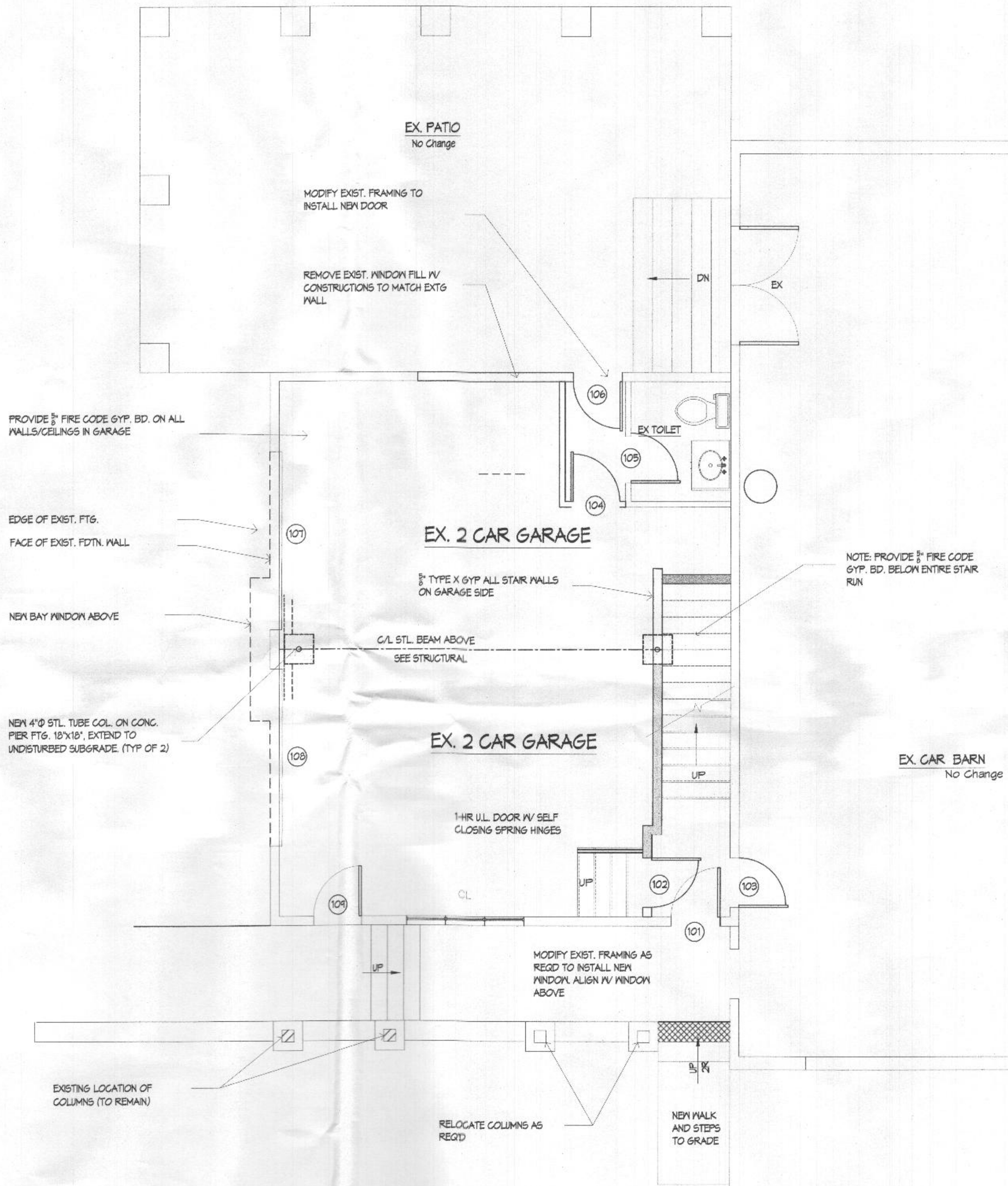
PROJECT NO: 12-045-1B  
CAD DWG FILE: GARAGE ADDITION-TREXLER.DWG  
DRAWN BY: SNYRDLEY  
CHK'D BY: MAB  
COPYRIGHT: M BUTLER 2019

SHEET TITLE

PROPOSED  
FLOOR PLAN

A1.02

TREXLER STUDIO		DOOR SCHEDULE										REMARKS
NO	LOCATION	DOOR				FR		HARDWARE		AUTO		
		W	H	THK	MATL	TYPE	TYPE	RATED	LOCKSET	CLOSER		
101	ENTRANCE	2660	1 3/4"	W-SC	FLUSH	HM			LOCKSET	N		MATCH EXTG DOORS
102	GARAGE	2660	1 3/4"	W-SC	FLUSH	W-SC	20 MIN		PASSAGE	Y		SELF CLOSING HINGES
103	CAMPER BARN	2660	1 3/4"	W-SC	FLUSH	W-SC	20 MIN		PASSAGE	Y		SELF CLOSING HINGES
104	REAR HALL	2660	1 3/8"	W-SC	FLUSH	MD			PASSAGE	N		
105	TOILET	2660	1 3/8"	W-SC	FLUSH	MD			PRIVACY	N		EXISTING
106	REAR EXT DOOR	2660	1 3/4"	W-SC	FLUSH	HM			LOCKSET	N		MATCH EXTG DOORS
107	OH GARAGE DOOR											EXISTING
108	OH GARAGE DOOR											EXISTING
109	GARAGE ENTRANCE											EXISTING
201	STUDIO	2660	1 3/4"	W-SC	FLUSH	HM			LOCKSET	N		
202	SUPPLIES	2660	1 3/8"	W-SC	FLUSH	MD			LOCKSET	N		KA IV 206
203												
204	TOILET	2660	1 3/8"	W-SC	FLUSH	MD			PRIVACY	N		IV MARBLE THRESHOLD
205												
206	SUPPLIES	2660	1 3/8"	W-SC	FLUSH	MD			LOCKSET	N		KA IV 202
207	BALCONY	5060			SLIDE	AL/MD			KEY	N		MATCH WINDOW MUNTINS
W-SC - WOOD-SOLID CORE		HM = HOLLOW METAL				KA = KEYED ALIKE						

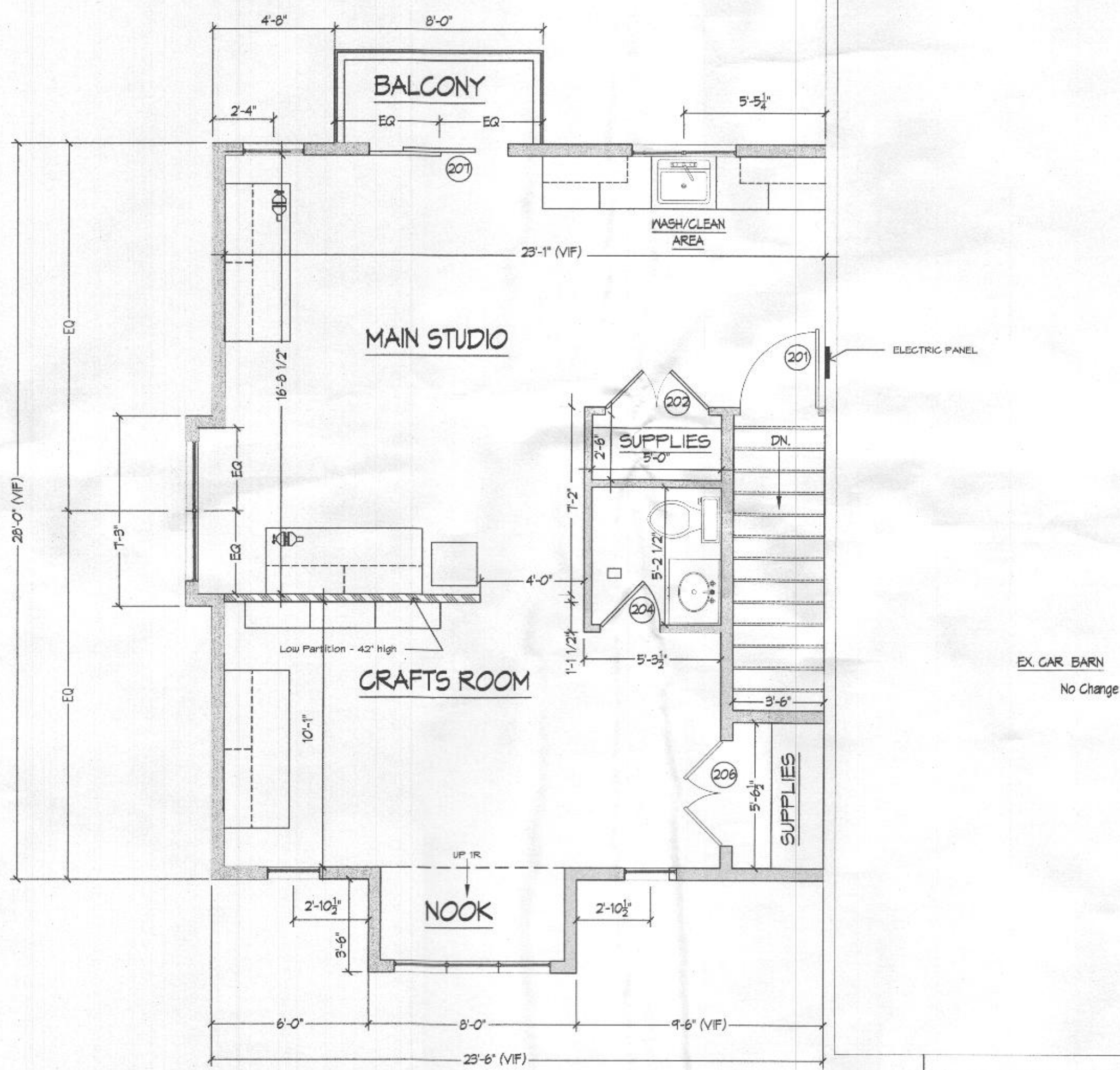


GARAGE LEVEL

SCALE: 1/4" = 1'-0"

LEGEND

EX. WALL	
NEW WALL	
BRACED WALL	
EXT. WALL	
HALF WALL	

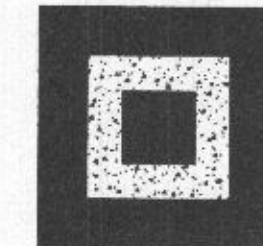


SECOND FLOOR

SCALE: 1/4" = 1'-0"

NOTE:  
DIMENSIONS SHOWN HERE ARE BASED ON DIMS. PROVIDED BY THE CLIENT. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT OF RECORD SHALL BE DULY NOTIFIED SHOULD ANY DISCREPANCY BE DISCOVERED.





I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 8350, EXPIRATION DATE 11-9-2030.

PROJECT:

## TREXLER RESIDENCE

13001 MAINRIGHT RD  
HIGHLAND, MD

### REVISIONS

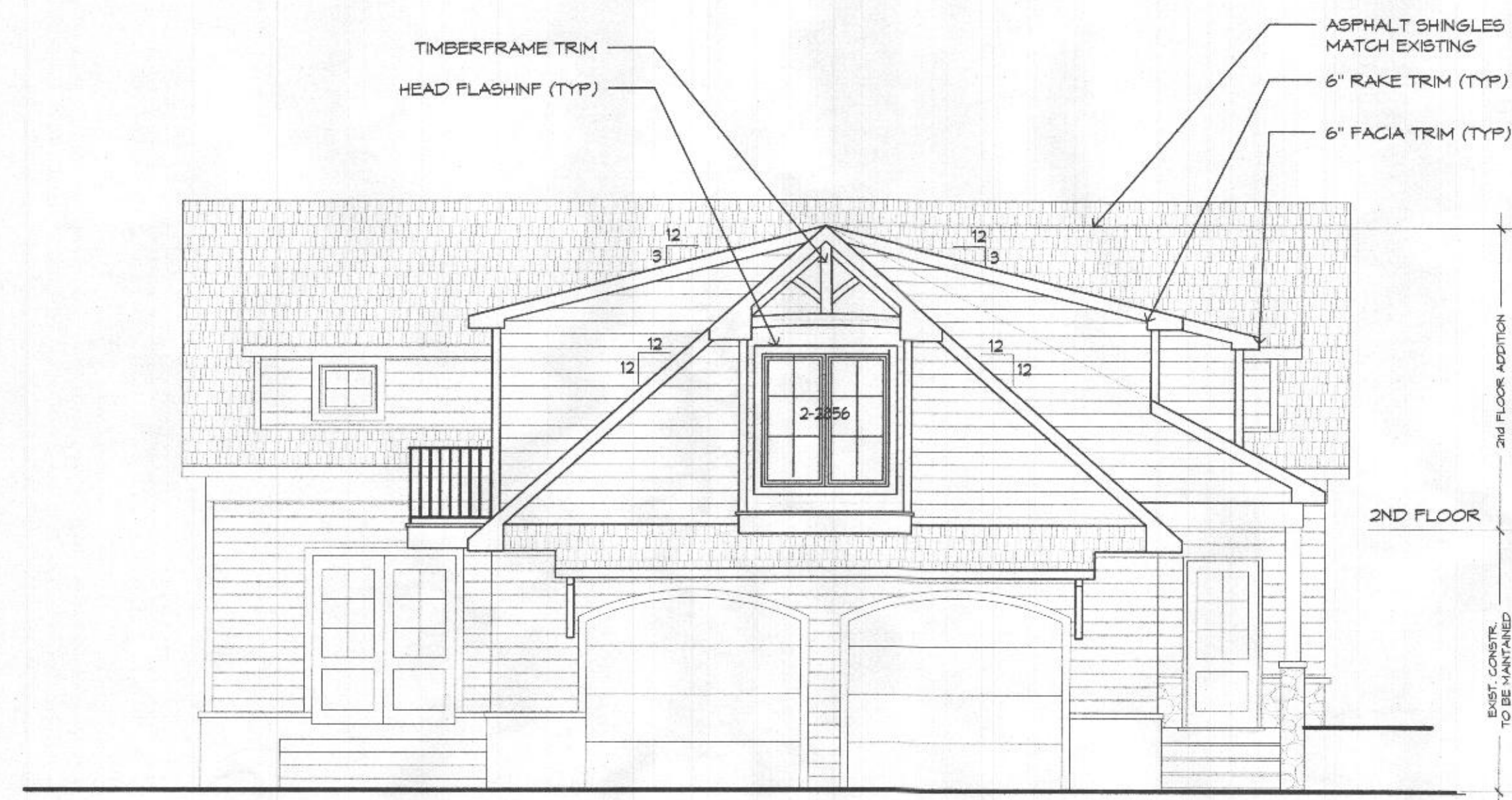
MARK	DATE	DESCRIPTION
01	1/21/19	OWNER REVIEW
02	3/17/19	FINAL REVIEW
03	03/18/21	PERMIT

PROJECT NO: 12-045-18  
CAD DWG FILE: GARAGE ADDITION-TREXLER.DWG  
DRAWN BY: SNTYRDLEY  
CHK'D BY: MAB  
COPYRIGHT: M BUTLER 2021

SHEET TITLE

ELEVATIONS

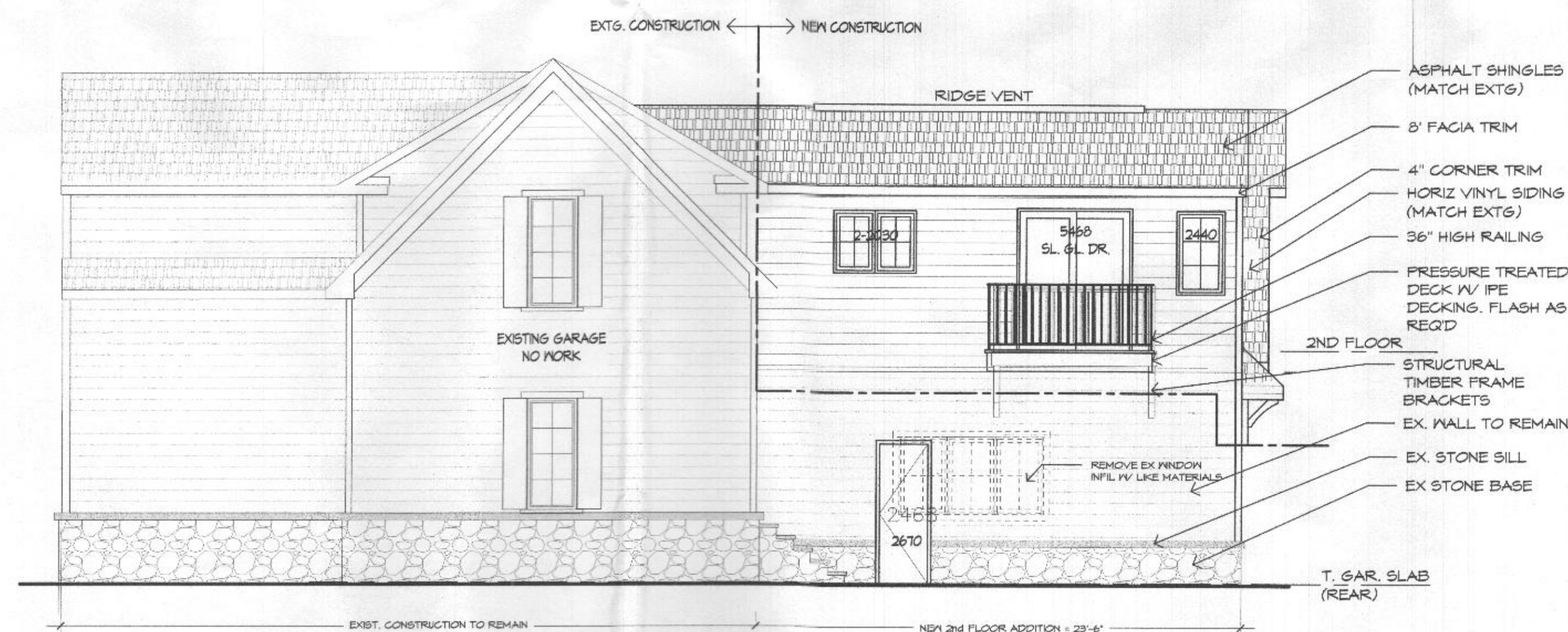
A1.03



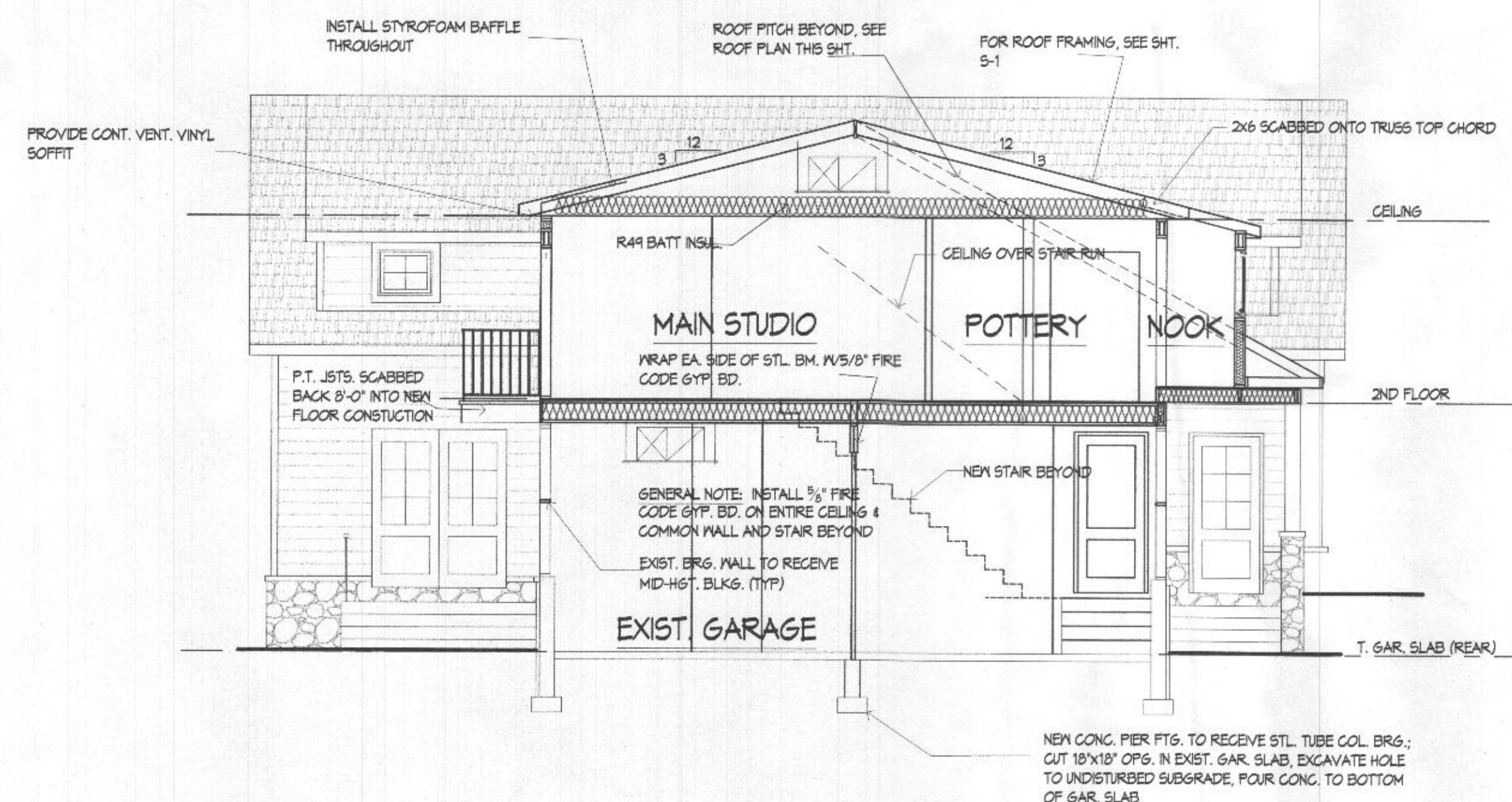
LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



REAR ELEVATION  
SCALE: 3/16" = 1'-0"



BUILDING SECTION  
SCALE: 3/16" = 1'-0"















CONSULTANTS:

ALL SQUARE



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 8880, EXPIRATION DATE 11-5-2020.

PROJECT:

**TREXLER  
RESIDENCE**  
CRAFTS STUDIO RENOVATIONS

13001 WAINWRIGHT ROAD  
HIGHLAND, MD 20777

## REVISIONS

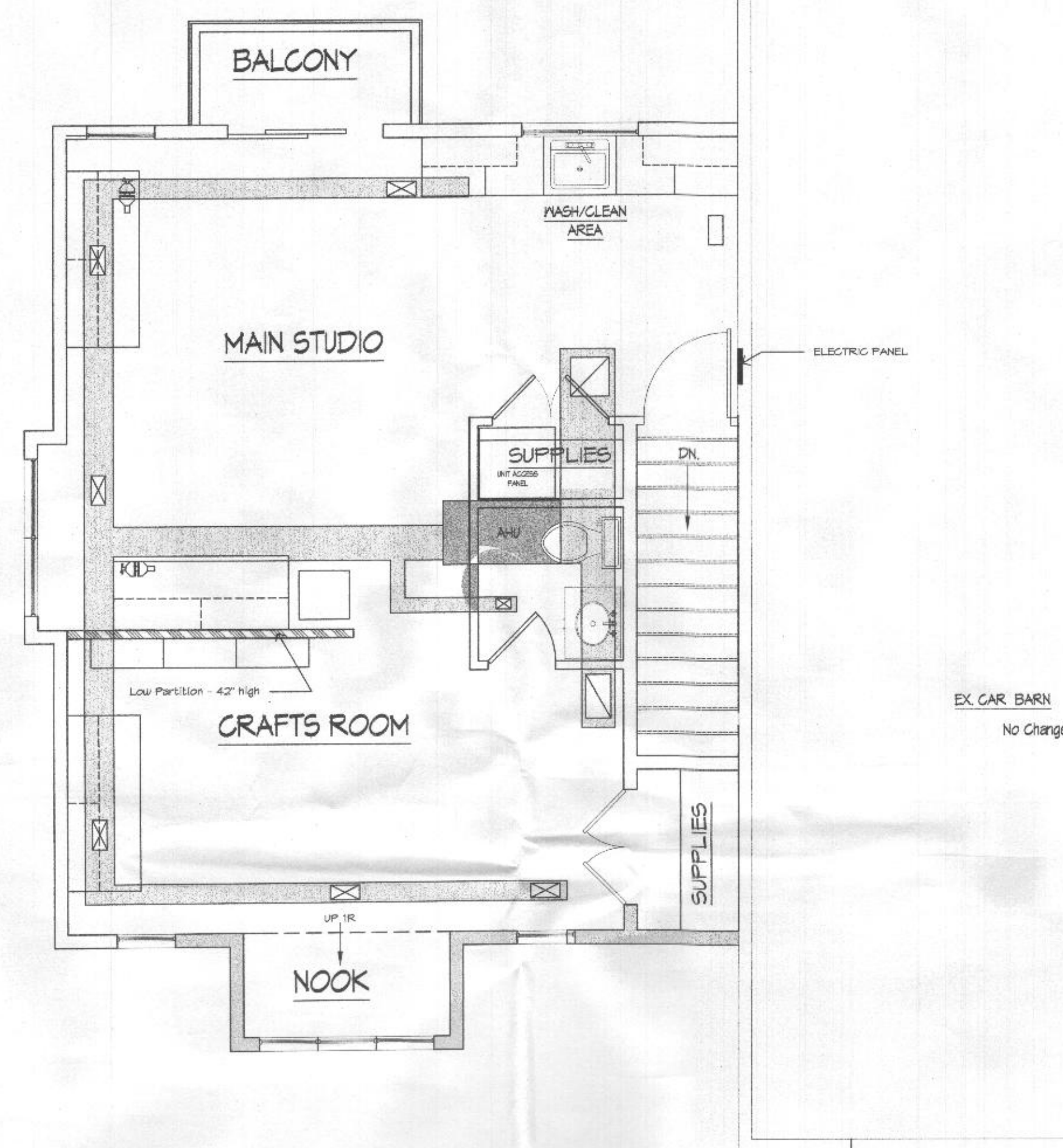
MARK	DATE	DESCRIPTION
01	10/15/18	OWNER REVIEW
02	12/28/18	FINAL REVIEW
03	03/15/21	PERMIT

PROJECT NO:	12-045-18
CAD DWG FILE:	GARAGE ADDITION-TREXLER.DWG
DRAWN BY:	SNYRDLEY
CHK'D BY:	MAB
COPYRIGHT:	M BUTLER 2021

SHEET TITLE
-------------

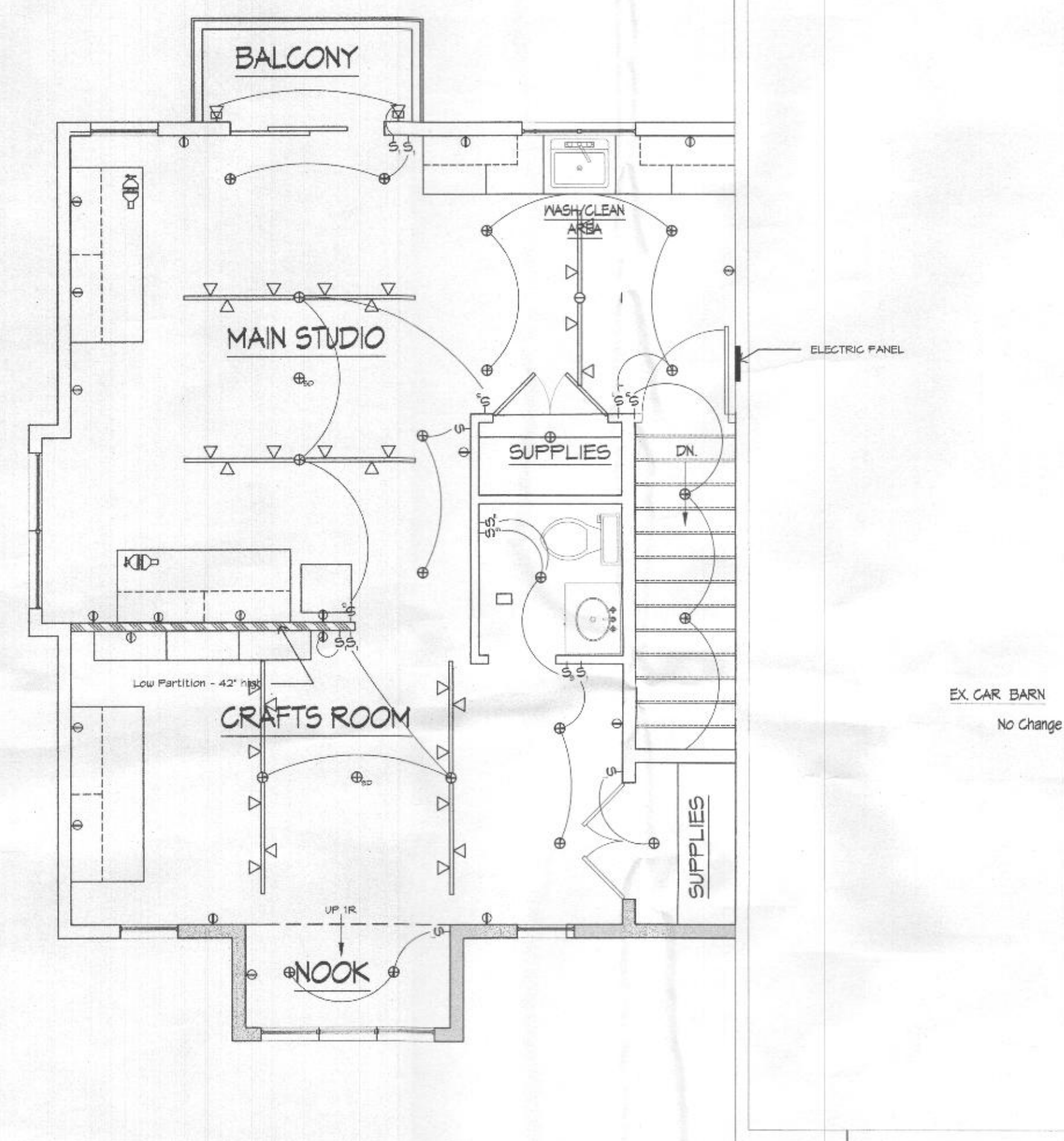
PROPOSED  
FLOOR PLAN

EM1.00



## SCHEMATIC MECHANICAL LAYOUT

NOTE:  
LAYOUT AND SIZING OF HVAC SYSTEM SHOWN ABOVE IS FOR DIAGRAMATIC  
PURPOSES ONLY. ALL EQUIPMENT AND DUCTWORK SIZING TO BE BY  
MECHANICAL CONTRACTOR. SEPARATE PERMIT IS REQUIRED FOR THIS WORK.



## ELECTRICAL/LIGHTING LAYOUT