
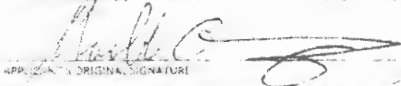
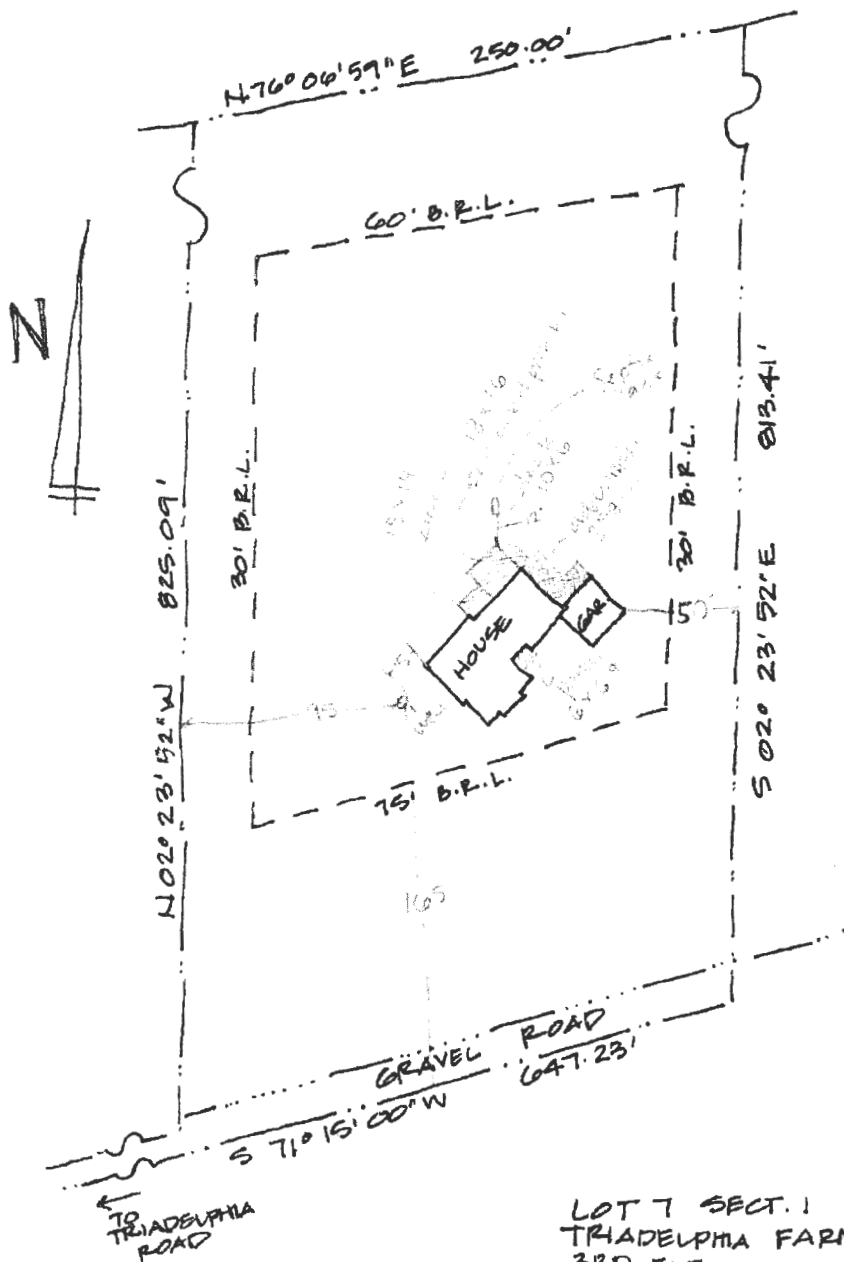


PERMIT NUMBER: B21000651

DATE ACCEPTED:

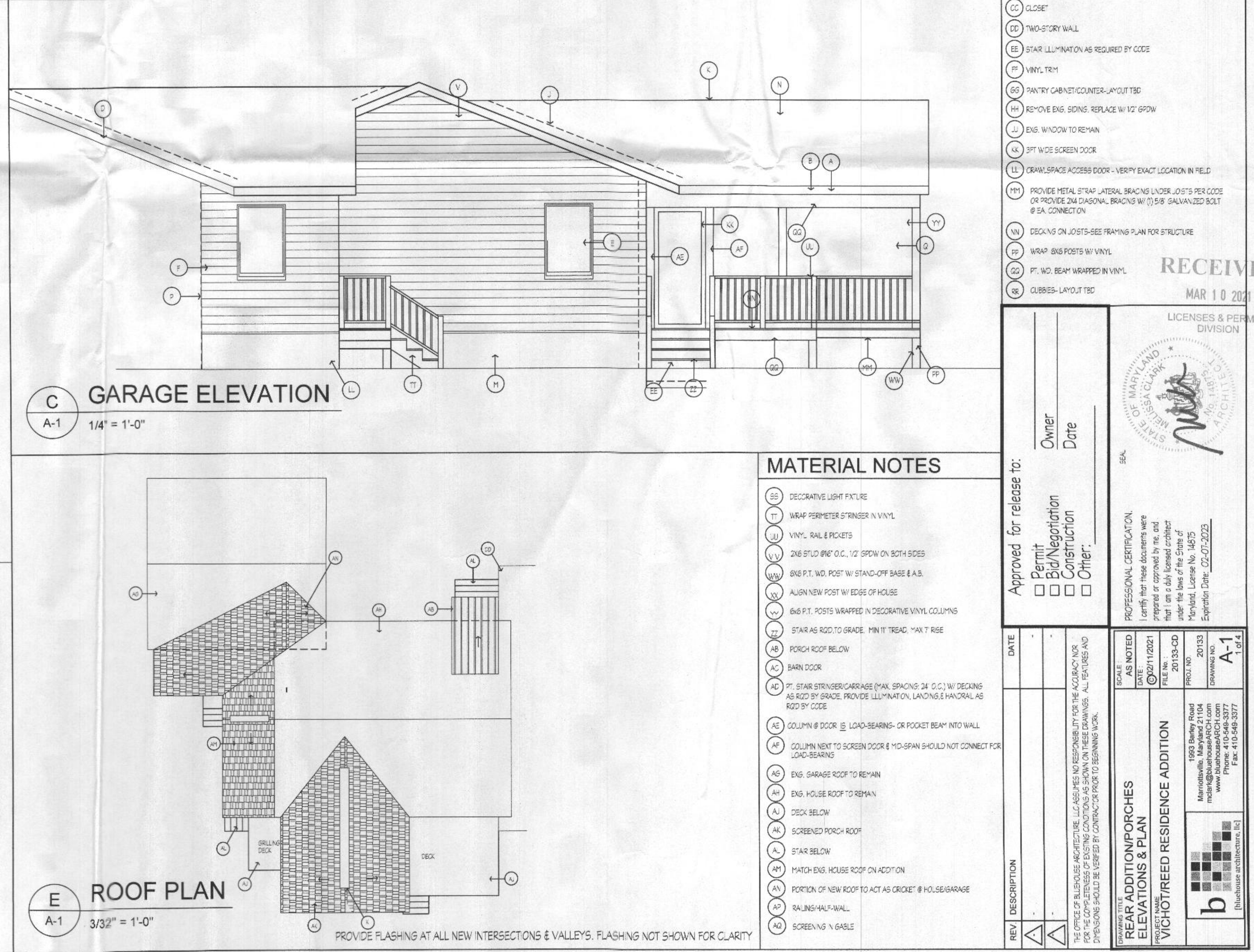
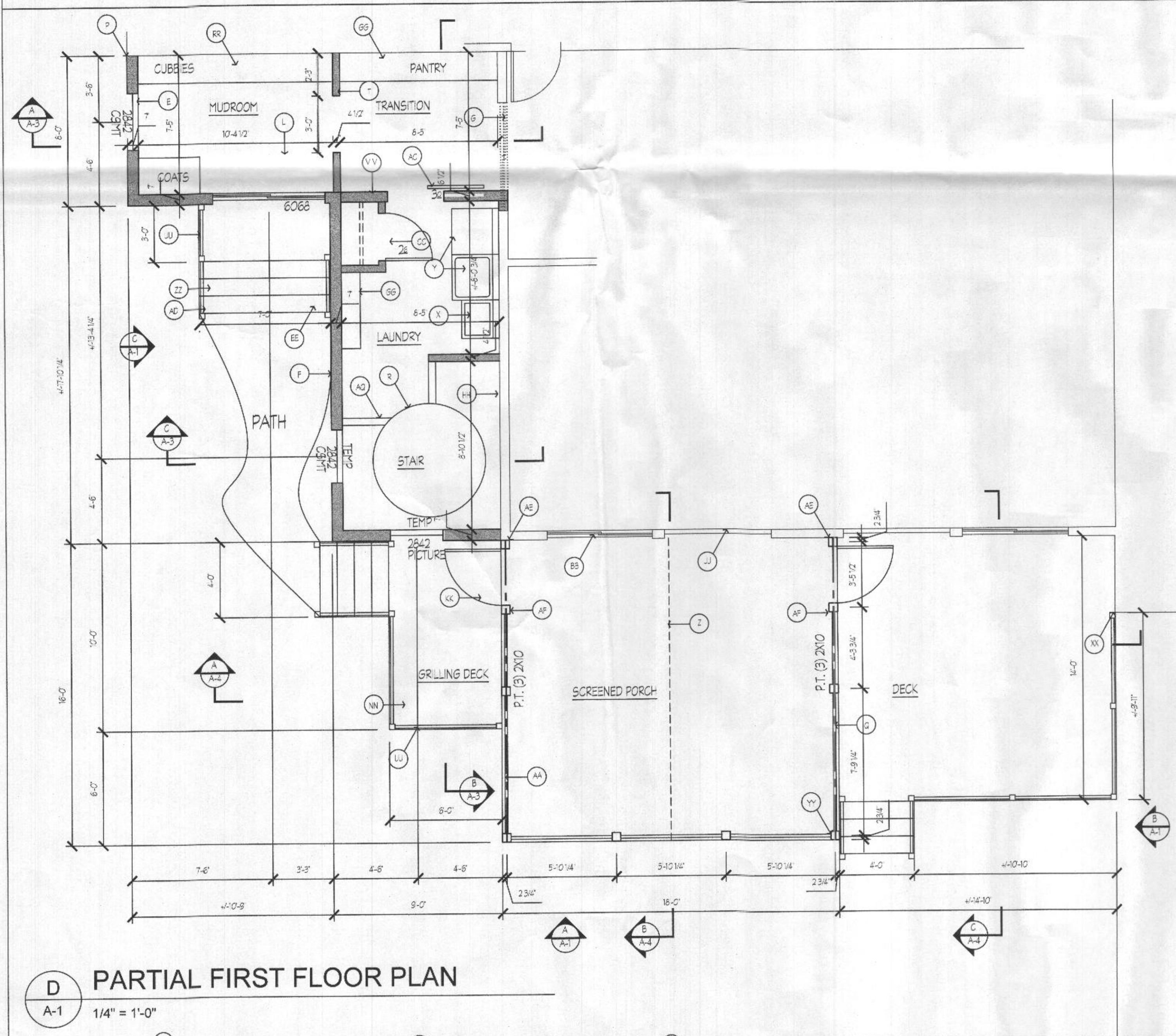
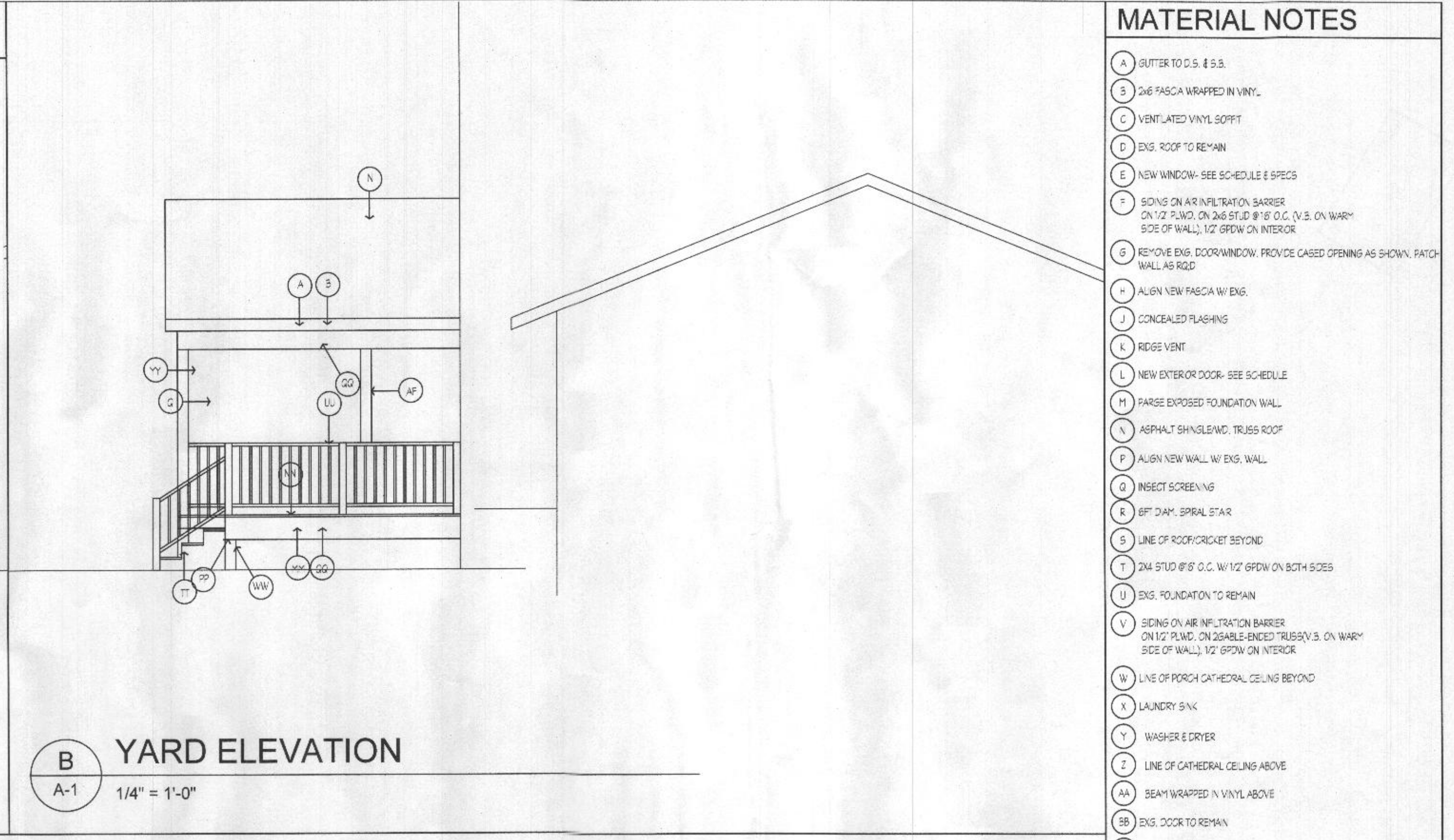
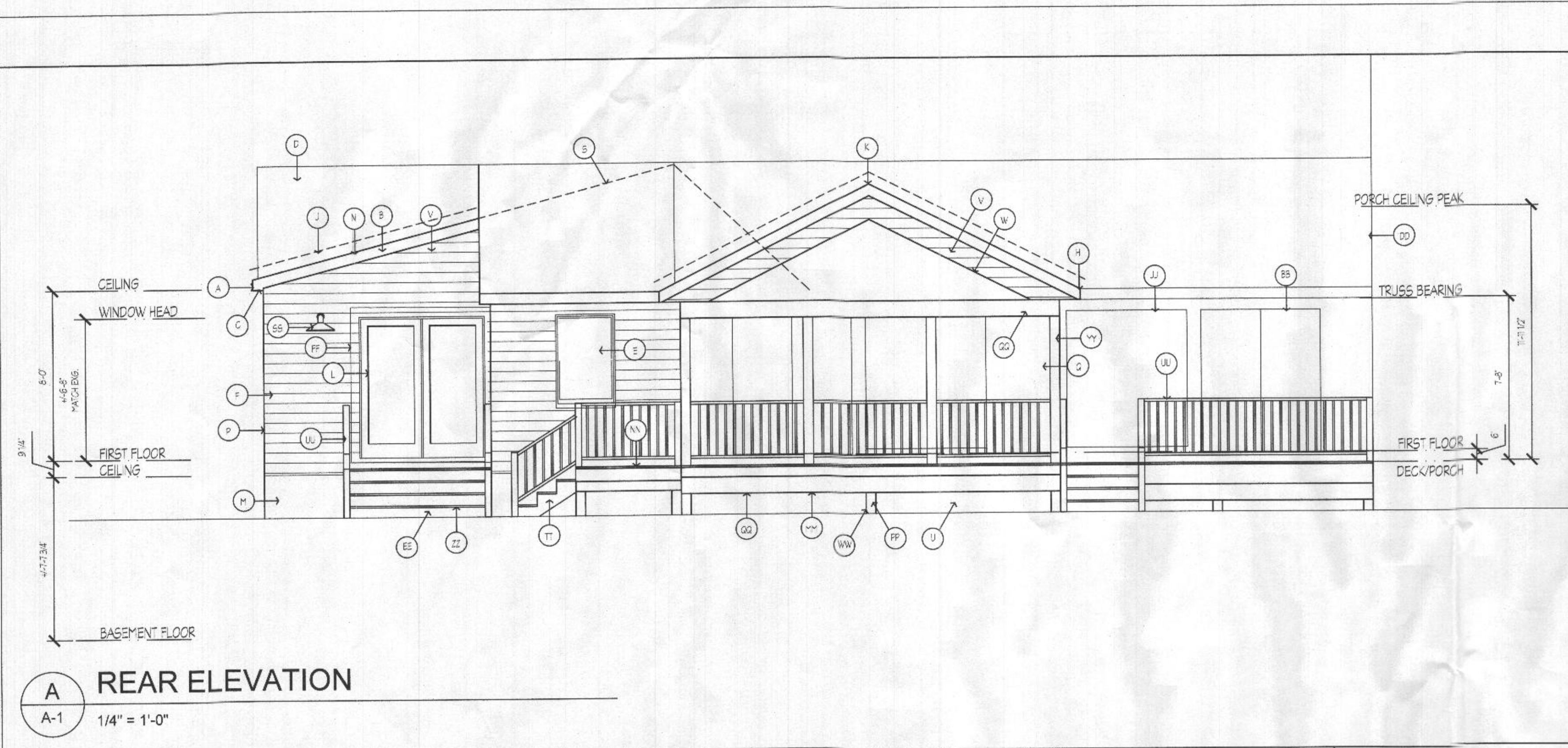
<div style="display: flex; justify-content: space-between;"> <div>  </div> <div> RESIDENTIAL BUILDING PERMIT APPLICATION HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 <small>www.howardcountymd.gov</small> </div> </div>					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 13236 Triadelphia Road				Unit:	
City: Ellicott City				State: MD	
Subdivision/Village/Complex Name:				SDP/WP/BA #:	
Lot:	Tax Map: 0022	Parcel: 0246	Grading Permit #:		
DESCRIPTION OF WORK REQUIRED					
Existing Use: SFD		Proposed Use: SFD		Estimated Cost: \$200,000.00	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None					
Construct a screened in porch, open deck, mudroom/laundry room. Renovate an existing bath and construct new front porch. All per drawing. Dimensions: screened porch 18'x16', open deck 15'x14' and 10'x6'. Front approach 6'x6'-9'. 253SF additional interior space. No interior alteration to existing					
OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Bath Reed Brady				Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Owner's Street Address: 13236 Triadelphia Road					
City: Ellicott City				State: MD	
Phone: (410) 565-5275				Email: pandrevichot@gmail.com; reedbrady@hotmail.com	
APPLICANT NAME REQUIRED INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Owings Brothers Contracting				Contact Name: Bernard Chambers	
Street Address: 5340 Enterprise Street					
City: Sykesville				State: MD	
Phone: (410) 781-7022				Email: tina@owingsbrothers.com	
CONTRACTOR INFORMATION REQUIRED					
Business Name: Owings Brothers Contracting				License #: 19661-01	
Licensee's Name: Michael G. Owings					
Street Address: 5340 Enterprise Street					
City: Sykesville				State: MD	
Phone: (410) 781-7022				Email: tina@owingsbrothers.com	
ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS IF APPLICABLE					
Business Name: Bluehouse Architecture				Name: Melissa Clark	
Street Address: 1993 Barley Road					
City: Marriottsville				State: MD	
Phone: (410) 549-3377				Email: mclark@bluehouseARCH.com	
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*) Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No					
Utilities: <input type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:				Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #	
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None				Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac	
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT, COMPLETE ALL THAT APPLY)					
Model Name & Options:					
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:		
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial					
1 st Fl Width:	1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:	Basmt Width:	Basmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: sq ft Occupiable Area: sq ft			
AGREEMENT/DISCLAIMER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
 APPLICANT'S ORIGINAL SIGNATURE				2/19/21 DATE SIGNED	
AGENCIES REQUIRED/APPROVALS:					
<input type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES:		PAYMENT:		ACCEPTED BY:	

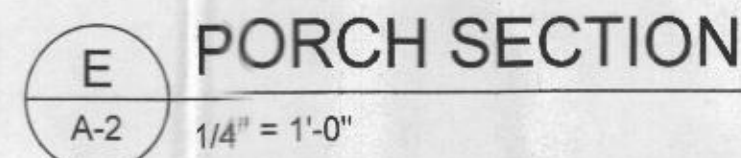
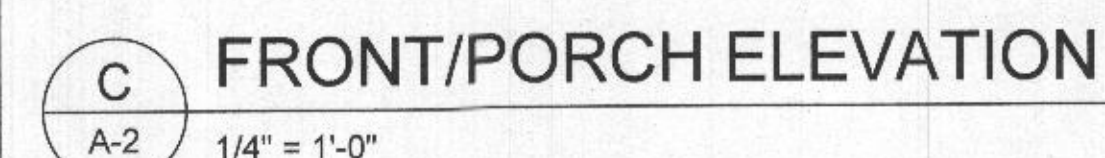


LOT 7 SECT. 1
 TRIADDELPHIA FARMS
 3RD ELEC. DIST. HOWARD CO., MD
 5/5/78 SCALE 1"=60FT

Approved Septic System Plan
 Howard County Health Department
D. Bernard
 Signature _____ Date _____

13236 Triadelphia Rd
 Ellicott City MD 21042





MATERIAL NOTES		MATERIAL NOTES	
(NN)	DECKING ON JOISTS-SEE FRAMING PLAN FOR STRUCTURE	(A)	GLUTTER TO D.S. & S.B.
(PP)	STAR TO GRADE- MIN 1" OF TREAD (1" NOSING), MAX 7" RISE, 8" TREADS REQ.	(B)	2x6 FASCIA WRAPPED IN VINYL
(GG)	STAR ILLUMINATION AS REQ'D BY CODE	(C)	VENTILATED VINYL SOFFIT
(KK)	ENG. OVERHANG TO REMAIN	(D)	ENG. ROOF TO REMAIN
(SS)	ENG. WINDOW TO REMAIN	(E)	WRAP 6X6 POSTS W/ VINYL
(T)	ENG. DOOR TO REMAIN	(F)	BEAM- SEE FRAMING PLAN- W/ 1X VINYL TRIM
(JJ)	ADJUST GRADE PER CONSTRUCTION CONTRACT, MAINTAIN POSITIVE SLOPE AWAY FROM ENG. PION	(G)	EDGE OF NEW DECK/PORCH ABOVE
(VV)	ALIGN BOTTOM OF NEW BEAM W/ TOP OF ENG. FASCIA	(H)	VINYL, RAIL & PICKETS
(WW)	ALIGN NEW WALL W/ ENG. WALL	(J)	CONCEALED FLASHING
(XX)	REMOVE ENG. WINDOW- MAKE OPENINGS WIDER & TALLER TO ACCOMMODATE NEW OPENING	(K)	PROVIDE SIMPSON COLUMN CAP AT EA. NEW COLUMN/BEAM CONNECTION
(YY)	NEW 6" DIA. SPIRAL STAIR PER CONSTRUCTION CONTRACT	(L)	6X6 P.T. WD. ROOF W/ STAND-OFF BASE & A.B.
(ZZ)	2x4 STUD @ 6" O.C., 1/2" GYPW ON ROOF SIDE, R-13 INSULATION IN CAVITY	(M)	FT. STAR SPRINGER/CARBIDE (MAX. SPACING 24" O.C.) W/ DECKING AS REQ'D BY GRADE, PROVIDE ILLUMINATION LAYINGS & HANDRAIL AS REQ'D BY CODE
(AB)	1/2" GYPW ON PLUMBING ON ENG. PION WALL	(N)	STANDING BEAM METAL/WOOD TRUSS ROOF
		(O)	STEP NEW PION AS REQ'D FOR GRADE (TO MAINTAIN PROST. DEPTH)
		(Q)	ATTACH NEW 2x4 P.T. LEDGER TO ENG. PION (INCLUDE FLASHING PER CODE)
		(R)	P.T. WD. BEAM- SEE FRAMING PLAN
		(S)	VINYL TRIM
		(T)	PORCH CEILING- SEE FINISH SCHEDULE
		(U)	ENG. FOUNDATION TO REMAIN
		(V)	DROP FOOTINGS- BOTTOM OF NEW FOOTING SLEV. TO MATCH BOTTOM OF ENG. FOOTING ELEVATION FOR PART 4PT. OF ADDITION FOOTINGS CAN STEP UP 2" FOR EACH 4" OUT AWAY FROM ENG. PION
		(W)	T-O X-2-O CONT. CONC. FOOTING W/ 2" 4x4 CONT.
		(X)	8" POURED CONCRETE/CMU FOUNDATION WALLS (SEE SPECS FOR REINFORCING) W/ WATERPROOFING BELOW GRADE
		(Y)	22" DIA. CONC. PIS.
		(Z)	RAILINGS PER GRADE/CODE OR/IF AS ALLOWABLE- NOT SHOWN FOR CLARITY
		(AA)	BEAM WRAPPED IN VINYL ABOVE
		(BB)	PARGE EXPOSED PION WALL
		(CC)	STANDING BEAM METAL ROOF (ON 2" LAYERS #5 FELT ON 1/2" PLWD.)
		(DD)	WD. TRUSSES- WEB CONFIGURATION SHOWN FOR GRAPHIC REPRESENTATION ONLY
		(EE)	REMOVE ENG. WINDOW- REPLACE W/ SHORTER WINDOW AS REQ'D FOR NEW PORCH ROOF & FLASHING. FRONT WALL HAS EXCESS WINDOW FOR THIS ROOF.
		(FF)	REMOVE PORTION OF ENG. OVERHANG AS SHOWN
		(GG)	(NOT USED)
		(HH)	FLASH NEW ROOF INTO ENG.
		(II)	ENG. WALL TO REMAIN
		(JJ)	MODIFY NEW FOOTING TO AVOID ENG. PION
		(LL)	CRAWLSPACE ACCESS DOOR - VERIFY EXACT LOCATION IN FIELD
		(MM)	PROVIDE METAL STRAP LATERAL BRACING UNDER JOISTS PER CODE OR PROVIDE 2x4 DIAGONAL BRACING W/ (1) 5/8" GALVANIZED BOLT @ EA. CONNECTION

<p style="text-align: center;">Approved for release to:</p> <p style="text-align: center;"> <input type="checkbox"/> Permit <input type="checkbox"/> Bid/Negotiation <input type="checkbox"/> Construction <input type="checkbox"/> Other: _____ </p>	<p style="text-align: center;">Owner _____</p> <p style="text-align: center;">Date _____</p>
--	--

SCALE

<p style="text-align: center;">DATE _____</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p>	<p style="text-align: center;">DATE _____</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p>
--	--

DRAWING TITLE

FRONT PORCH ELEVATIONS & SECTIONS

REAR ADDITION FOUNDATION/FRAMING PLAN

REAR ADDITION FOUNDATION/FRAMING PLAN

REAR ADDITION FOUNDATION/FRAMING PLAN

<p style="text-align: center;">DATE _____</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p>	<p style="text-align: center;">DATE _____</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p> <p style="text-align: center;">REAR ADDITION FOUNDATION/FRAMING PLAN</p>
--	--

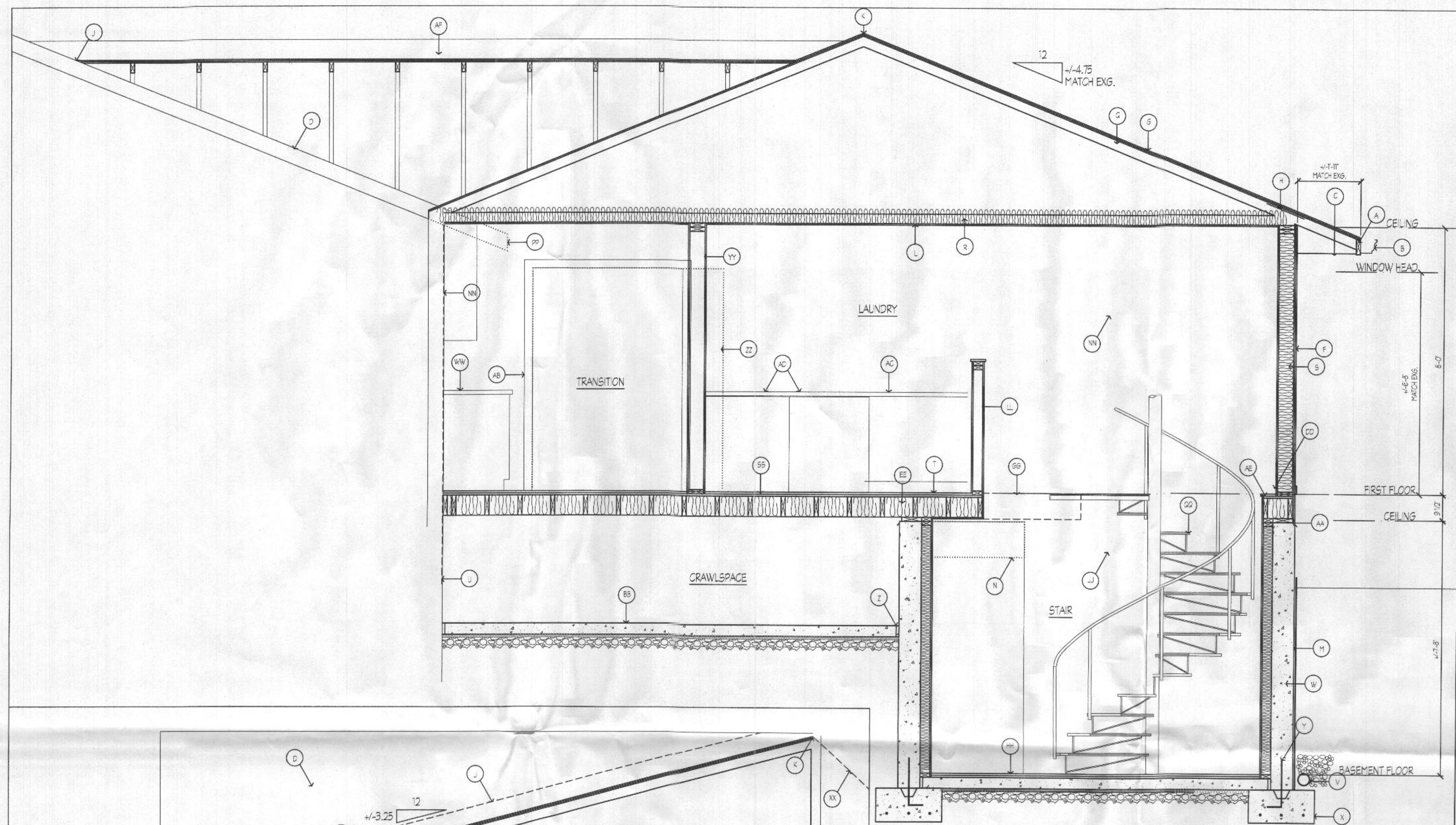
DRAWING TITLE

FRONT PORCH ELEVATIONS & SECTIONS

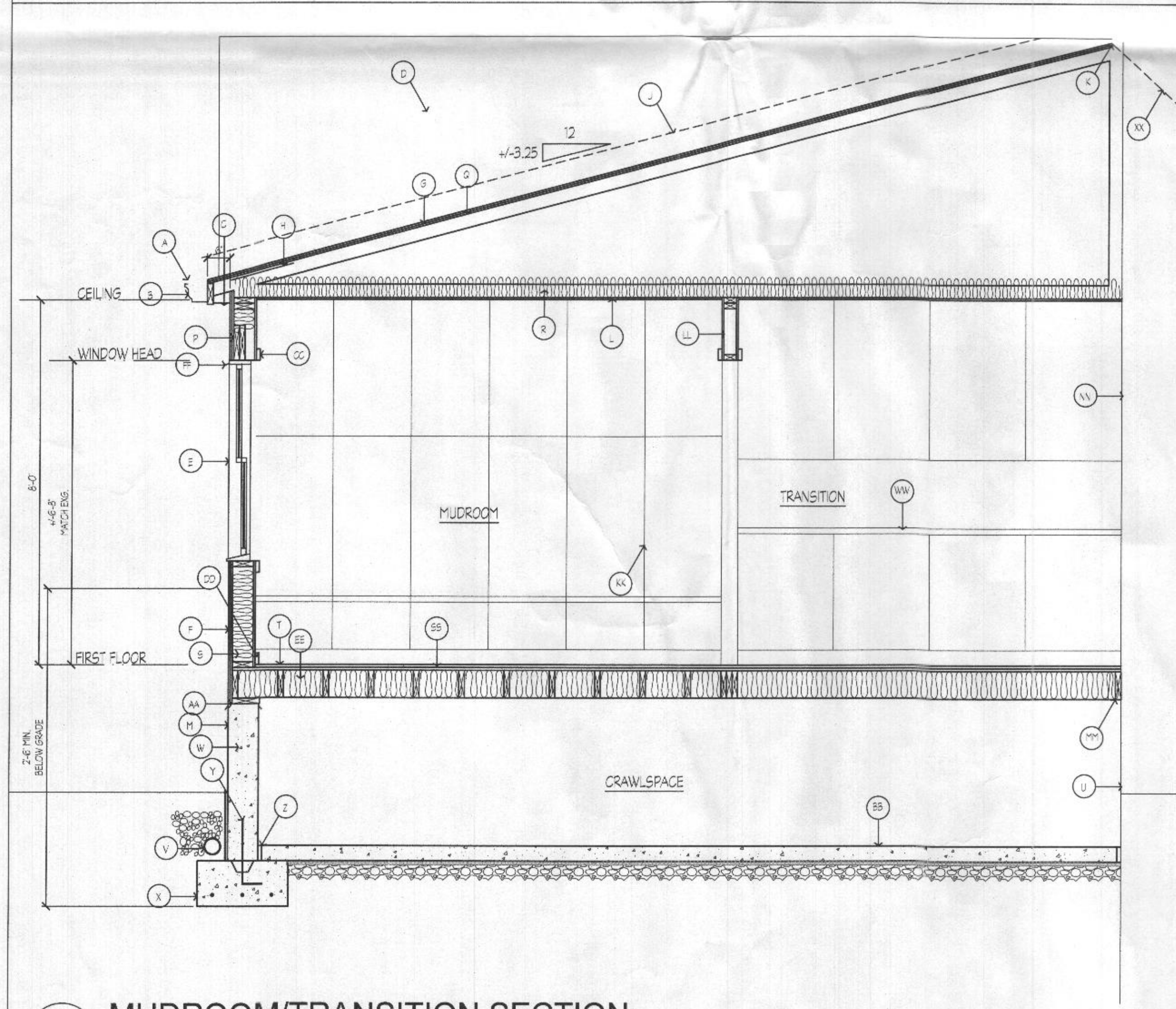
REAR ADDITION FOUNDATION/FRAMING PLAN

REAR ADDITION FOUNDATION/FRAMING PLAN

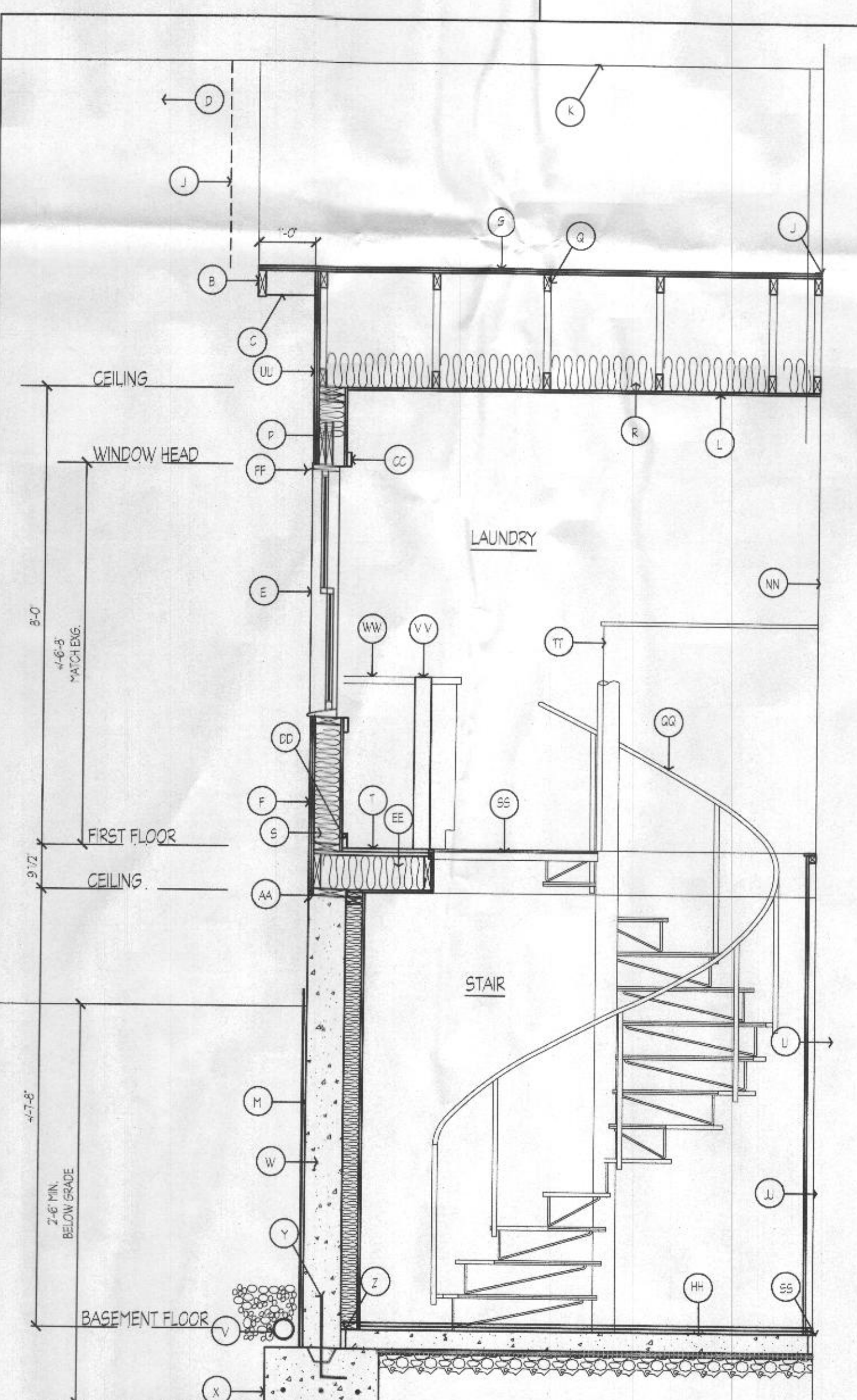
REAR ADDITION FOUNDATION/FRAMING PLAN



B CRAWL SPACE/BASEMENT SECTION
A-3 1/2" = 1'-0"



A MUDROOM/TRANSITION SECTION
A-3 1/2" = 1'-0"



C LAUNDRY/STAIR SECTION
A-3 1/2" = 1'-0"

MATERIAL NOTES	MATERIAL NOTES
<ul style="list-style-type: none"> 20 SPIRAL STAIR 21 (NOT USED) 22 ALUM. NEW FLOOR W/ENG. 23 LINE OF WALL BEYOND 24 SIDING ON AIR INFILTRATION BARRIER ON 1/2" PLWD. ON GABLE-ENDED TRUSS (V.B. ON WARM SIDE OF WALL) 25 HALF WALL 26 PANTRY CABINET/COUNTER - TBD 27 LINE OF ROOF BEYOND - TO ACT AS CRICKET BETWEEN HOUSE & GARAGE ROOF 28 2X6 STUD @ 16" O.C. W/ 1/2" GROW ON BOTH SIDES 29 REMOVE EXG. DOOR - PATCH WALL 30 NEW CASING OPENING 31 LAUNDRY SINK 32 WASHER & DRYER 33 DRYWALL OR W.D. CAP AT EXPOSED WALL TRANSITION 34 CRICKET 	<ul style="list-style-type: none"> 35 BUTTER TO D.S. E.S.B. 36 2X6 PASCAL WRAPPED IN VINYL 37 VENTILATED VINYL SOFFIT 38 EXG. ROOF TO REMAIN 39 NEW WINDOW - SEE SCHEDULE & SPECS 40 SIDING ON AIR INFILTRATION BARRIER ON 1/2" PLWD. ON 2X6 STUD @ 16" O.C. (V.B. ON WARM SIDE OF WALL) 1/2" GROW ON INTERIOR 41 ASPHALT SHINGLES ON (2) LAYERS #5 FELT ON 1/2" PLWD. 42 INSULATION BATTLES 43 CONCEALED FLASHINGS 44 ROSE VENT 45 1/2" GROW 46 PARGE EXPOSED FOUNDATION WALL 47 REMOVE EXG. WINDOW. ENLARGE OPENING FOR NEW DOOR 48 HEADER - SEE FRAMING PLAN AND/OR SPECS 49 W.D. TRUSS @ 24" O.C. (WEB CONFIGURATION SHOWN FOR GRAPHIC REPRESENTATION ONLY) 50 ROOF INSULATION: R-48 51 WALL INSULATION: R-20 52 FINISH F.L.R. ON 3/4" SUBFLOOR/JOIST. ON FLOOR STRUCTURE - SEE FOUNDATION/FRAMING PLAN 53 EXG. FINISH TO REMAIN 54 FOUNDATION DRAIN 55 CONJUG. FOUNDATION WALLS (SEE SPECS FOR REINFORCING W/ WATERPROOFING BELOW GRADE. PARGE EXPOSED FOUNDATION) 56 1'-0" X 2'-0" CONT. CONC. FTG. W/ (3) #4s CONT. 57 TIE FOOTING TO FOUNDATION 58 T. CONT. EXPANSION JOINT W/ COMPRESSIBLE FILLER 59 2x8 P.T. PLATE @ 4" S. W/ BUG SHIELD 60 4" CONC. ON 10" ML V.S. ON T. RIGID INSULATION ON 4" GRAVEL 61 W.D. CASING 62 W.D. BASE 63 FLOOR INSULATION: R-19 64 CONCEALED FLASHING & WEEPS 65 LANDING BEYOND 66 FINISH F.L.R. ON 3/4" SUBFLOOR/JOIST. ON 4" CONC. ON 10" ML V.S. ON T. RIGID INSULATION ON 4" GRAVEL 67 1/2" GROW ON 2X FLOORING ON EXG. FINCH WALL 68 CLBBSS - CONFIGURATION TBD 69 2x4 STUD @ 16" O.C. 1/2" GROW ON BOTH SIDES 70 ATTACH NEW 2X P.T. LEDGER TO EXG. FINCH (INCLUDE FLASHING PER CODE) 71 REMOVE EXG. SIDING. REPLACE W/ 1/2" GROW 72 REMOVE EXG. OVERHANG. AS SHOWN FOR ADDITION

RECEIVED
MAR 10 2021
LICENSES & PERMITS DIVISION

APPROVED FOR RELEASE TO:
☐ Permit
☐ Bid/Negotiation
☐ Construction
☐ Other: _____

Owner: _____
Date: _____

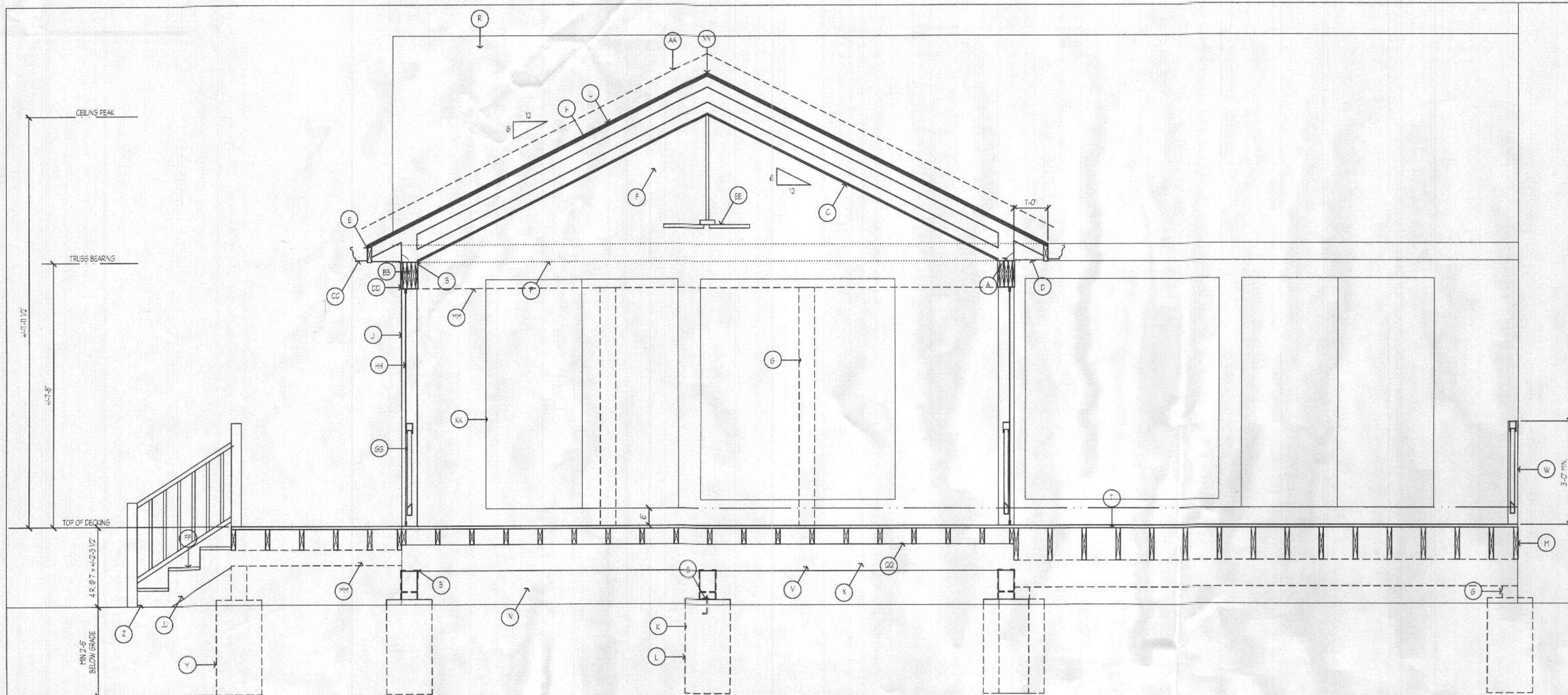
PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 14875
Expiration Date: 02-07-2023

SCALE: AS NOTED
DATE: 02/11/2021
FILE NO.: 20133-CD
PROJECT NO.: 20133
DRAWING NO.: A-3
3 of 4

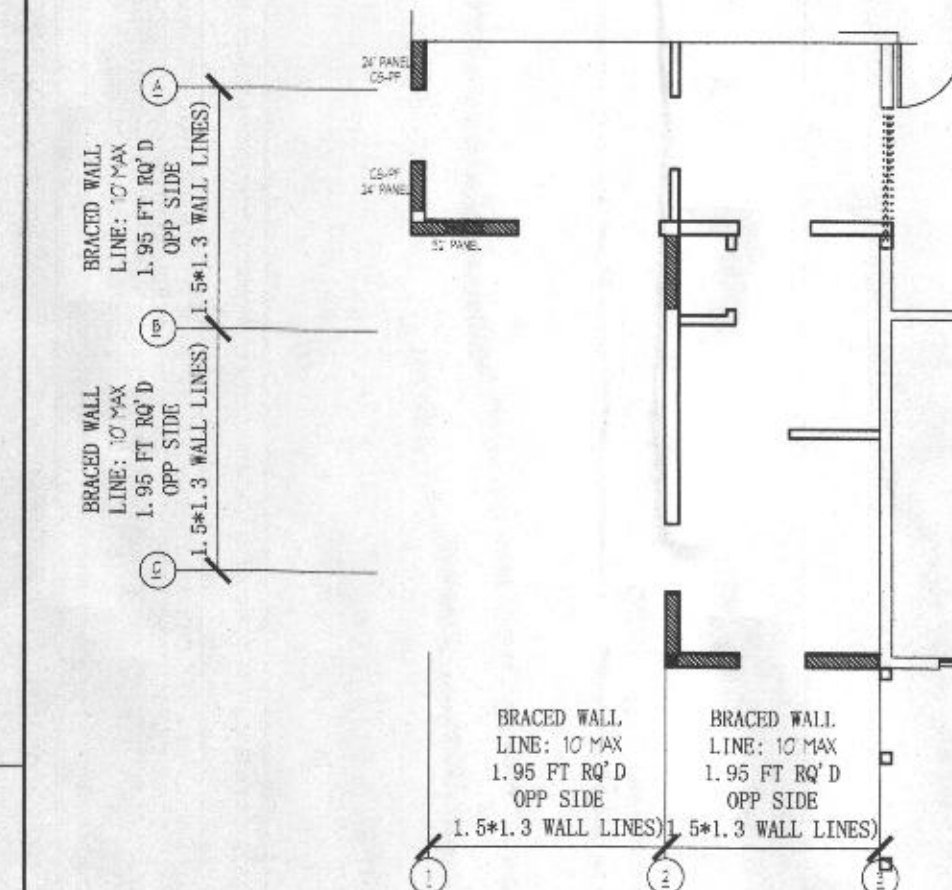
ADDITION SECTIONS:
PROJECT NAME: VICHOTI/RED RESIDENCE ADDITION
PROJECT NO.: 20133
DRAWING NO.: A-3
3 of 4

1993 Bailey Road
Middleburg Heights, OH 44130
www.blaughousearch.com
Tel: 419-446-3377
Fax: 419-446-3377

blaughouse architecture, llc



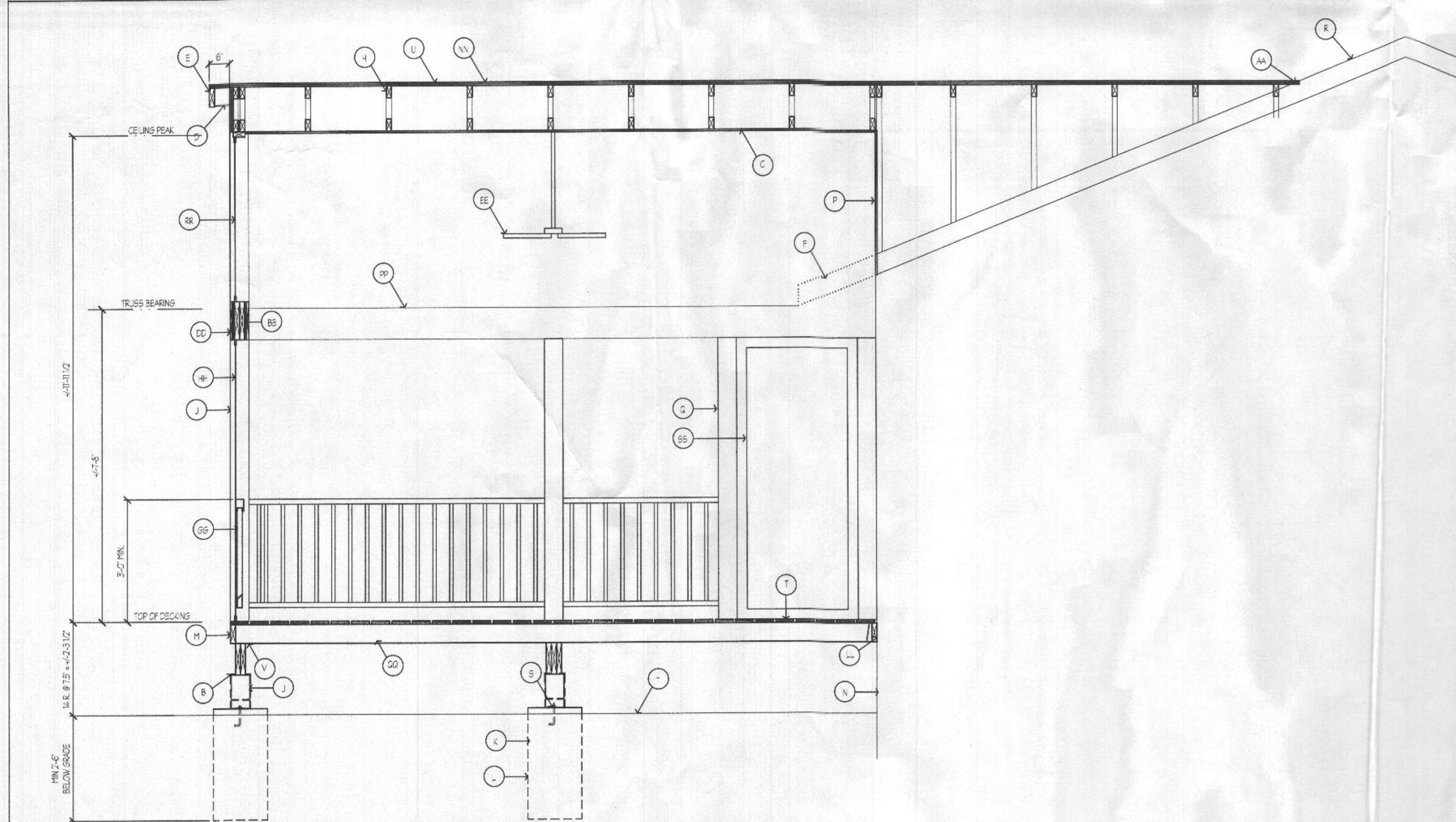
A SCREENED-IN PORCH & DECK SECTION
A-4 1/2" = 1'-0"



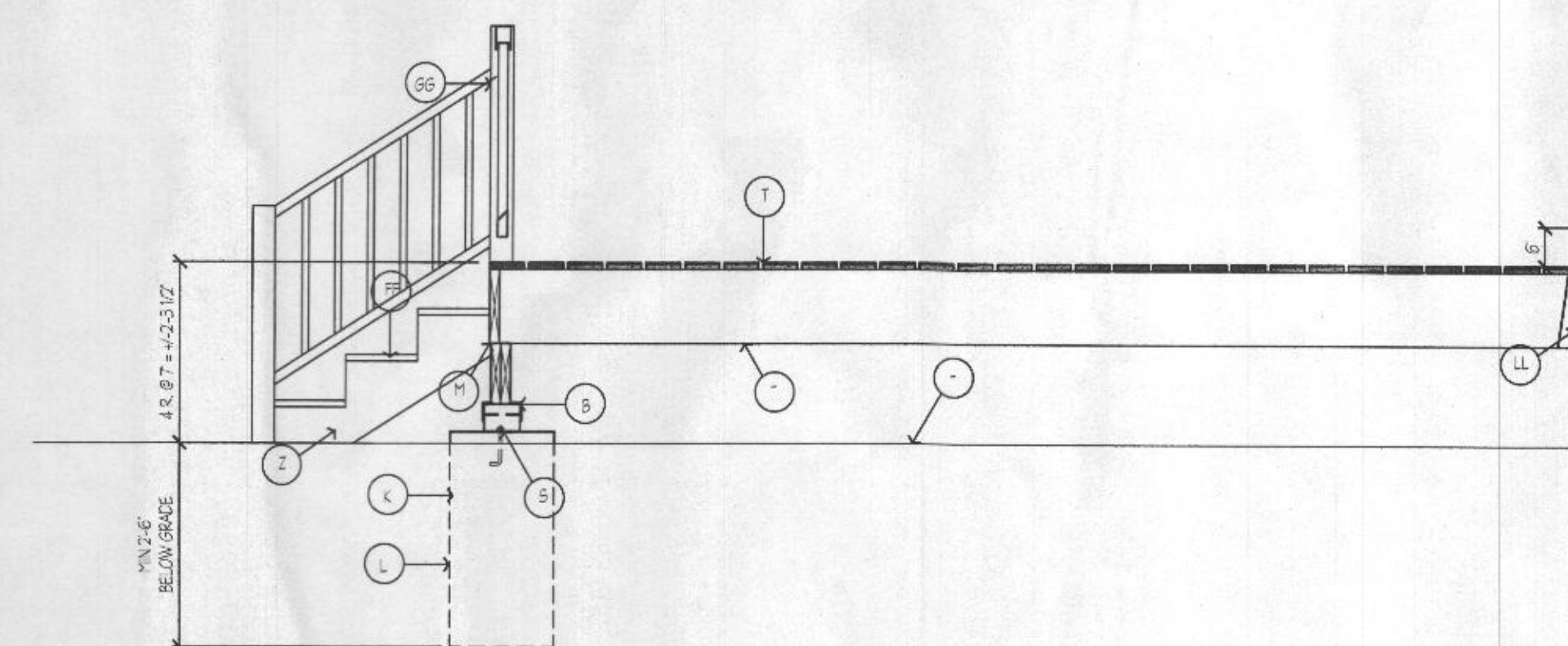
D WALL BRACING PLAN
A-4 1/8" = 1'-0"

MATERIAL NOTES

- A PROVIDE HOLD DOWN CLIPS END AT OF EACH NEW TRUSS
- B PROVIDE SIMPSON COLUMN CAP AT EA NEW COLUMN BEAM CONNECTION
- C PLYWOOD PORCH CEILING W/ TRIM STRIPS- SEE CONSTRUCTION CONTRACT
- D VENTILATED VINYL SOFFIT
- E 2X6 FASCIA WRAPPED IN VINYL
- F REMOVE PORTION OF EXIS. OVERHANG FOR NEW PORCH
- G COLUMN IN FOREGROUND
- H WD. TRUSSES (WEB CONFIGURATION SHOWN FOR GRAPHIC REPRESENTATION ONLY)
- I 6X6 P.T. POSTS WRAPPED IN VINYL COLUMN
- J STEP NEW PION AS REQD. FOR GRADE (TO MAINTAIN PROST. DEPTH)
- K 22 DIA. CONC. FTG.
- L VINYL TRIM AT JOIST PERIMETER
- M EXIS. PION TO REMAIN
- N EXTEND EXIS. WALL PLANE TO NEW CEILING PEAK
- O COLUMN DOES NOT CONNECT TO BEAM ABOVE FOR BEARING
- P EXIS. ROOF TO REMAIN
- Q STAND-OFF BASE W/ GALVANIZED A.B.
- R NEW DECKING ON P.T. WD. JOISTS- SEE PLAN
- S ASPHALT SHINGLE ROOFING ON 1/2\"/>
- T PROVIDE METAL STRAP LATERAL BRACING UNDER JOISTS PER CODE OR PROVIDE 2X4 DIAGONAL BRACING W/ (7) 5/8\"/>
- U ALUM. RAILING W/ EDGE OF WALL
- V NEW BEAM (BEYOND)
- W FOOTINGS IN FOREGROUND
- X STAR LUMINATION AS REQD BY CODE
- Y CONCEALED FLASHING
- Z BEAM WRAPPED IN VINYL- SEE TRIMING PLAN
- AA GUTTER TO D.S. & S.B.
- BB VINYL TRIM
- CC CEILING FAN
- DD STAR TO GRADE- MIN 10\"/>
- EE RAILING & POCKETS
- FF ASSET SCREENING
- GG WRAP PERIMETER STRINGERS IN VINYL
- HH EXIS. DOOR TO REMAIN
- II ATTACH NEW 2X P.T. LEDGER TO EXIS. PION (INCLUDE FLASHING PER CODE)
- JJ BEAM IN FOREGROUND
- KK RIDGE VENT
- LL LINE OF LOW POINT OF CEILING BEYOND
- MM PROVIDE SCREENING ABOVE
- NN BEAMS ON AIR INFILTRATION BARRIER ON 1/2\"/>
- OO SCREENING IN SABLE



B SCREENED-IN PORCH SECTION
A-4 1/2" = 1'-0"



C DECK SECTION
A-4 1/2" = 1'-0"

Approved for release to:

Owner _____ Date _____

Permit _____

Bid/Negotiation _____

Construction _____

Other: _____

RECEIVED
MAR 10 2021
LICENSES & PERMITS
DIVISION

STATE OF MARYLAND
JESSA CLARK
ARCHITECT

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 14875
Expiration Date 02-07-2023

SCALE: AS NOTED
DATE: 02/11/2021
FILE NO: 133-CD
PROJECT: 20133
DRAWING NO: A-4

SCREENED PORCH & DECK SECTIONS
PROJECT NAME: VICHOT/REED RESIDENCE ADDITION
1803 Belling Road
Marriottsville, Maryland 21104
mclark@bluehousearch.com
www.bluehousearch.com
Phone: 410-548-3377
Fax: 410-548-3377
[bluehouse architecture llc]

b