PERMIT NUMBER: 82 000651

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

		www.howare	g = 0 m y m 4.00			
BUSING STEAT	DDRESS REQUIRE					
Street Address: 13236		STEMPER ST.		The state of the s	Unit:	
Co. Elitabet City			State: MD		Zip Code: 21042	
Subdivision, sillage/Comp	plex Name:			SDP/WP/BA		
Lot:	Tax Map: 0022	Parcel: 0246		Grading Permit #:		A STATE OF THE PROPERTY OF THE
DESCRIPTION OF	WORK REQUIRED					
Eusting Use: SFD		Proposed Use: SFD			Estimated Cost: \$20	00.000.00
companies on 1 to a co a brakery ages	leted (Separate Permits Re	1	VACR) Elec	trical Plumbing		
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Cty:Ellicott City	The second secon	and the first transport to the second	State: MD		Zip Code: 21042	
Phone: (240) 565-527		Email: par	drevichot@gr	mail.com; reedbra	dy@hotmail.com	
APPLICANT NAME		VIOUNE WHO SIGNS	HIS APPLICAT	ION		
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Street Address: 5340 Er	the state of the s					
City: Sykesville	ATTENDED TO THE PARTY OF THE PA		State:MD		Zip Code: 21784	
Phone: (410) 781-702	2	Email:tina	@owingsbrot	hers.com		
	ORMATION REQU	IRED				
	s Brothers Contracti					
Licensee's Name: Micha	el G. Owings		License #:19	661-01		
Street Address:5340 E	nterprise Street					
Oty: Sykesville			State: MD		Zip Code: 21784	
Prione: (419) 781-702			@owingsbrot			
AF SHALLES IVENCI	NEER INFORMATIO	N INDIVIOUAL WHO	SIGNED PLANS	TE APPLICABLE		
Business Name. Blueho	ouse Architecture	The said at the State and	Name: Meliss	a Clark		•
Street Address: 1993 5	arley Road					
City:Marriottsville	THE RESERVE OF THE PARTY OF THE		State: MD		Zip Code: 21104	
Phone: (410) 549-337		A DESCRIPTION OF THE PROPERTY	ark@bluehou	seARCH.com		
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H76000'59"E 160.528 NO2023, 92"W 050 N 165 TRIADEUPHIA POAC TRIADELPHIA FARMS 3RD EVEC DIST HOWARD CO, MO 5/5/78 SCALE 1"=BOFT

Approved Septic System Plan
Howard County Health Department
Signature

Date

13236 Triadelphia Pd Ellicott City MD 21642

ADDITION TO: VICHOT/REED RESIDENCE

13236 TRIADELPHIA ROAD ELLICOTT CITY, MARYLAND 21042

DRAWING INDEX

- CS-1 SPECIFICATIONS, SYMBOLS, & ABBREVIATIONS
- REAR ADDITION/PORCHES ELEVATIONS & PLAN
- FRONT PORCH ELEVATIONS & SECTIONS, REAR ADDITION FOUNDATION/FRAMING PLAN
 - ADDITION SECTIONS
- SCREENED PORCH & DECK SECTIONS

NOTES AND SPECIFICATIONS

DIVISION 00- PROCUREMENT AND CONTRACTING REQUIREMENTS

3121.A: VERIFY ALL DIMENSIONS IN FIELD. BLUEHOUSE ARCHITECTURE, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY NOR THE COMPLETENESS OF EXISTING CONDITIONS SHOWN. EXCEPT WHERE OTHERWISE NOTED, DIMENSIONS SHOWN ARE TAKEN TO FINISHED SURFACES.

2113.A: UNLESS OTHERWISE DIRECTED BY OWNER, CONTRACTOR SHALL ARRANGE TO OBTAIN AND SHALL PAY FOR ALL PERMITS NECESSARY FOR THE INSTALLATION OF HIS

NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHOULD BE USED.

DIVISION 01 - GENERAL REQUIREMENTS

11113.A: WORK COVERED BY CONTRACT DOCUMENTS-GROUPING OF SPECIFICATIONS INTO DIVISIONS IS NOT INTENDED TO DELINEATE DIVISIONS OF TRADES UNDER THE

FURNISH TEMPORARY PROTECTION, BARRICADES, LIGHTS, SIGNALS, AND OTHER PROTECTION REQUIRED BY STATE OR LOCAL LAWS AND ORDINANCES DURING CONSTRUCTION

PROVIDE PROPER STORAGE FOR ALL MATERIALS AND EQUIPMENT. VERIFY SITE ACCESS, STORAGE AND PARKING AREAS WITH OWNER AND WITH AUTHORITIES OF

SUBSTITUTIONS OF SPECIFIED PRODUCTS WILL BE CONSIDERED ONLY UPON SUBMISSION OF PROOF OF EQUIVALENCY; THE OWNER'S DECISION AS TO EQUIVALENCY THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROPER FIT, PERFORMANCE.

ADDITIONAL WORK, COORDINATION, AND EXPENSE RESULTING FROM SUBSTITUTION. 13300.A: WHERE SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT LITERATURE. OR SAMPLES ARE REQUIRED, PROVIDE SUFFICIENT COPIES FOR ARCHITECT'S AND OWNER'S RECORDS, IN ADDITION TO COPIES REQUIRED FOR CONTRACTOR'S RECORD AND

DISTRIBUTION. ALL SUBMITTALS WILL BE MARKED WITH THE APPROPRIATE ACTION BEFORE 14113.A: ALL WORK SHALL CONFORM TO REQUIREMENTS OF 2018 EDITION OF INTERNATIONAL RESIDENTIAL CODE; NATIONAL STANDARD PLUMBING CODE ILLUSTRATED;

NATIONAL ELECTRICAL CODE; AND ALL OTHER GOVERNING AGENCIES AND/OR AUTHORITIES

AND/OR CODES HAVING JURISDICTION. 14213.A: PLEASE SEE THE BIDDING DOCUMENTS FOR A LISTING OF ABBREVIATIONS AND ACRONYMS USED FOR THIS PROJECT.

ALL PRODUCTS SPECIFIED SHALL BE DELIVERED, STORED, AND INSTALLED AS RECOMMENDED BY THEIR MANUFACTURERS IN A MANNER WHICH WILL NOT VOID THE PRODUCT WARRANTIES

17323.A: PROPERLY SHORE, ANCHOR, AND BRACE ALL PORTIONS OF EXISTING STRUCTURES TO REMAIN DURING DEMOLITION.

CUTTING AND PATCHING-PATCH AND REPAIR ANY AREAS DISTURBED BY CONSTRUCTION TO MATCH ADJACENT SURFACES.

UNLESS ITEMS ARE IDENTIFIED TO BE SALVAGED AND TURNED OVER TO OWNER, DISPOSE OF ALL DEMOLISHED MATERIALS IN A LAWFUL MANNER OFF SITE. DELIVER SALVAGED ITEMS IN UNDAMAGED CONDITION TO LOCATION AS REQUESTED BY OWNER.

DIVISION 02 - EXISTING CONDITIONS (NO WORK SPECIFIED)

32100.A: PROVIDE CONCRETE FOUNDATION REINFORCEMENT AS REQUIRED BY CODE (INCLUDING SECTION R404.1.33.7 "REINFORCEMENT" IN 2015 IRC). FURTHER, FOR CONCRETE FOUNDATION WALLS 10" THICK OR MORE, PROVIDE TWO (2) LAYERS OF REINFORCEMENT PARALLEL TO THE FACES OF THE WALL. PROVIDE A MINIMUM OF 3/4" CONCRETE COVER OVER REINFORCEMENT ON WALLS WHEN CONCRETE IS NOT EXPOSED TO GROUND OR WEATHER AND A MINIMUM OF 1-1/2" CONCRETE COVER OVER REINFORCEMENT ON WALLS WHEN CONCRETE IS EXPOSED TO GROUND OR WEATHER.

PROVIDE #4 BARS SPACED NOT MORE THAN 18" O.C. (MINIMUM RATIO OF VERTICAL REINFORCEMENT TO GROSS CONCRETE ARES: 0.0012. MINIMUM RATIO OF HORIZONTAL REINFORCEMENT TO GROSS CONCRETE ARES: 0.0020)

32100.C: REINFORCE ALL CONCRETE WALL OPENINGS AT DOORS AND WINDOWS WITH A MINIMUM OF (2) #5 BARS EXTENDING A MINIMUM OF 24" BEYOND THE CORNERS OF THE

32100.D: PROVIDE BENT, CONTINIOUS REINFORCEMENT AT CORNERS AND WALL INTERSECTIONS FOR STRUCTURAL CONTINUITY.

TIE FOUNDATION WALL TO FOOTING WITH DOWEL BARS BENT IN ALTERNATE DIRECTIONS.

VERTICAL REINFORCEMENT SHALL HAVE A MINIMUM YIELD STRENGTH OF

REINFORCING: BARS, ASTM A 615, GRADE 60 (NEW BILLET STEEL); WELDED WIRE FABRIC, ASTM A 185. LAP FABRIC ONE FULL MESH; LAP ALL BAR SPLICES 30 X

33000.A: COMPLY WITH APPLICABLE REQUIREMENTS OF ACI 301 AND 318. FOR READY-MIX CONCRETE COMPLY WITH ASTM C 94. IN HOT WEATHER COMPLY WITH ACI 305; IN COLD WEATHER COMPLY WITH ACI 306. FOR FORMWORK COMPLY WITH ACI 347.

33000.B: ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND ON VIRGIN SOIL.

PROVIDE STONE-AGGREGATE 3000 PSI CONCRETE FOR FOUNDATION WALLS AND FOOTINGS AND 3500 PSI CONCRETE FOR ALL SLABS ON GRADE. PROVIDE AIR-ENTRAINED CONCRETE (4% TO 6%). BROOM-FINISHED, FOR ALL EXTERIOR CONCRETE ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE PROHIBITED. AGGREGATE SIZE SHALL BE 1" MAXIMUM, AND SLUMP SHALL BE 4" MAXIMUM. PROVIDE WATER-REDUCING ADMIXTURE PER MANUFACTURER'S RECOMMENDATIONS IN ALL CONCRETE EXCEPT FOOTINGS.

33000.D: EXCEPT WHERE OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK CONCRETE REINFORCED WITH 6" X 6" - W1.4/W1.4 WWF OVER 10-MIL POLYETHYLENE AND 4" WASHED GRAVEL. PROVIDE 2" X 24" CONTINUOUS EXTRUDED POLYSTYRENE PERIMETER. INSULATION AT EXTERIOR EDGE OF INTERIOR SLABS

33000.E: TROWEL SLABS TO LEVEL TOLERANCE OF 1/8" IN 10'

DIVISION 04 - MASONRY (NO WORK SPECIFIED)

DIVISION 05 - METALS

PROVIDE LINTELS AT ALL REQUIRED MASONRY/CONCRETE OPENINGS FOR EACH 4" THICKNESS OF MASONRY ACCORDING TO THE FOLLOWING SCHEDULE OF OPENINGS

< 4' 4" X 3-1/2"X 5/16" OR 8" PRECAST W/ #3 T.&B. 4'-6' 5" X 3-1/2"X 5/16" OR 8" PRECAST W/ #4 T.&B.

PROVIDE 5" BEARING X 16" MINIMUM DEPTH OF BRICK OR 100% SOLID OR GROUTED MASONRY BELOW ALL STEEL LINTELS; 8" BEARING X 16" SOLID BELOW MASONRY LINTELS. SEE DRAWINGS FOR OPENING LOCATIONS. PROVIDE PROPER SHORING BEFORE INSTALLING LINTELS AT NEW OPENINGS IN EXISTING MASONRY WALLS.

51200.A: CONFORM TO APPLICABLE REQUIREMENTS OF THE AISC "SPECIFICATION FOR

THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," 8TH EDITION AND SUPPLEMENTS; AND AISC "CODE OF STANDARD PRACTICE FOR STEEL

51200 B: ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A 36, FB=36,000 PSI. ALL STEEL PIPE SHALL CONFORM TO ASTM A 501, FB=36,000 PSI.

51200.C: ALL STEEL SHALL BE SHOP PRIMED; EXCEPT STEEL EXPOSED TO EXTERIOR. WHICH SHALL BE GALVANIZED. TOUCH UP ALL DAMAGED AREAS AFTER ERECTION.

DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES

61000.A: STRUCTURAL LUMBER (EXCEPT STUDS AND PLATES): NORTHERN (CANADIAN) S-P-F #2 OR BETTER; FB = 1050 PSI (FOR 2 X 10, REPETITIVE USES); E = 1,400,000 PSI. LUMBER FOR STUDS AND PLATES: S-P-F STUD OR BETTER; FB = 740 PSI; E = 1,200,000 PSI. (19% MAXIMUM MOISTURE CONTENT, S4S.)

61000.B: ALL LUMBER IN CONTACT WITH EARTH, MASONRY, OR CONCRETE SHALL BE PRESSURE-TREATED SOUTHERN PINE.

61000.C: SPIKE ALL MULTIPLE HEADERS TOGETHER WITH MINIMUM 16D NAILS AT 18" O.C. STAGGERED.

61000.D: ALL LINTELS IN WOOD FRAMING SHALL BE MINIMUM OF (2) 2 X 10S (UNLESS NOTED OTHERWISE)

61000.E: WHERE SIZES OF FRAMING LUMBER ARE NOTED, PROVIDE NOMINAL SIZES (INCHES ARE ASSUMED): I.E., 2 X 4 NOMINAL = 1-1/2" X 3-1/2" ACTUAL, ETC.

61000.F: PROVIDE METAL FASTENERS AS NOTED AND APPROPRIATE FOR JOINT CONDITIONS. GLUE-NAIL SUBFLOORING. STAPLE OR NAIL SHEATHING AND UNDERLAYMENT.

61000.G: JOISTS 2 X 10 OR GREATER SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL), OR 1 X 3" BRIDGING NAILED TO THE BOTTOM OF THE JOISTS AT INTERVALS NOT EXCEEDING 10 FEET.

61600.A: ALL PLYWOOD SHALL BE GRADE STAMPED. SUBFLOOR, WALL AND ROOF SHEATHING: APA RATED SHEATHING, SQUARE EDGE, THICKNESS NOTED. COMBINATION SUBFLOOR- UNDERLAYMENT: APA RATED STURD-I-FLOOR, T&G EDGE. UNDERLAYMENT: APA UNDERLAYMENT EXT. CERAMIC TILE CEMENTITIOUS UNDERLAYMENT AND WALL BACKER UNITS ARE SPECIFIED IN DIVISION 9. BUILDING PAPER: #15 FELT, ASPHALT IMPREGNATED. AIR INFILTRATION BARRIER: DUPONT "TYVEK". SILL SEALER GASKET: 1" FIBERGLASS. INSTALL AND CONNECT IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.

61600.B: FOR PLYWOOD 1/2" IN THICKNESS AND LESS, USE "H" CLIPS AT MIDPOINT FOR

61600.C: INSTALL DOUBLE STUD EACH END ALL WOOD BEAMS OR LINTELS UNLESS NOTED OTHERWISE.

61600.D: ATTACH WOOD SILL PLATES, ETC., TO CONCRETE SLABS WITH POWER-ACTUATED FASTENERS UNLESS NOTED OTHERWISE. SPACE FASTENERS AT 2'-0" O.C. MAX. STAGGERED. MINIMUM CAPACITY OF EACH FASTENER SHALL BE 100 POUNDS IN SHEAR AND PULLOUT, UNLESS NOTED OTHERWISE.

61600.E: NO OPENINGS IN BEAMS OR JOISTS SHALL BE CUT WITHOUT WRITTEN

61700.A: PREFABRICATED WOOD I-BEAM JOISTS AND LAMINATED HEADERS AND BEAMS SHALL BE MANUFACTURED BY WEYHAUSER NR COMPANY, TYPES AND SIZES AS NOTED

61753.A: WOOD TRUSSES SHALL BE FURNISHED BY AN APPROVED LICENSED FABRICATOR IN ACCORDANCE WITH COMPLETE SHOP DRAWINGS PREFARED BY A MARYLAND-REGISTERED ENGINEER. SUBMIT SHOP DRAWINGS TO THE OWNER FOR REVIEW PRIOR TO FABRICATION. REPRINTS OF CONTRACT DRAWINGS ARE NOT ACCEPTABLE. ALL TRUSSES SHALL BE STAMPED AND CERTIFIED. ALL HANDLING, ERECTING AND FIXING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS NOTED ON THE

62013.A: ALL INTERIOR STANDING AND RUNNING TRIM SHALL BE PAINT-GRADE PINE, WITH PROFILES TO MATCH EXISTING TRIM.

62023.A: ALL EXTERIOR MILLWORK SHALL BE DOUGLAS FIR, HEMLOCK, OR RED CEDAR,

64300.A: PROVIDE PRESSURE-TREATED WOOD STAIRS COMPLETE IN ALL RESPECTS. INCLUDING 5/4 TREADS, 4/4 RISERS, STRINGERS, NEWELS, BALUSTERS, AND HANDRAILS, WITH ALL REQUIRED TRANSITION COMPONENTS. ALL HANDRAILS AT STAIRS (UNLESS INDICATED TO THE CONTRARY) SHALL BE 3'-0" ABOVE NOSE OF STAIR TREAD, FASTENED TO WALL (WHERE PRESENT) WITH BRACKETS PROVIDING 1-1/2" CLEARANCE BETWEEN RAIL AND WALL. GUARDRAILS AT LANDINGS SHALL BE 3'-0" HIGH. AT OPEN RAIL CONDITIONS, PROVIDE INTERMEDIATE BALUSTERS SO THAT THE MAXIMUM DISTANCE BETWEEN BALUSTERS SHALL

65300.A: PROVIDE EXTERIOR WOOD DECKING AS INDICATED ON DRAWINGS: TREX BRAND, 1X6 PLANKS, COLOR AS SELECTED BY OWNER. PROVIDE MATCHING 1 1/2" PLANKS

66000: PROVIDE PLASTIC FABRICATIONS AS SHOWN ON DRAWINGS AS MANUFACTURED BY

66300.A: PROVIDE VINYL RAILINGS AND PICKETS AS INDICATED ON DRAWINGS. ALL HANDRAILS SHALL BE 3'-0" ABOVE DECK SURFACE. MAXIMUM DISTANCE BETWEEN

DIVISION 07 - THERMAL & MOISTURE PROTECTION

PROVIDE WATERPROOFING (TREMPROOF 60 OR ACCEPTABLE EQUIVALENT) APPLIED TO EXTERIOR SURFACES OF NEW BASEMENT SPACES. PROVIDE GEOTECH INSULATED DRAINAGE PANELS 1-1/2" THICK AS PROTECTION AND DRAINAGE COURSE FOR WATERPROOFING. BACKFILL IN ACCORDANCE WITH DIVISION 31.

72000.A: INSULATION: FOIL-FACED FIBERGLASS BATTS, R-VALUE AS NOTED. STAPLE TO WOOD FRAMING WITH VAPOR BARRIER FACING INTERIOR OF BUILDING. WHERE FACING WILL NOT BE IN DIRECT CONTACT WITH WALL OR CEILING FINISH BOARDS, PROVIDE FACING WITH FLAME SPREAD OF 25 OR LESS. WHERE INSULATION WILL BE IN CONTACT WITH THE UNDERSIDE OF ROOF SHEATHING, PROVIDE POLYSTYRENE BAFFLES TO MAINTAIN VENTILATION. RIGID INSULATION: CLOSED-CELL EXTRUDED POLYSTYRENE COMPLYING WITH FS HH-1-524 TYPE IV, 20 PSI COMPRESSIVE STRENGTHS, AGED K-VALUE OF 0.20, 1.1 PERM-INCH MAX. . VAPOR RATING, 0.3% MAX. WATER ABSORPTION.

72500: PROVIDE WEATHER BARRIERS (I.E. TYVEK HOUSEWRAP) IN AREAS AS REQUIRED AND

72000.A: IN ADDITION TO ROOFER'S FELT, PROVIDE GAF "STORMGUARD" OR EQUAL WEATHER-RESISTANT UNDERLAYMENT AT EAVES AND VALLEYS.

73113.A: ALL COMPOSITION SHINGLES SHALL BE 30-YEAR "TIMBERLINE" CLASS A FIBERGLASS, AS MANUFACTURED BY GAF, OR ACCEPTABLE EQUIVALENT. COLOR TO MATCH

74113.A: STANDING SEAM METAL ROOF SHALL BE ATAS (OR EQUAL), 11" WIDE PANELS, 0.040 ALUMINUM; COLOR AND FINISH AS SELECTED BY OWNER.

74600.A: VINYL SIDING AND SOFFIT SYSTEMS SHALL BE AS MANUFACTURED BY HEARTLAND BUILDING PRODUCTS, INC., OR ACCEPTABLE EQUIVALENT. PROVIDE ALL REQUIRED TRIM, FLASHINGS, SUPPORTS, AND FASTENERS. COLOR & PROFILE TO MATCH

77123.A: ALUMINUM GUTTERS AND DOWNSPOUTS COLOR SHALL AS SELECTED BY OWNER. PROVIDE PRECAST CONCRETE SPLASH BLOCKS.

77226.A: PROVIDE GAF "COBRAVENT" OR EQUAL VENTILATING UNDERLAYMENT BELOW RIDGE SHINGLES.

77226: PROVIDE RIDGE VENTS AT ALL NEW ROOF PEAKS.

METAL FLASHING SHALL BE PREFINISHED STAINLESS STEEL, MINIMUM 26

SEALANTS: SEAL ALL JOINTS AROUND EXTERIOR OPENINGS AT DOORS, WINDOWS, AND SIDEWALKS: SEAL CONTROL AND EXPANSION JOINTS IN INTERIOR AND EXTERIOR WALLS (USE ONE-PART SILICONE SEALANT). WHERE EXPOSED, SEAL INTERIOR JOINTS BETWEEN WALLS AND DOOR AND WINDOW FRAMING (USE ACRYLIC SEALANT). WHERE NOT PAINTABLE, SEALANT COLOR SHALL BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARDS.

81113.A: EXTERIOR ACCESS DOOR SHALL BE PRE-HUNG, NINE-LITE TWO-PANEL DOOR AS MANUFACTURED BY THERMA-TRU OR ACCEPTABLE EQUAL.

81400.A: ALL INTERIOR WOOD DOORS SHALL BE PRE-HUNG HOLLOW CORE, PAINT GRADE, FACED WITH SIX-PANEL DOOR FACINGS AS MANUFACTURED BY MASONITE OR ACCEPTABLE EQUAL, IN ACCORDANCE WITH ANSI/AHA 135.4. UNDERCUT ALL BATHROOM DOORS 3/4". PROVIDE PLAIN-BEARING MORTISED HINGES AND PRIVACY LATCHES WITH ALL DOORS. (PASSAGE LATCHES FOR CLOSET DOORS).

83116.A: CRAWL SPACE ACCESS PANELS SHALL BE CAST ALUMINUM, 20" X 32". SEE DRAWINGS FOR LOCATION.

WOOD WINDOWS AND EXTERIOR PATIO DOORS SHALL BE ANDERSEN 400 SERIES WINDOWS, OR ACCEPTABLE EQUIVALENT, WITH VINYL-CLAD EXTERIOR PREFINISH, LOW-EMISSIVITY INSULATED GLASS, REMOVABLE SCREENS AND GRILLES BETWEEN THE GLASS. PROVIDE FALL PROTECTION WHERE REQUIRED BY CODE.

PROVIDE FINISH HARDWARE AS APPROPRIATE. ALL HINGES SHALL BE PLAIN-BEARING TYPE. ALL LOCKS SHALL BE SCHLAGE, OR ACCEPTABLE EQUIVALENT TO MATCH EXISTING.

PROVIDE TEMPERED GLASS WHERE SAFETY GLAZING IS REQUIRED. 89000.A: FOUNDATION VENTS SHALL BE CAST ALUMINUM, 16" X 8", WITH RODENT

SCREENS. **DIVISION 09 - FINISHES**

92116.A: GYPSUM DRYWALL (GPDW): ASTM C 840. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS. THICKNESS: 1/2" UNLESS NOTED OTHERWISE, SCREWED TO

93000.A: TILE WORK: ANSI A137.1. REFERENCE TILE COUNCIL OF AMERICA "HANDBOOK FOR CERAMIC TILE INSTALLATION", CURRENT EDITION. PROVIDE SUBSTRATE OF GLASS-MESH MORTAR UNITS WHERE RECOMMENDED. PROVIDE PRODUCTS IN COLOR. STYLE, AND SIZE AS SELECTED BY OWNER, PROVIDE MORTAR COLORS AS SELECTED BY

96433.A: PROVIDE HARDWOOD STRIP & PLANK FLOORING, AS SELECTED BY OWNER. PROVIDE STANDARD RANDOM-LENGTH STRIPS COMPLYING WITH APPLICABLE GRADING RULES. PROVIDE MANUFACTURER'S COLOR CHARTS SHOWING THE FULL RANGE OF COLORS & FINISHES FOR OWNER'S SELECTION.

96816.A: PROVIDE CARPET WITH PADDING IN AREAS NOTED.

PAINT COLORS SHALL BE AS SELECTED BY OWNER FROM MANUFACTURER'S STANDARDS. REFERENCE STANDARD: SHERWIN-WILLIAMS "PAINTING SYSTEMS FOR SPECIFIERS AND APPLICATORS." WHERE NOTED PAINT EXPOSED CMU WITH SURFACE FILLER AND 2 COATS LATEX SEMI-GLOSS PAINT.

99123.A: SEAL ALL GPDW AND PAINT WITH 2 COATS LATEX SATIN PAINT. REPAIR SHOP PRIMING (PRIME GALVANIZED METALS WITH "GALVITE") AND PAINT ALL EXPOSED METALS (EXCEPT PREFINISHED) WITH 2 COATS SILICONE ALKYD ENAMEL.

99313.A: PAINT ALL EXTERIOR WOOD, EXCEPT ALL DECK/PORCH FRAMING & PRESSURE-TREATED WOOD, WITH WOOD PRIMER AND 2 COATS LATEX GLOSS PAINT.

99323.A: PAINT ALL INTERIOR WOOD AND APPLY 2 COATS LATEX SEMI-GLOSS PAINT.

DIVISION 10 - SPECIALTIES (NO WORK SPECIFIED)

113100.A: PROVIDE LAUNDRY APPLIANCES AS SELECTED BY OWNER, MANUFACTURED BY GENERAL ELECTRIC, OR EQUAL, PROVIDE SAFE PAN FOR WASHER.

123000.A: PROVIDE CABINETS AS SELECTED BY OWNER, (WITH QUARTZ/GRANITE/LAMINATE COUNTERTOPS-COLOR AS SELECTED BY OWNER). PROVIDE ACCESSORY MATERIALS TO COMPLY WITH REQUIREMENTS INDICATED FOR DESIGN. MATERIAL, FINISH, MANUFACTURER, ETC. INSTALL PREFABRICATED COUNTERTOPS AND CABINETS PLUMB, LEVEL AND STRAIGHT WITH NO DISTORTION. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT CABINETS AND COUNTERTOPS TO FIT ADJOINING WORK. ANCHOR CABINETS TO BLOCKING OR DIRECTLY TO SUBSTRATES, USING CONCEALED

125000.A: ALL FURNITURE WILL BE SUPPLIED AND INSTALLED BY OWNER.

DIVISION 13 - SPECIAL CONSTRUCTION (NO WORK SPECIFIED) DIVISION 14 - CONVEYING EQUIPMENT (NO WORK SPECIFIED) DIVISIONS 15-20 -RESERVED (NO WORK SPECIFIED)

211300.A: PROVIDE RESIDENTIAL SPRINKLER SYSTEM AS REQUIRED BY CODE COMPLETE WITH ALL REQUIRED CONNECTIONS, SUPPORTS, FASTENERS, AND ACCESSORIES.

ALL OTHER FIRE SUPPRESSION WORK SHALL BE DESIGN-BUILD BY CONTRACTOR.

ALL OTHER PLUMBING WORK SHALL BE DESIGN-BUILD BY CONTRACTOR.

DIVISION 23- HEATING, VENTILATION, AND AIR CONDITIONING ALL HVAC DESIGN & WORK SHALL BE DESIGN-BUILD BY CONTRACTOR.

DIVISION 24- RESERVED (NO WORK SPECIFIED)

DIVISION 25- INTEGRATED AUTOMATION (NO WORK SPECIFIED)

265000.A: PROVIDE CONVENIENCE RECEPTACLES, LIGHTING CONNECTIONS, AND SWITCHES AS REQUIRED BY CODE AND DIRECTED BY OWNER.

265000.B: COORDINATE POWER CONNECTIONS FOR ALL REQUIRED HVAC AND PLUMBING EQUIPMENT WITH MECHANICAL CONTRACTOR(S).

265553.A: SECURITY LIGHTING- PROVIDE ONE FLOOD LIGHT WITH MOTION-SENSOR ON FRONT GABLE OF ADDITION.

ALL OTHER ELECTRICAL WORK SHALL BE DESIGN-BUILD BY CONTRACTOR. **DIVISION 27- COMMUNICATIONS**

270513.A: PROVIDE CABLE, PHONE, DSL, ETC. IN LOCATIONS AS DIRECTED BY OWNER. DIVISION 28- ELECTRONIC SAFETY AND SECURITY (NO WORK SPECIFIED)

283146.A: PROVIDE SMOKE DETECTORS WITH SEALED-IN TEN-YEAR LONG LIFE BATTERIES, IN LOCATIONS REQUIRED BY CODE.

283149.A: PROVIDE CARBON MONOXIDE DETECTORS WITH BATTERY BACKUP, IN LOCATIONS REQUIRED BY CODE

DIVISION 29- RESERVED (NO WORK SPECIFIED) DIVISION 30- RESERVED (NO WORK SPECIFIED)

311300.A: DO NOT REMOVE ANY TREE(S) WITHOUT THE SPECIFIC PERMISSION OF THE OWNER TO REMOVE SAID TREE(S). ALL TREES SHALL BE FULLY PROTECTED DURING

312300.A: EXCAVATE FOR FOOTINGS, FOUNDATIONS AND CONCRETE SLABS. MATERIALS TO BE EXCAVATED ARE ASSUMED TO BE EARTH AND OTHER MATERIALS THAT MAY BE REMOVED WITH A POWER SHOVEL. THE OWNER SHALL NOT BE RESPONSIBLE FOR VARIATIONS OF SUB-SOIL QUALITY OR CONDITIONS NOT ANTICIPATED.

312300.B: BACKFILL EXCAVATION WITH CLEAN EARTH, IN 8" LAYERS, WITH EACH LAYER MPACTED SOLIDLY TO 95% MAXIMUM DRY DENSITY (AASHTO T-180) TO PROVIDE STABILITY OF THE FINISHED GRADE. BACKFILL SHALL BE FREE OF ORGANIC MATERIAL. CONSTRUCTION DEBRIS, COBBLES, OR BOULDERS.

312300.C: ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET SOIL BEARING

TAKE ALL NECESSARY PRECAUTIONS TO PROPERLY UNDERPIN, SHORE, AND BRACE EXISTING CONSTRUCTION WHERE NEW CONSTRUCTION ABUTS EXISTING. 312300.E: THE SITE, IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AT

A MINIMUM OF 1/20 AWAY FROM THE BUILDING FOR A MINIMUM RUN OF TEN FEET. 314000.A: SHORE AND BRACE EXCAVATION. IF NECESSARY PROVIDE SHEET PILING, BRACING, OR SHORING TO CONDUCT WORK SAFELY, PREVENT CAVE-INS, RETAIN

EXCAVATION AND PROTECT ADJACENT PROPERTIES. DIVISION 32- EXTERIOR IMPROVEMENTS (NO WORK SPECIFIED)

DIVISIONS 40-49 (NO WORK SPECIFIED)

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT

FLOOR

R-49 R20 OR 13+5 8/13 R-19 R-10 CONTINUOUS R-10, 2FT R-10 CONTINUOUS

FENESTRATION R-VALUE FRAME WALL R-VALUE R-VALUE R-VALUE & DEPTH R-VALUE

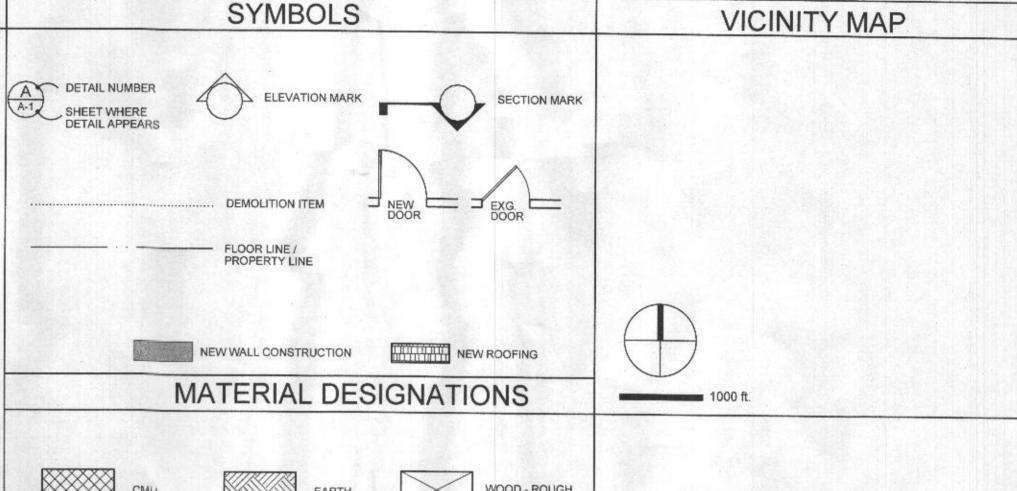
WALL R-VALUE WALL

CEILING FRAME WALL WALL

330000.A: NOTIFY PARTIES OWNING UTILITIES WHICH WILL INTERFERE WITH THE EXECUTION OF THE WORK TO REMOVE OR RELOCATE THEM. IN THE EVENT THAT COSTS OF SUCH REMOVALS OR RELOCATIONS ARE NOT BORNE BY THESE PARTIES, SUCH COSTS SHALL BE PAID BY THE OWNER. EXERCISE PROPER CARE WHEN EXCAVATING TO AVOID DAMAGE TO EXISTING UTILITIES. NOTIFY "MISS UTILITY" AT 800-257-7777 3 WORKING DAYS PRIOR TO BEGINNING WORK IN THE VICINITY OF EXISTING UTILITIES.

334613.A: PROVIDE CORRUGATED DRAIN PIPE (ASTM D 2729) FOR FOUNDATION DEAINAGE; PIPE TO DAYLIGHT WITH SCREENED COVER.

DIVISION 34- TRANSPORTATION (NO WORK SPECIFIED) DIVISION 35- WATERWAY AND MARINE CONSTRUCTION (NO WORK SPECIFIED) DIVISION 36- RESERVED (NO WORK) DIVISION 37- RESERVED (NO WORK SPECIFIED) DIVISION 38- RESERVED (NO WORK SPECIFIED) DIVISION 39- RESERVED (NO WORK SPECIFIED)



		ΔΕ	BBREV	ΙΔΤΙ	ONS		76	
		- 93 (0)		IATI	ONS			
A.B.('S)	angle anchor bolt (s) above	E E.E. E.F.	each end each face	MAS MATL	masonry material(s)	SGFT	structural glazed ahelf	
A/C	air conditioning	E.J.	expansion joint	MAX MBR	maximum member	SHLVG	shelving	
AC	acoustical	ELEC	electric(al)	M.C.	medicine cabinet	SHLVS	shelves sheet	
AC.T ACC	acoustical tile access	ELEVR	elevation elevator	MCJ	masonry control	SIM	similar	
ACOM.	accommodate	EMER	emergency	M.D.O.	joint medium density	SIMU	simulated	
ADD	addition(al)	ENC	anclose(ure)		overlay	SLDG	sliding smoke detector	
ADH ADJ	adhesive adjacent	ENT	entrance elec pnl	MECH	mechanic(al)	S.M.P.	solid masonry	
ADJT	adjustable	EQ	equa)	MED	medium metal		pier	
AFF	aby fin floor	EQPT	equipment	MH	manhole	S.O.G. SPEC	slab on grade specified,	
AGG	aggregate	EQV	equivalent	MIN	minimum, minute	SPEC	specifications	
ALT	alternate aluminum	EST E.W.	estimate(d) each way	MIR	mirror	SQ.	square	
ANC(G)	anchor(age)	E.W.B.	each way bottom	MISC	miscellaneous molding(ed)	S.S.	service sink	
ANOD	anodized	EWC	electric water	MNFR	molding(ed) manufacturer(s)	S.ST STAG	stainless steel	
AP	access panel		cooler	M.O.	masonry opening	STAT	staggered stationary	
AP'D APX	approved approximate	EXG EXH	existing	MOD	modular	STD	standard	
ARCH	architect(ural)	EXP	exhaust exposed	MRB	marble	STL	steel	
ARND	around	EXPN	expansion	MULL	mounted(ing) mullion	STOR	storage	
ASPH	asphalt	EXT	exterior	MULL	mulion	STRCT	structural suspended	
A.T. AUTO	alum, thr. automatic		19-	N	north	S.W.	short way	
AUTO	automatic	F.A. FAB	fire alarm	NI.C.	not in contract	SYM	symmetry(ical)	
B.BD	base board	FAST(R)	fabricate(d) fasten(er)	NO.		-		
B-FD	bi-folding	F.D.	floor drain	Or# NOM	number nominal	T T&B	tread, or top top and bottom	
BD(S)	board(s)	F.E.	fire extinguisher	NONFRS		T&G	tongue & groove	
BEL	below between	FFE FG	fin fir elev	N.T.S.	not to scale	T.C.	terra cotta	
BIT	bituminous	FIN	fiberglass finish(ed)			T.C.A.	Tile Council of	
BLDG	building	FIXT	fixture	O.A. O.C.	overall	TEL	America telephone	
BLK(G)	block(ing)	FLDG	folding	O.D.	on center(s) outside dimeter	TEMP	tempered or	
ВМ	bench mark, or beam	FLG FLR(G)	flashing flashing	O.H.	overhead	The state of the s	temporary	
BOD	battom of deck	FLUR	floor(ing) fluorescent	0/0	out to out	THK	thick(ness)	
BOT	bottom	FM	Factory Mutual	OPER OPERT	operable operation	THR TKBD	threshold	
BRG BRK	bearing brick	FNDN	foundation	OPER	opening	or TB	tackboard	
BRZ	bronze	F.O.C. F.O.M.	face of concrete face of masonry	OPP	opposite	T.O.M.	top of masonry	
B.S.	both sides	F.O.S.	face of masonry	W	manualla)	T.O.S.	top of steel	
BSMT	basement	F.P.	fireplace	#, or lb. P.A.F.	pound(s) power-actuated	T.O.S.J.	top of steel joist top of wall	
4	centerline	F.R.	fire resistant		fasteners	T.S.	tube steel	
[or C	channel	FRG FS	furring	PAR	parallel	TRANS	transition	
CAB	cabinet	FT or	flame spread foot	PB	pegboard	TYP	typical(ly)	
CANT	cantilever catch basin,	FTG	footing	P.DR P.E.	pocket door	U.G.	underground	
OB	or chalkboard	FX	fixed	PERF	pre-engineered perforated	UDLT	underground underlayment	
CD	clothes dryer			PERI	perimeter	UL	Underwriters'	
CEM	cement(itious)	GA	gage, gauge	PL	property line		Laboratories	
CFT	cubic foot	G.B. GD(G)	grab bar grade, grading	P.LAM	plastic laminate	U.N.O.	unless noted	
CG	corner guard ceiling height	GL	glass, glazing	PLAS	plate plaster	UR	otherwise urinal	
C.H.								

plywood panel

project(ion)

pounds per

pressure treated

patch to match

polyvinyl chloride

R.A.G. return air grill

roof drain

right hand

right of way

solid core

recommendation receptacles

vapor barrie

veneer plaste.

walk in close

water heater

washing machin

waterproof(ing

welded wire

working point

water closet

vinyl wall fabric

grill, grille

horizontal

heating venti-

inform(ation)

INCL(G) include(d)(ing)

L.L.H. long leg horz.

lighting lintel

long leg vertical

control joint

conc. mas. unit

cased opening

continue/vous

drawing drawer

DIVISION

