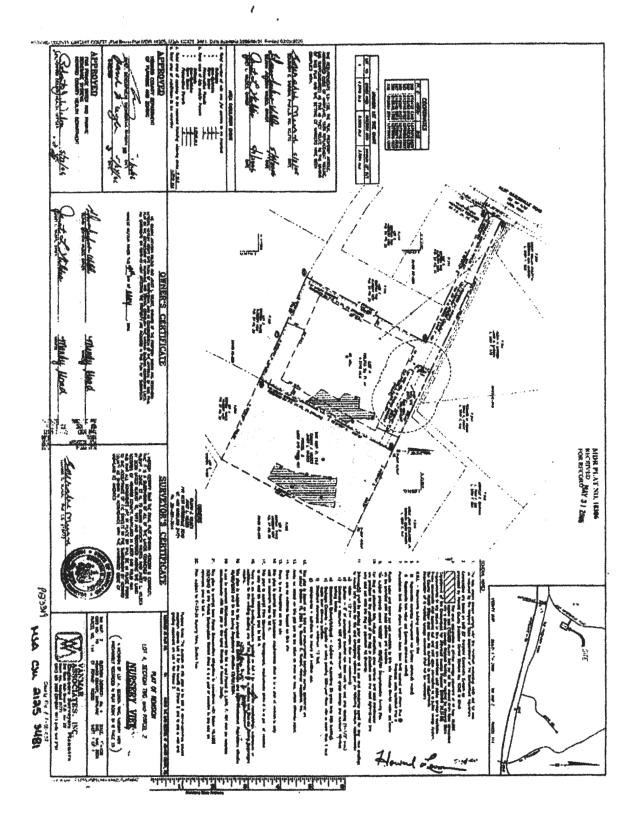
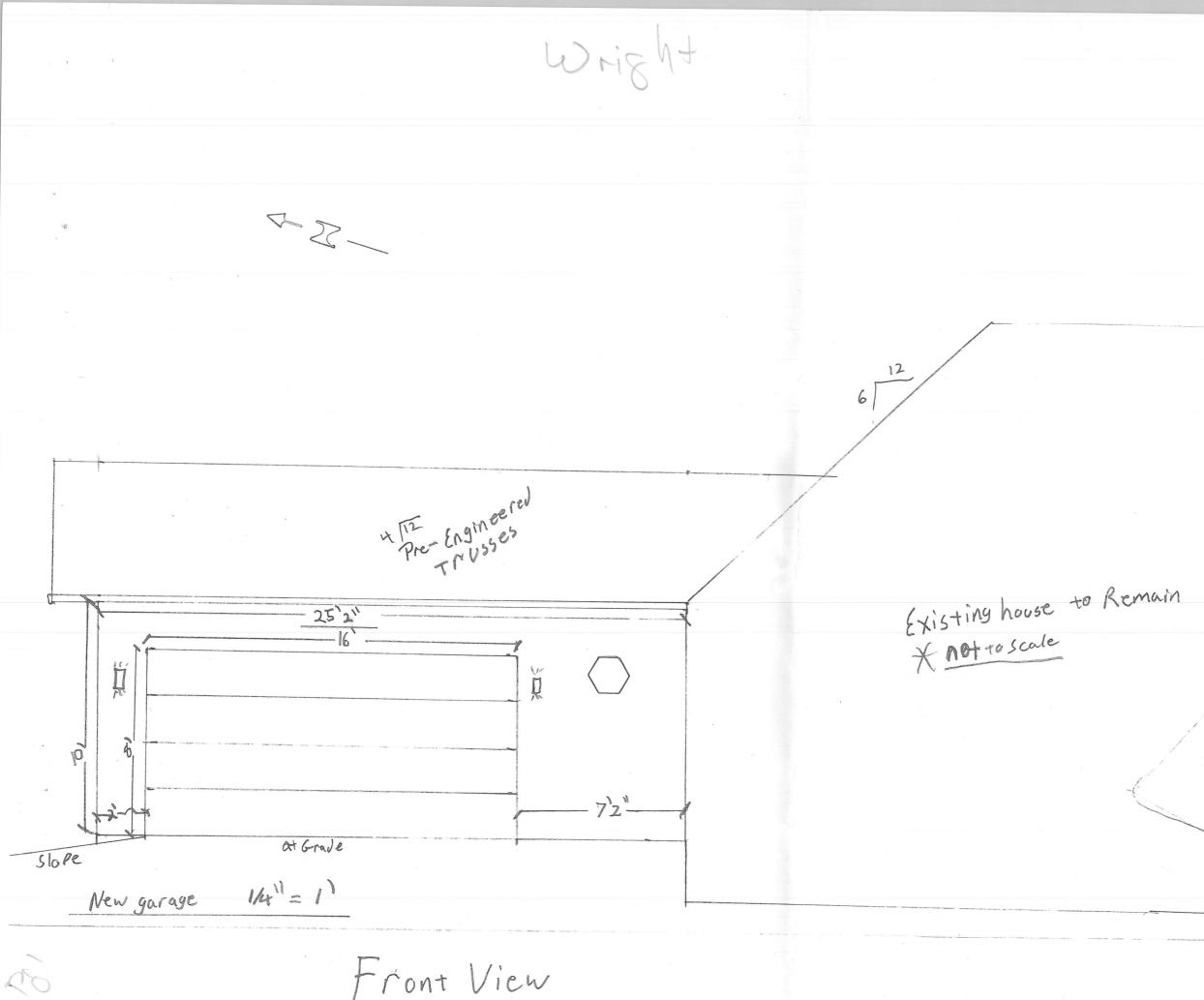
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	,		dcountymd.g					
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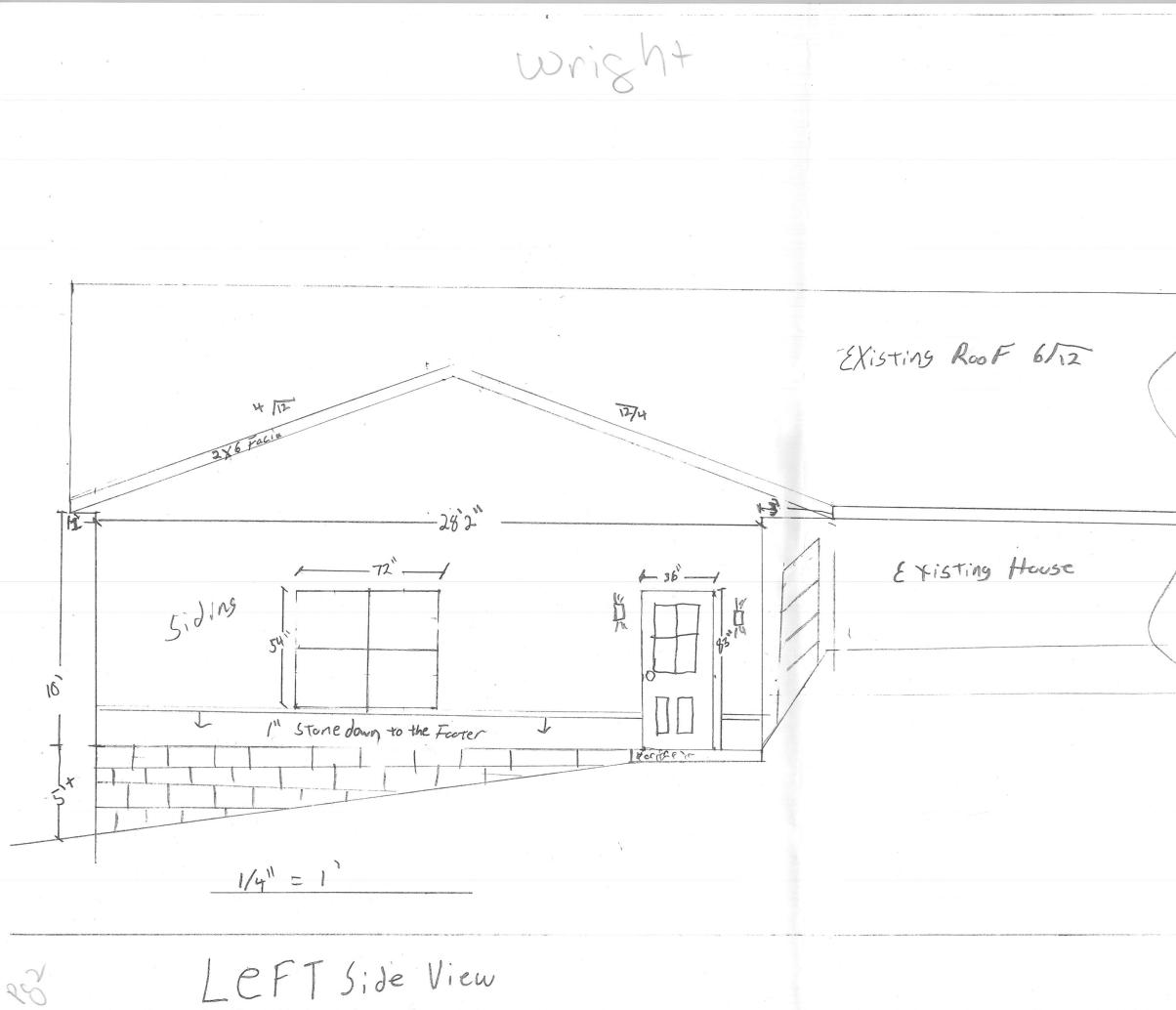


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Propertyline Existing Drain Field/Perk Q-22 North Et isting with 170-41-00 WRIGHT RESIDENCE -197. (a) 715 WEST WATERSVICE Não plus 0 MTAIRY MD 21771 Stope 401 LOT 123 profine 146 +1-TAX MAR 2 28 PARCEL OUF NORSERY VIEW yu 4415119 house 200 178-1/2 TROPERTY LINE gole Exigring 1 - Trope forse barage / Exiging Drivework Slope 120 to pollars SOR Existing 100 + --200 plus Driveway TROPANT LINE of weil ( PROPERTY

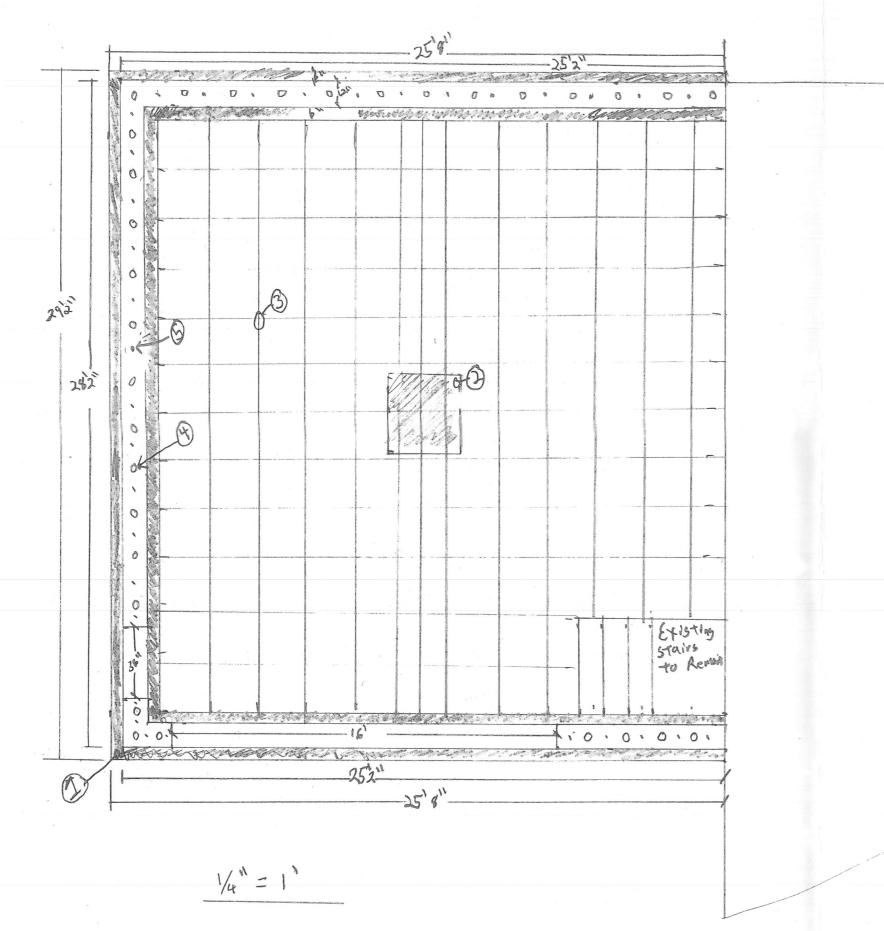


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Wright / Sariboyalin 715 west waters ville Road M+ Airy, MD. 21771 4 The Pre Engineered Trusses 1 " Stone warter table Below window Vinyl Siding and vented Sciffit to march Existing ha ..... SIONAL 10/16/2020

Wright / Saribo yalin wright 715 West Waters Ville Rd M+ A.ry, MD. 21771 Vinyl Siding and vented Soffit to match Expissiog ha 30 year Shingles or greater to March Existing house 4/12 Pre-Engineered Trusses 1216 4/12 +2-Etisting House -25'2"-New Garage 10 SIONAL 10/16/2020 St Existing House Foundation 6× Slope 1/4"=1 REAR View M 20



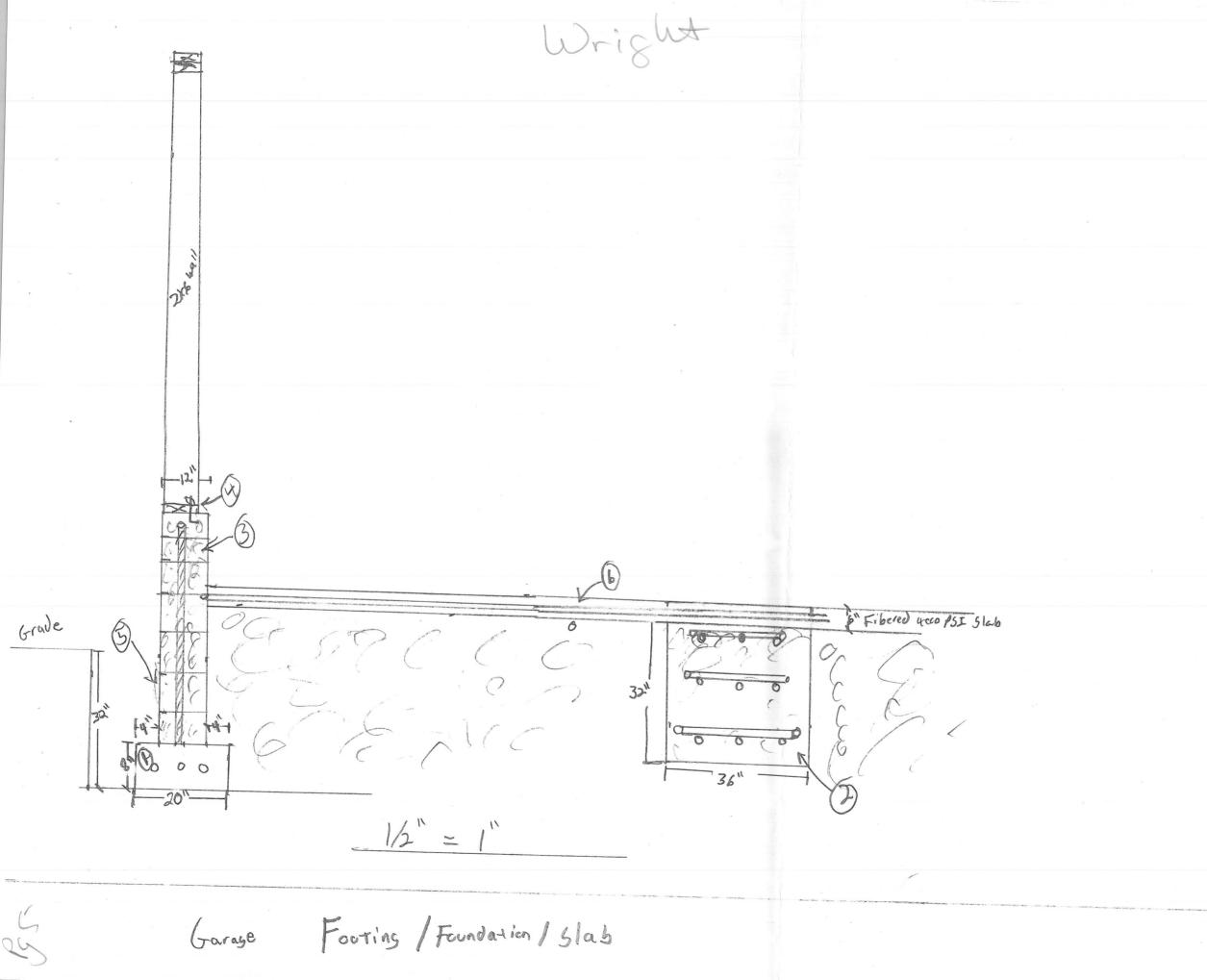
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ExistingHouse

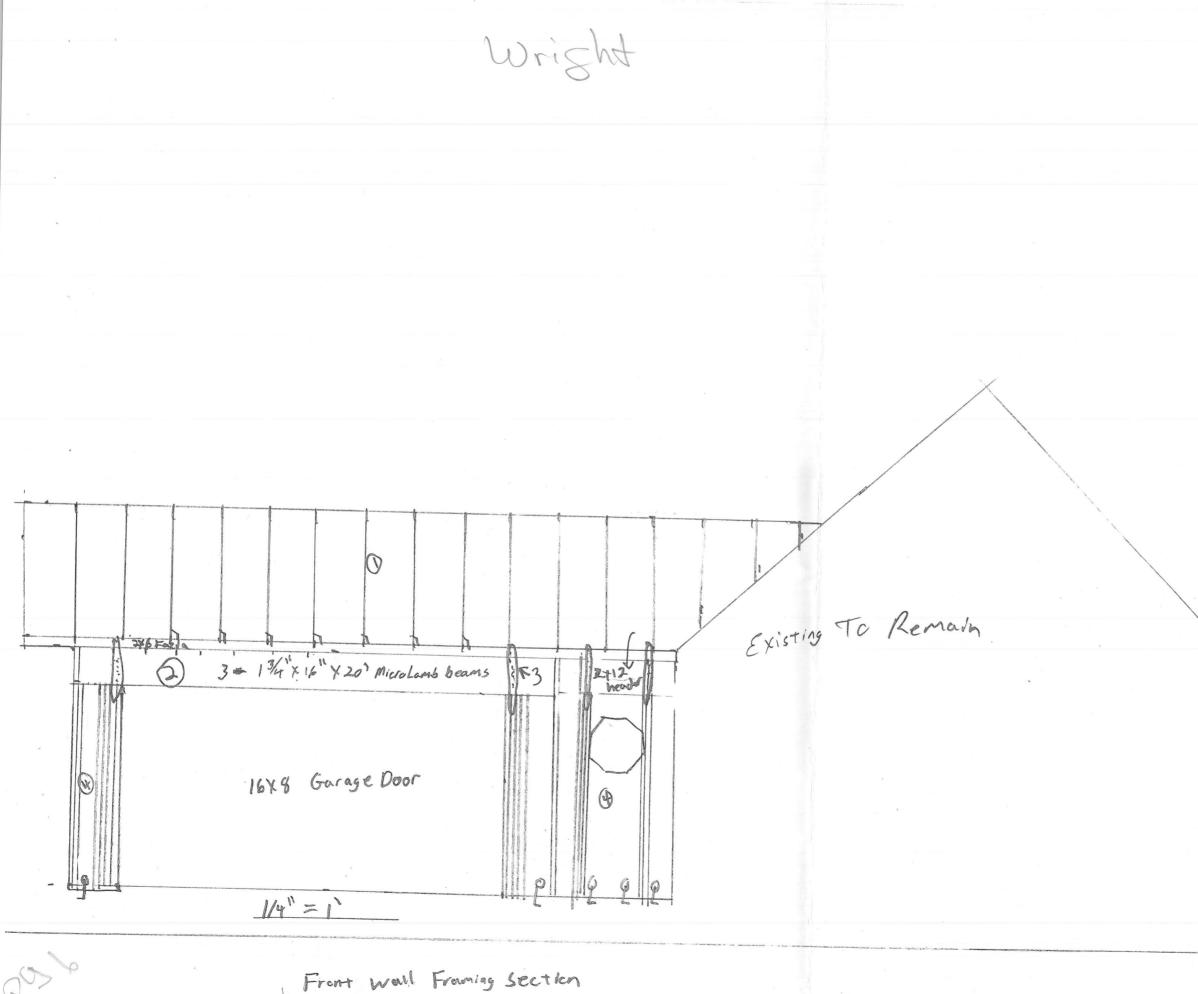
Wright

Foundation and Slab

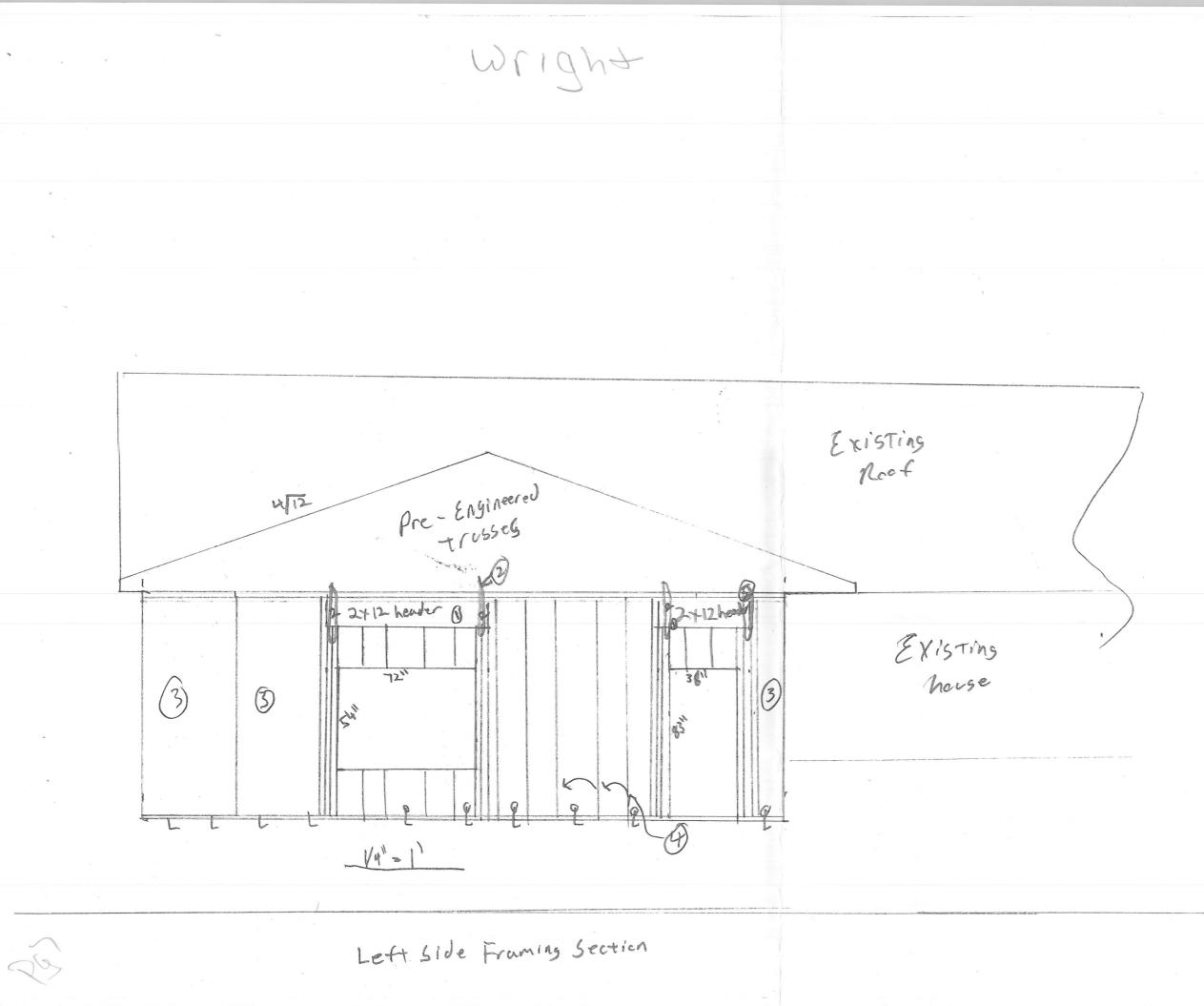
Wright / Sariboyalm 715 West Worters Wille Ra M+ Arry M.D. 21771 D Footer For foundation See Footing Diagram Paye 5 @ 32" x 36" x 36" Solld forthy see sketch on Page 3 #4 Rebarina 2'x2' Grid Pattern with 6" of Fibered concrete @ 7"x 1/2" Wall bolts 5 12" thick Block would filled Solid with vertical #14 Rebur Every other Cell SIONAL 10/16/2028



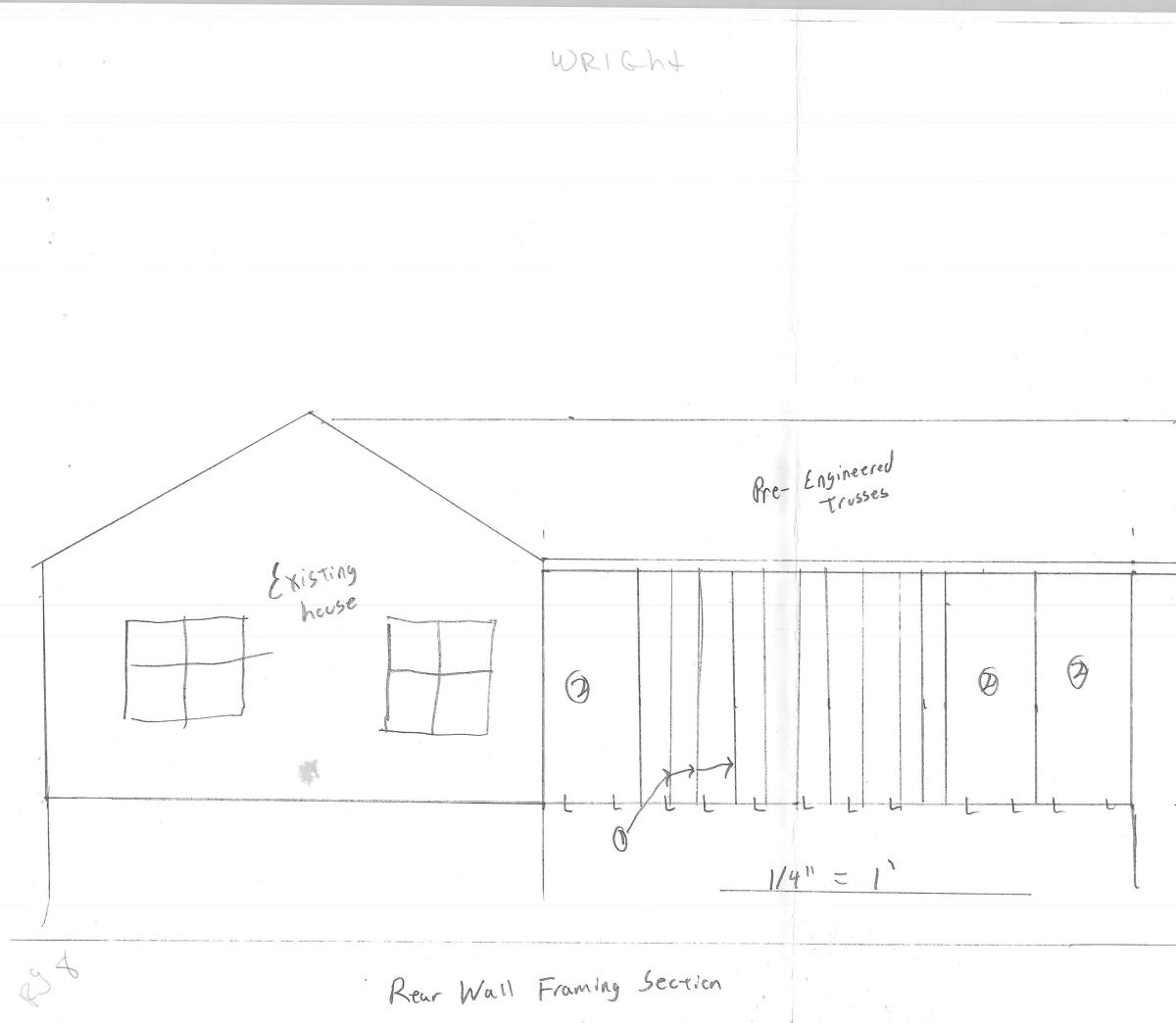
Wright/Saribovalin 715 West Watersville Road M+ Airy, MD. 21771 O Forter is 32" Peer .: 20" Nide by B" + hick with 3 the Rebar Running through 32"Deep +36" ×36" Solid Form With #4 Rebar Grid Every 12" of Pour Derth 3 12" Poured Solid Block with AH Rebar Vertical in Every other Cell @ T"x 1/2" Sill bolts S Foundation Ceating to brade & Concrete Slab 6" Fibered 4000 PSI with Frid on 24" Center "see Page 4" ", ESSIONAL 10/16/2020



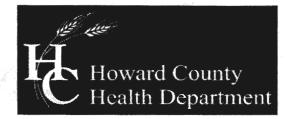
Wright / SariboyaJM 715 West Wates Wille Road Mt Airy, MD. 21771 1) Pre-Engineered Trusses 24" on Center with Simsen huricane Staps @ 3-134" x 16" x 20' Microban beams With 6" Truss Lock Screws in a 4" square Pattern the Length of Bown with only 16' of Clear span 3 Simpson Strap hangers On both Sides of all hade @ Full 48" wide Sheet of Plymu Starting From Each Side Tyvek house wrap thoughout SIONAL 10/16/2020



Wright Isaribeyalin 715 West Wartersville Read M+ Airy, MO 21171 O Tripple 2+ & header with 12" Ply was Between with 3 kg" hails in a 3" Square Pattern O simpson strap hangers on all headers 3 Full 48" with of Plyweod Starting From Each End For Rocking Resistance @ 2×6 Studs 16" on Center TYP. Tyvek house wrap TPY. ....... SSIONAL SI 10/16/2020



Wright /sariboyadin 715 West Watersville Road M+ Airy, MD. 21771 O 2×6 walls 16" O.C. TPY. @ Fill 48" wide ply wood Starting on Each Side for rack resistance Tyvek house wrap though Exterior walls Juilta ESSIONAL EN 10/16/2020



**Bureau of Environmental Health** 

8930 Stanford Boulevard, Columbia, MD 21045 Main: 410-313-2640 | Fax: 410-313-2648 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org Facebook: www.facebook.com/hocohealth Twitter: HowardCoHealthDep

#### Maura J. Rossman, M.D., Health Officer

December 31,2020

Earl and Pamela Wright 715 West Watersville Road Mount Airy, MD 21771

RE: Waiver Approval 715 West Watersville Road Mount Airy, MD 21771

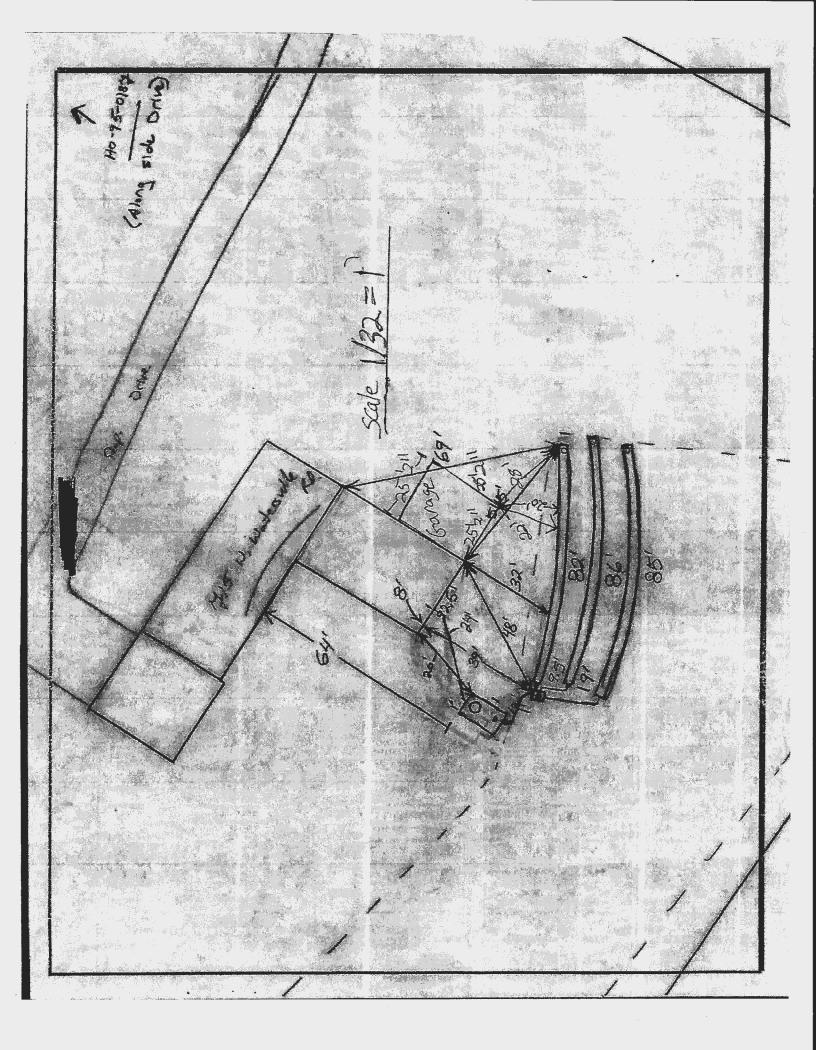
Mr. and Mrs. Wright,

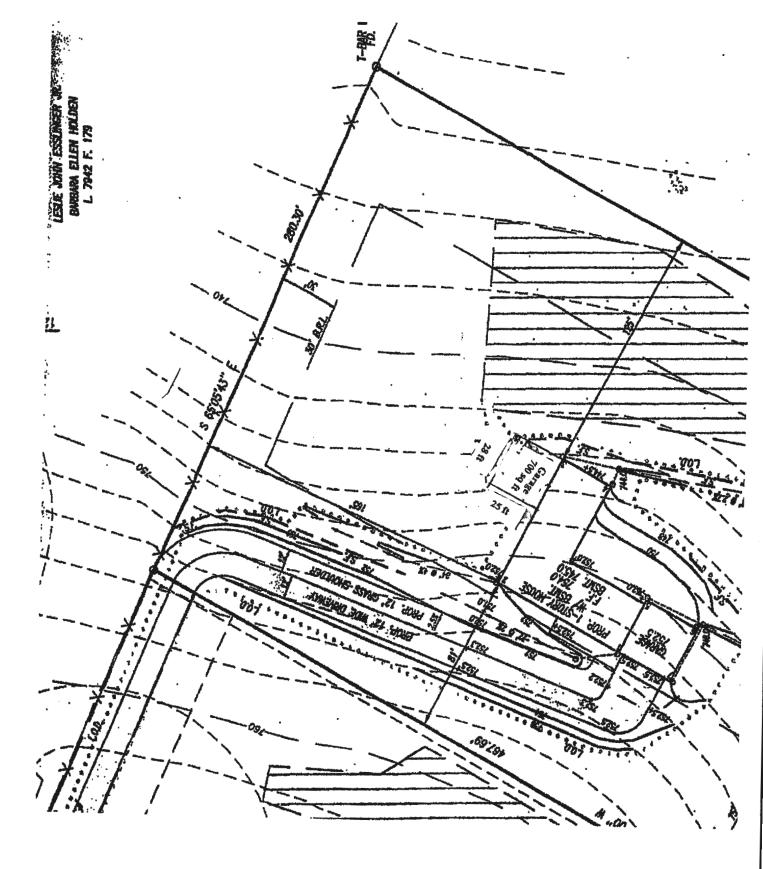
This letter is being issued in response to your waiver request emailed on December 30, 2020. The Health Department has **approved** the waiver to the required Percolation Certification Plan as required by the *Howard County Code, Subtitle 8, Section 3.805*. The proposed twenty-five (25) by twenty-eight (28) foot garage without living space does not increase the volume of wastewater produced and does not impact the area available for future on-site sewage disposal system repairs. Any deviations from the site plan submitted with the building permit will be subject to further review by this Department.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

Respectfully Javi

Michael J. Davis V Assistant Director Bureau of Environmental Health





### **Oswald, Hank**

From: Sent: To: Cc: Subject: Attachments: Davis, Michael J Thursday, December 31, 2020 8:43 AM pam54@verizon.net Oswald, Hank RE: B20003846\_715 West Watersville Road\_Site Plan 002.jpg

Ms. Wright,

Here is your waiver approval letter. I have copied Mr. Oswald, so he can update our file and approve the permit.

Michael J. Davis Assistant Director Bureau of Environmental Health Howard County Health Department 8930 Stanford Blvd. Columbia, MD 21045



#### **CONFIDENTIALITY NOTICE**

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

From: pam54@verizon.net <pam54@verizon.net>
Sent: Wednesday, December 30, 2020 4:03 PM
To: Davis, Michael J <mjdavis@howardcountymd.gov>
Subject: Fwd: B20003846\_715 West Watersville Road\_Site Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr Davis.

I am attaching the site plan and three photos. Thank you for looking into this, and looking forward to your reply. Thanks Pam Wright

1

First one is from the rear of house at the 48 foot mark.

The second one from right to left is staked at 22 foot mark 20 foot mark and ending at the 25 foot pipe.

This one is from the 25 foot mark on the site plan. Showing first the 20 feet than 22 foot.

## **Oswald**, Hank

From: Sent: To: Subject: Attachments: Oswald, Hank Tuesday, December 22, 2020 8:55 AM Marshall, Rodney FW: B20003846\_715 West Watersville Road\_Site Plan Scan\_0123.pdf

Hi Rod:

Below, you will find my last correspondence to the applicant on 11.18. They were supposed to submit a revised site plan (see attached), but I don't see this in Accela. The garage does not appear to meet the 20 foot setback to the sewage disposal area on this site plan. I asked the applicant if the owner wanted to request a waiver. To date, I have not heard back.

Thanks,

Hank

From: Oswald, Hank Sent: Tuesday, December 15, 2020 10:19 AM To: pam54@verizon.net Subject: RE: B20003846\_715 West Watersville Road\_Site Plan

Hi Pam:

The garage does not appear to meet the 20 foot setback to the SDA. Does the owner want to write a waiver letter to reduce the setback?

Hank

From: pam54@verizon.net >pam54@verizon.net>
Sent: Wednesday, November 18, 2020 4:02 PM
To: Oswald, Hank <<u>hoswald@howardcountymd.gov</u>>
Subject: Re: B20003846\_715 West Watersville Road\_Site Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello Mr. Oswald,

The plan has been submitted to the D.I.L.P. Thank you Earl Wright

Hello Mr. Wright:

The drawing provided with building permit # B20003846 (715 West Watersville Road) does not match the measurements shown on the As-built drawing found on page 3 of the septic record (see attachment). Please provide a site plan to appropriate scale between 1:30 and 1:100 showing house, proposed garage, the well

and septic components matching the as-built drawing on page 3, and the location of the sewage disposal area (SDA) on page 4 of the record.

You could use page 4 of the septic record as the basis of your site plan, but it must be printed to scale first before adding the septic system components (septic tank, trenches). If the proposed garage does not meet the 20 foot setback to the SDA, the homeowner could ask for a waiver to reduce the setback by addressing a letter to the deputy director of Environmental Health, Mike Davis. The scaled site plan must accompany the letter.

Should the garage meet the 20 foot setback to the SDA, please forward 3 copies of the site plan directly to the Department of Inspection, License and Permits (D.I.L.P.). Please let me know when you've submitted the site plan, so I can look for it in the system.

Should you have any questions, or wish to discuss, please don't hesitate to contact me. You c

Respectfully,

Hank

Hank Oswald Howard County Health Department Well and Septic Program hoswald@howardcountymd.gov

# **Oswald, Hank**

From:	pam54@verizon.net
Sent:	Wednesday, November 18, 2020 4:02 PM
То:	Oswald, Hank
Subject:	Re: B20003846_715 West Watersville Road_Site Plan
Attachments:	Scan_0123.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello Mr. Oswald,

The plan has been submitted to the D.I.L.P. Thank you Earl Wright

Hello Mr. Wright:

The drawing provided with building permit # B20003846 (715 West Watersville Road) does not match the measurements shown on the As-built drawing found on page 3 of the septic record (see attachment). Please provide a site plan to appropriate scale between 1:30 and 1:100 showing house, proposed garage, the well and septic components matching the as-built drawing on page 3, and the location of the sewage disposal area (SDA) on page 4 of the record.

You could use page 4 of the septic record as the basis of your site plan, but it must be printed to scale first before adding the septic system components (septic tank, trenches). If the proposed garage does not meet the 20 foot setback to the SDA, the homeowner could ask for a waiver to reduce the setback by addressing a letter to the deputy director of Environmental Health, Mike Davis. The scaled site plan must accompany the letter.

Should the garage meet the 20 foot setback to the SDA, please forward 3 copies of the site plan directly to the Department of Inspection, License and Permits (D.I.L.P.). Please let me know when you've submitted the site plan, so I can look for it in the system.

Should you have any questions, or wish to discuss, please don't hesitate to contact me. You c

Respectfully,

Hank

Hank Oswald Howard County Health Department Well and Septic Program hoswald@howardcountymd.gov