

PERMIT NUMBER: B

21000164

DATE ACCEPTED:

RECEIVED

JAN 15 2021



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION 3
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 13080 Williamsfield Drive Unit:
 City: Ellicott City State: MD Zip Code: 21042
 Subdivision/Village/Complex Name: SDP/WP/BA #:
 Lot: Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: residential Proposed Use: residential Estimated Cost: \$60,000.00

Trade Work to Be Completed (Separate Permits Required): ☒ Mechanical (HVAC) ☐ Electrical ☒ Plumbing ☐ None

Convert existing Garage to Living space, addition to front of house, Front porch expansion

28' x 5' 34' x 3'

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Harsha P. Dissanayake Primary Residence: ☒ Yes ☐ No
 Owner's Street Address: 13080 Williamsfield Drive
 City: Ellicott City State: MD Zip Code: 21042
 Phone: Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: JDK Designs Contact Name: John Kowalski
 Street Address: 19801 Muncaster Rd
 City: Derwood State: MD Zip Code: 20855
 Phone: (301) 977-3652 Email: jdk007@comcast.net

CONTRACTOR INFORMATION REQUIRED

Business Name: Suber Construction
 Licensee's Name: License #: 125785
 Street Address: 20529 Locust Grove Rd
 City: Rohersville State: MD Zip Code: 21779
 Phone: (301) 788-5091 Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS IF APPLICABLE

Business Name: Name:
 Street Address:
 City: State: Zip Code:
 Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*) Condo: ☐ Yes ☒ No
 Utilities: ☒ Electric ☐ Gas Water Supply: ☐ Public ☒ Private (Well) Sewage Disposal: ☐ Public ☒ Private (Septic)
 Heating System: ☒ Electric ☐ Natural Gas ☐ Propane ☐ Other: Roadside Tree Project: ☒ No ☐ Yes: #
 Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D ☒ None Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
 # of Bedrooms (SF): 4 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
 # Rooms: # Full Baths: 3 # Half Baths: 1 # Fireplaces: 2
 Garage/Carport Info: ☒ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ None
 Basement/Foundation Info: ☐ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☒ Finished Basement: ☐ Full or ☒ Partial
 1st Fl Width: 109 1st Fl Depth: 44 2nd Fl Width: 109 2nd Fl Depth: 26 Bsmt Width: 109 Bsmt Depth: 44
 Energy Method: ☒ Prescriptive ☐ Performance ☐ UA Alternative ☐ ERI Gross Area: 4,716 sq ft Occupable Area: 3,988 sq ft

AGREEMENT/ DISCLAIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

1/5/21
 APPLICANT'S ORIGINAL SIGNATURE Harsha Dissanayake DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

☒ PR ☒ DPZ ☒ DED ☒ Health ☒ SHA ☐ CID

CIRCUITRY FEES:

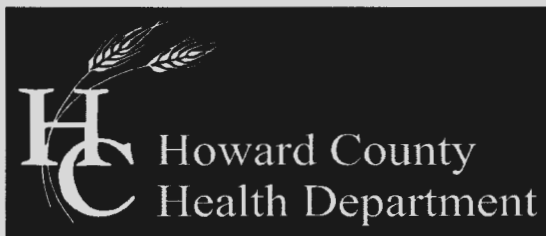
\$25 F.F.

PAYMENT:

CK # 1232 \$25

ACCEPTED BY:

Drop Box



Office of the Health Officer

8930 Stanford Drive, MD 21045

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

Maura J. Rossman, M.D., Health Officer

DATE: February 9, 2021

TO: JDK Designs (Applicant)

Via E-mail: jdk007@comcast.net

RE: **Building Permit # B21000164**
13080 Williamsfield Drive
Ellicott City, Maryland 21042

Mr. Kowalski,

Further review is contingent upon submission of a revised building plan showing the following:

- Septic system and all its components must be shown on plan and fall within the required setbacks.
- The addition must be 20 feet away from the septic system.
- Revised plot plan must be to scale.
- Floor plans for the existing house and proposed addition

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS

Environmental Specialist II

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 02/16/2021

To: Dana Bernard Well & Septic
(Reviewer/Requestor's Name) (Division)

From: John Kowalski (301) 977-3652
(Your Name, Company Name) (Phone Number)

Subject: Project name Dissanayake Residence
Project site address 13080 Williamfield Drive
Permit # B21000164 SDP # _____
Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☒ Copies of Site Plan with Septic location (be specific).
☒ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request
- ☐ Two sets of single-family model plans to be placed on permanent file: Model Name/ # _____
- ☐ Other _____

Contact Person Information: (Required)

John kowalski
Please Print Name

Telephone No: (301) 977-3652
E-Mail Address: jdk007@comcast.net

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by DropBox

White-Plan Review / Yellow-Applicant / Pink-Permit Division
T:\Operations\Updated forms\HoCoTransmittalForm04.2020

RECEIVED

FEB 16 2021

**LICENSES & PERMITS
DIVISION**

Bernard, Dana

From: Bernard, Dana
Sent: Friday, February 26, 2021 3:55 PM
To: 'jdk007@comcast.net'
Subject: 13080 Williamsfield Drive



Office of the Health Officer
WilliamfieldDrive_13080_SepticPermit_1987.pdf

8930 Stanford Drive, MD 21045

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

Maura J. Rossman, M.D., Health Officer

DATE: February 26, 2021

TO: JDK Designs (Applicant)
Via E-mail: jdk007@comcast.net

RE: **Building Permit # B21000164**
13080 Williamsfield Drive
Ellicott City, Maryland 21042

Mr. Kowalski,

I have received and reviewed your revisions and the as built in our office is showing different setback from what you submitted. I am attaching a copy of our plans so you can revised your plot plan and resubmit with the following requirements:

- Septic system and all its components must be shown on plan and fall within the required setbacks.
- The addition must be 20 feet away from the septic system.
- Revised plot plan must be to scale.
- Floor plans for the existing house and proposed addition

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

A handwritten signature in cursive script, appearing to read 'D Bernard'.

Dana Bernard, REHS/RS
Environmental Specialist II
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

D.L.

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Project site address 13080 Williamfield Drive
Permit # B21000164 SDP # _____
Other information pertinent to this project _____

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- ☐ Other _____

Contact Person Information: (Required)

John kowalski

Please Print Name

Telephone No: (301) 977-3652

E-Mail Address: jdk007@comcast.net

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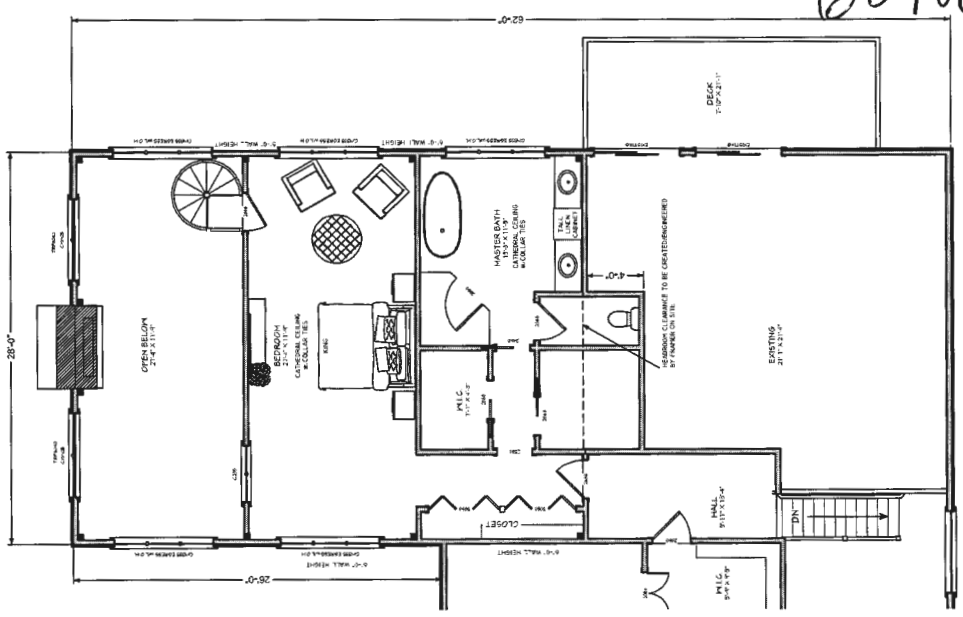
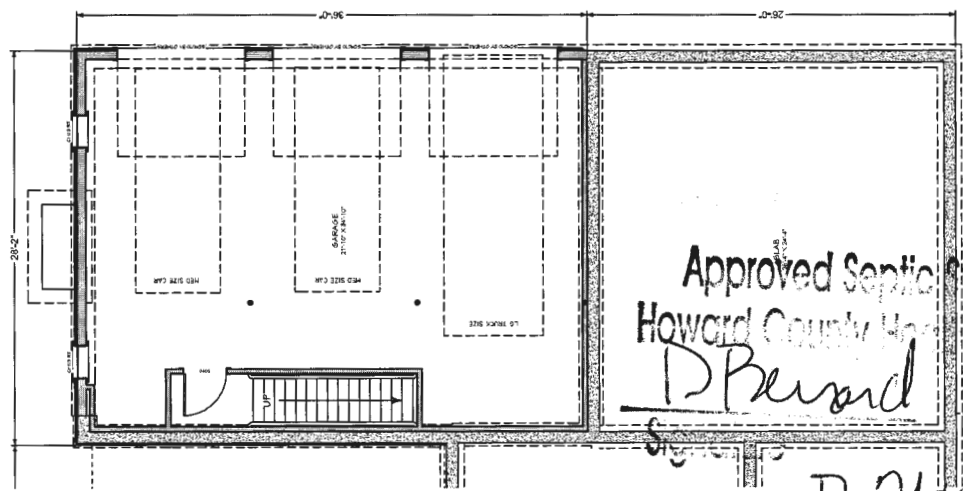
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White-Plan Review / Yellow-Applicant / Pink-Permit Division
T:\Operations\Updated forms\HoCoTransmittalForm04.2020

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FEB 16 2021

**LICENSES & PERMITS
DIVISION**

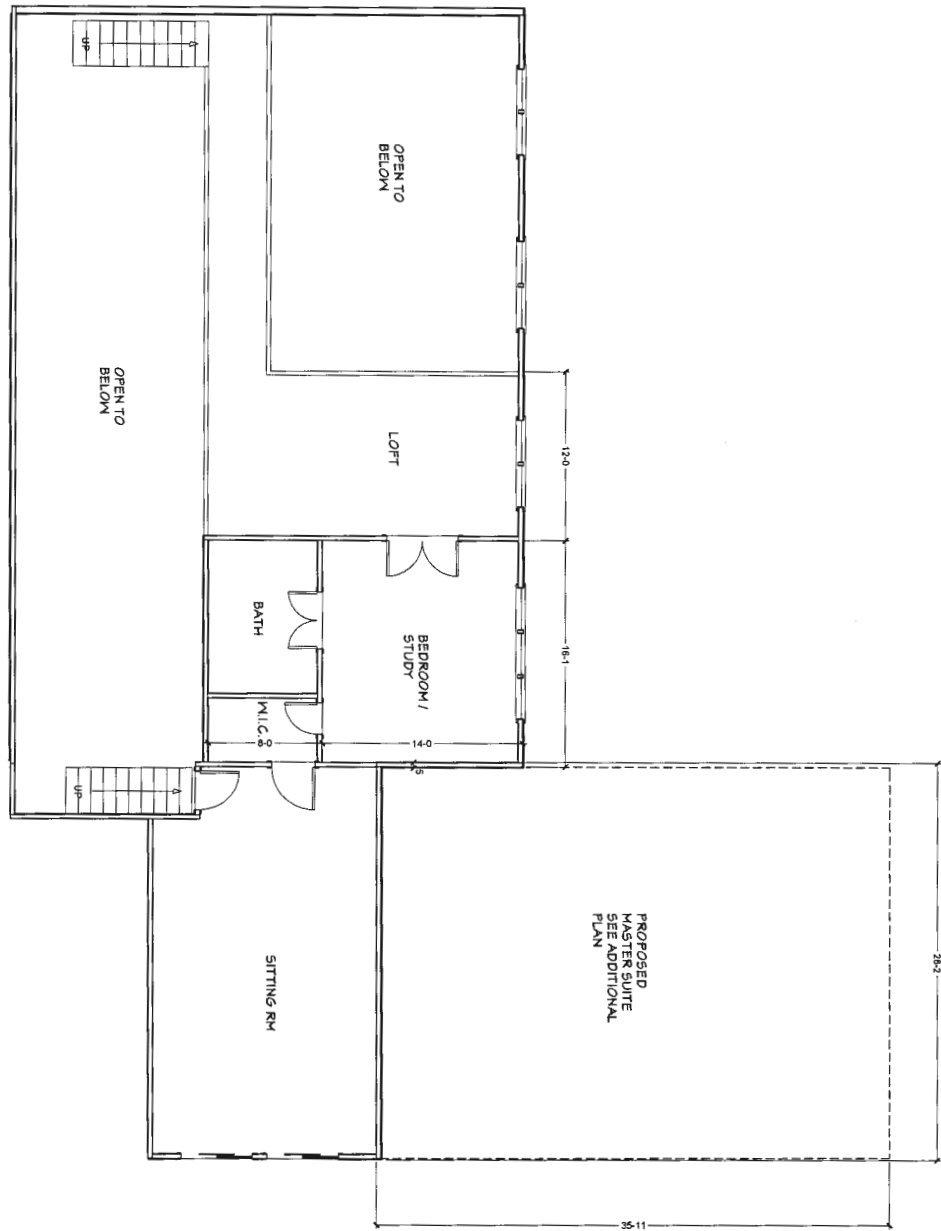


HABITAT FOR HUMANITY
 1. ALL EXISTING WALL SYSTEMS
 2. ALL EXISTING FLOOR SYSTEMS
 3. ALL EXISTING ROOF SYSTEMS
 4. ALL EXISTING CEILING SYSTEMS
 5. ALL EXISTING ENTRY PORCHES
 6. ALL EXISTING SIDE PORCHES
 7. ALL EXISTING KNEE WALL HEIGHTS

Approved Septic System Plan
 Howard County, Maryland
 J. B. Bernard

B21006164

SECOND FLOOR PLAN



A-4

SECOND FLOOR PLAN

DECEMBER 2020
SCALE AS NOTED

ADDITIONS / RENOVATIONS TO
DISSANAYAKE RESIDENCE
19080 WILLIAMFIELD DRIVE
ELLCOTT CITY MD 21042

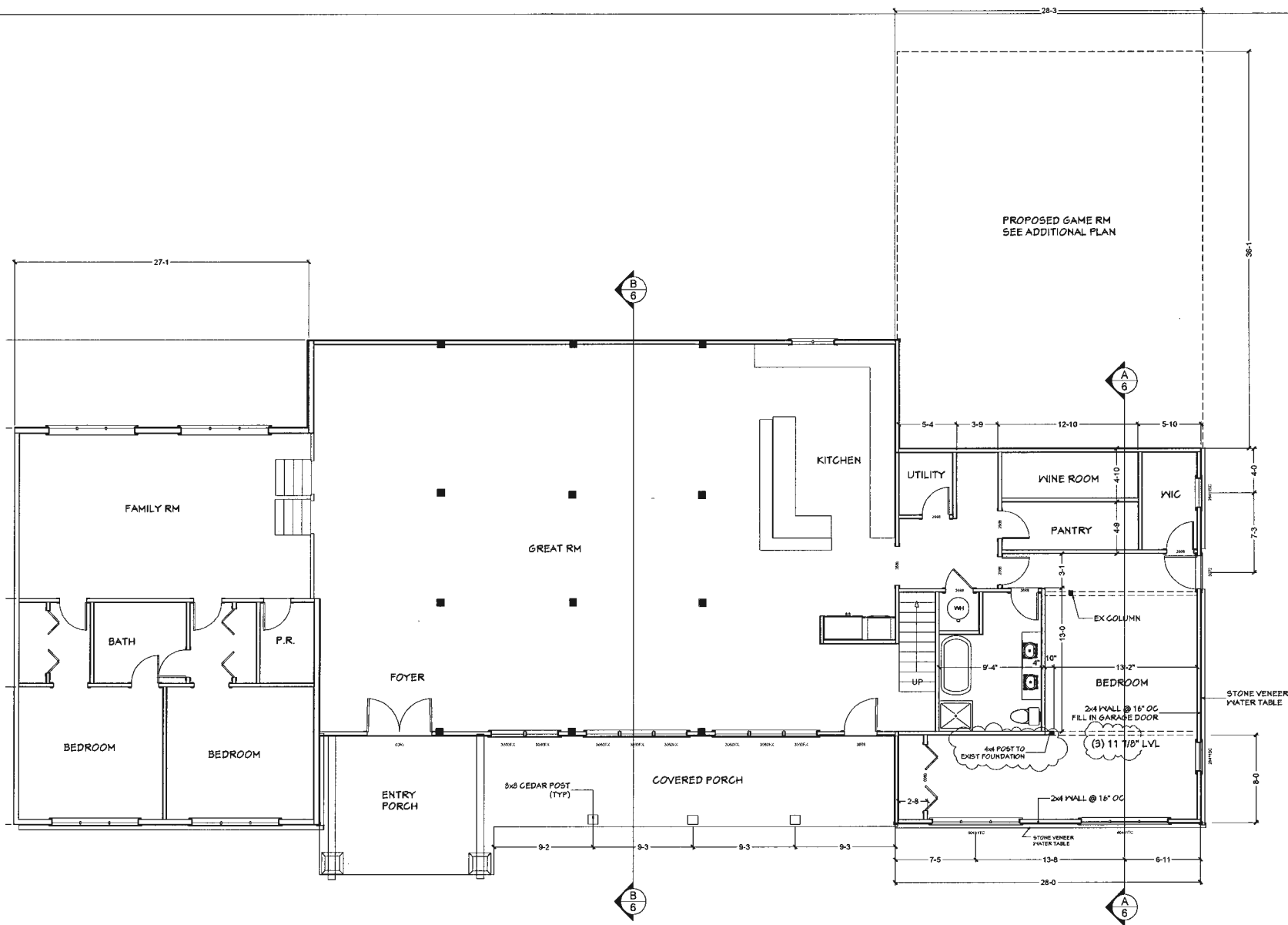
SURBER
CONSTRUCTION

FREDERICK MD

(301) 788-9041

JDK DESIGN CONCEPTS
LAYTONSVILLE MD 301.411.3652

REVISIONS
2-9-21



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

REVISIONS
2-5-21

JDK DESIGN CONCEPTS
LATONSVILLE MD 301-471-3882

SURBER
CONSTRUCTION
FREDERICK MD 301-784-5941

ADDITIONS / RENOVATIONS TO
DISSANAYAKE RESIDENCE
13080 WILLIAMFIELD DRIVE
ELLICOTT CITY MD 21042

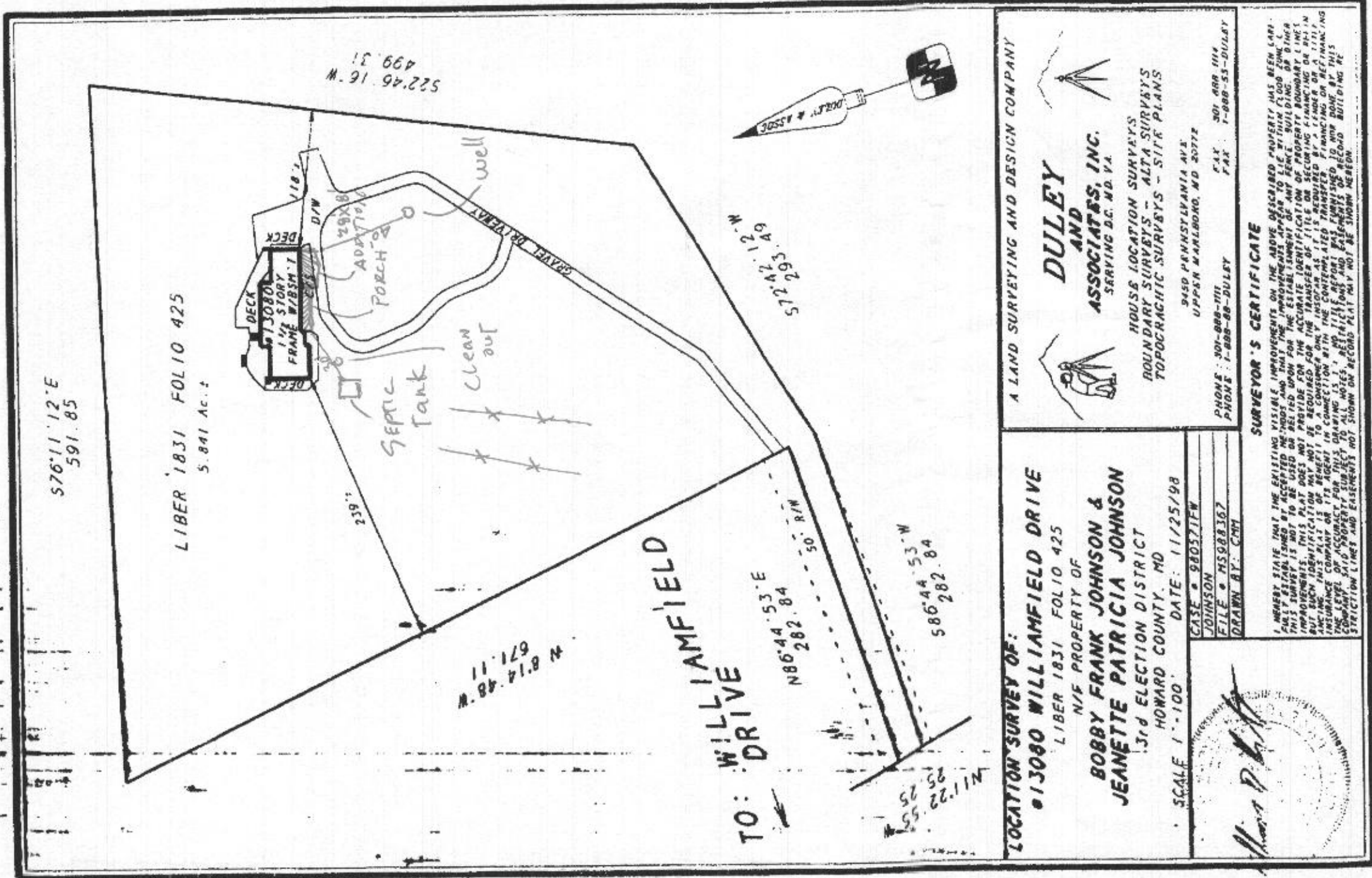
FIRST FLOOR PLAN
DECEMBER 2020
SCALE AS NOTED

A-3

211 282 1

111 282 1

111 282 1

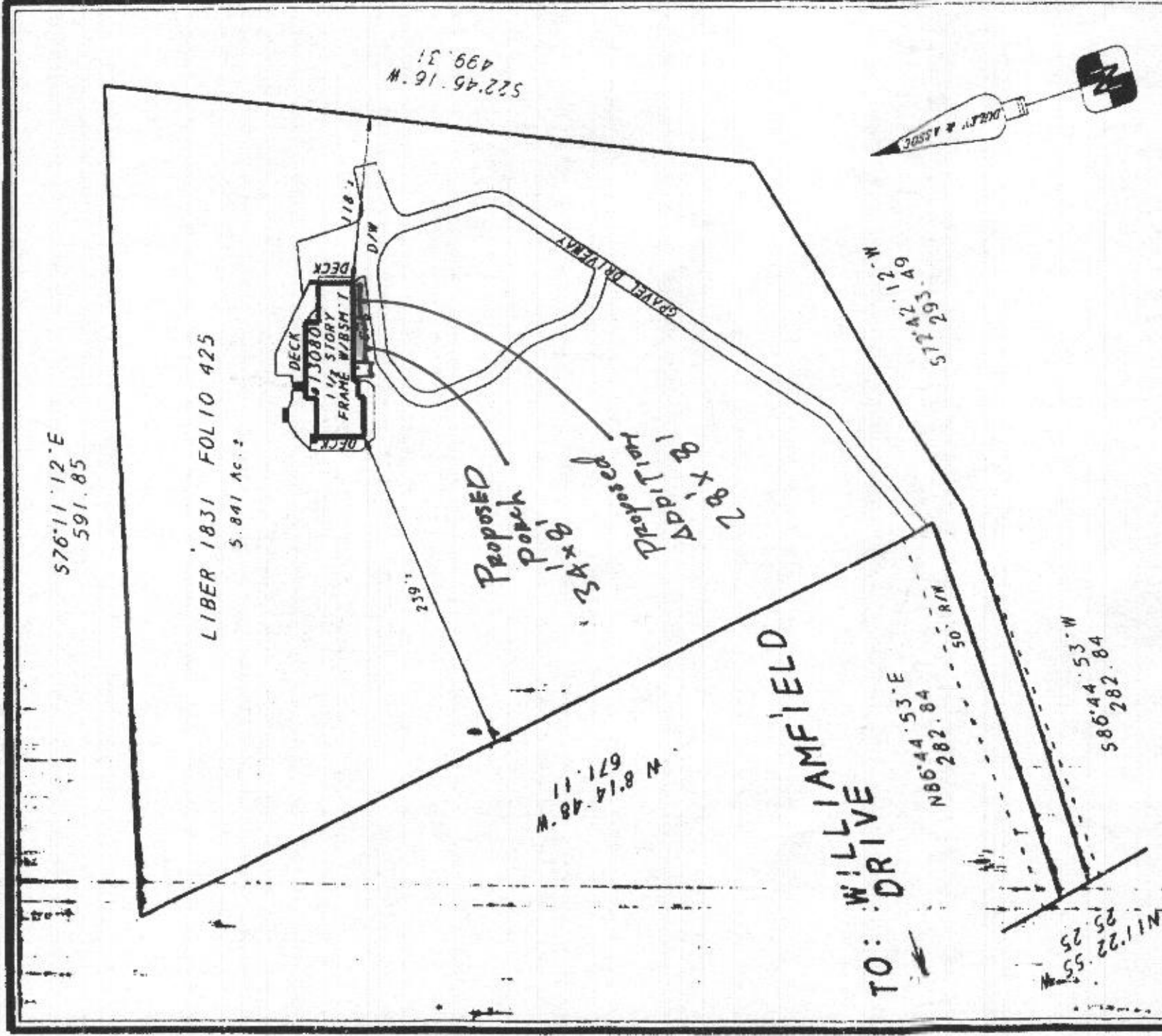


LOCATION SURVEY OF:
• 13080 WILLIAMFIELD DRIVE
LIBER 1831 FOLIO 425
N/E PROPERTY OF
BOBBY FRANK JOHNSON &
JEANETTE PATRICIA JOHNSON
3rd ELECTION DISTRICT
HOWARD COUNTY, MD
SCALE 1"=100'
DATE: 11/25/98
CASE # 980371FW
JOHNSON
FILE # HS028367
DRAWN BY: CMH

A LAND SURVEYING AND DESIGN COMPANY
DULEY AND ASSOCIATES, INC.
SERVING D.C., MD, VA
HOUSE LOCATION SURVEYS
BOUNDARY SURVEYS - ALTA SURVEYS
TOPOGRAPHIC SURVEYS - SITE PLANS
9450 PENNSYLVANIA AVE
UPPER MERIDION, MD 20772
PHONE: 301-888-1711 FAX: 301-888-1114
PHONE: 1-888-88-DULEY FAX: 1-888-53-DULEY

SURVEYOR'S CERTIFICATE
I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS SHOWN ON THIS SURVEY ARE TRUE AND CORRECT. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES OR FOR THE IDENTIFICATION OF ANY OTHER IMPROVEMENTS. THIS PLAN DOES NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR DEEDS. ANYONE PURSUING THIS PLAN IS OF BENEFIT TO A CONSUMER ONLY IN CONNECTION WITH THE CONTINGENT TRANSFER, FINANCING OR DEEDS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS: 1/4" = 1' AND ELEMENTS NOT SHOWN ON RECORD PLAT MAY NOT BE SHOWN HEREON.
DRAWN BY: CMH

REVISED
Date: 2/10/2021
Comments: 021-104



LOCATION SURVEY OF:

• 13080 WILLIAMFIELD DRIVE

N/E PROPERTY OF
LIBER 1831 FOLIO 425

BOBBY FRANK JOHNSON &
JEANNETTE PATRICIA JOHNSON

3rd ELECTION DISTRICT
HOWARD COUNTY, MD

SCALE 1"=100' DATE: 11/25/98

CASE # 980571FW

JOHNSON

FILE # HS988367

DRAWN BY: GTH

Alan P. Duley

A LAND SURVEYING AND DESIGN COMPANY



**DULEY
AND
ASSOCIATES, INC.**
SERVING D.C. MD VA

HOUSE LOCATION SURVEYS
BOUNDARY SURVEYS - ALTA SURVEYS
TOPOGRAPHIC SURVEYS - SITE PLANS

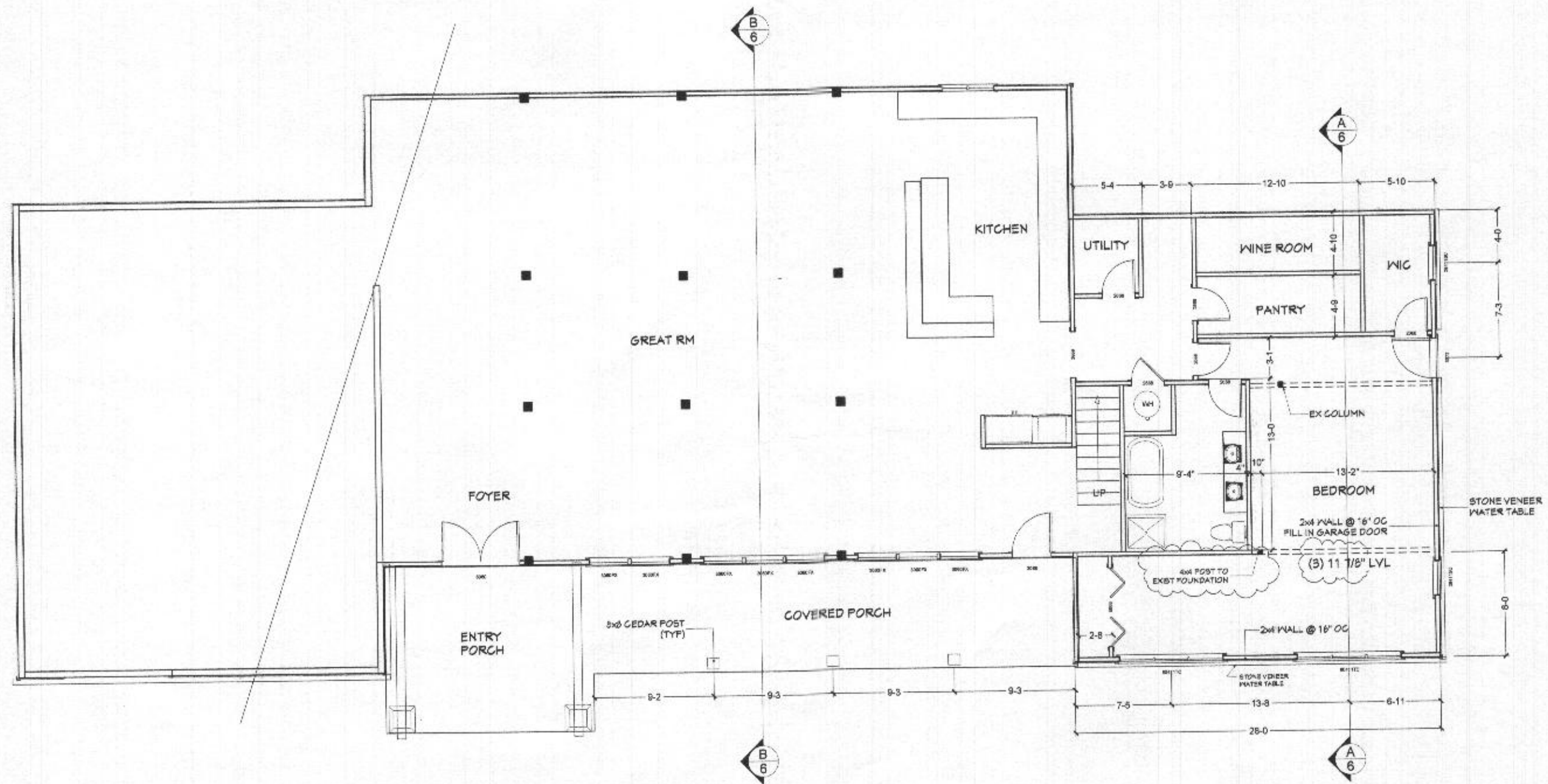
9450 PENNSYLVANIA AVE
UPPER MARLBORO, MD 20772

PHONE: 301-888-1111
FAX: 301-888-1114

PHONE: 1-888-88-DULEY
FAX: 1-888-55-DULEY

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE S. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR PLACING AN INSURANCE CHARGE. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY IN THAT IT PROVIDES A GENERAL DESCRIPTION OF THE PROPERTY AND ITS IMPROVEMENTS. THE CONSUMER IS ADVISED THAT THE SURVEYOR HAS FURNISHED TO HIM A REPORT OF THE RESULTS OF THE SURVEY AND THAT THE SURVEYOR HAS FURNISHED TO HIM A REPORT OF THE RESULTS OF THE SURVEY AND THAT THE SURVEYOR HAS FURNISHED TO HIM A REPORT OF THE RESULTS OF THE SURVEY. RESTRICTIONS AND EASEMENTS NOT SHOWN ON RECORD PLAT MAY NOT BE SHOWN HEREON.



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

REVISED
Date: 2/16/2021
Comments: B21-164

FIRST FLOOR PLAN

DECEMBER 2020
SCALE AS NOTED

A-3

ADDITIONS / RENOVATIONS TO
DISSANAYAKE RESIDENCE
13080 WILLIAMFIELD DRIVE
ELLICOTT CITY MD 21042

SURBER
CONSTRUCTION

FREDERICK MD (301) 588-8041

JDK DESIGN CONCEPTS
LATONSVILLE MD 301-471-3432

REVISIONS
2-3-21