

PERMIT NUMBER: B

20002331

DATE ACCEPTED:

RECEIVED

JUL 16 2020



COMMERCIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455 OPTION #4

LICENSES & PERMITS
DIVISION

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 13400 Triadelphia Road

Unit: N/A

City: Ellicott City

State: MD

Zip Code: 21042

Subdivision/Village/Complex Name: N/A

SDP/WP/BA #:

Lot:

Tax Map:

Parcel:

Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Educational

Proposed Use: Educational

Estimated Cost: \$100,000

Trade Work to Be Completed (Separate Permits Required): ☒ Mechanical (HVACR) ☒ Electrical ☒ Plumbing ☐ None

INTERIOR ALTERATIONS (PER PLANS)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Howard County Public School System

Owner's Street Address: 10910 Clarksville Pike

City: Ellicott City

State: MD

Zip Code: 21042

Phone: (240) 566-3300

Email: daniel_lubeley@hcpss.org

TENANT INFORMATION REQUIRED

Business Name: Triadelphia Ridge E.S.

Contact Name: TIFFANY TRESLER

Street Address: 13400 Triadelphia Road

City: Ellicott City

State: MD

Zip Code: 21042

Phone: (410) 313-2560

Email: tiffany_tresler@hcpss.org

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Proffitt & Associates Architects, P.C.

Contact Name: Andrew Jinks

Street Address: 49 South Carroll Street

City: Frederick

State: MD

Zip Code: 21701

Phone: (301) 662-8532

Email: ajinks@proffittandassociates.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Oak Contracting, Inc.

Licensee's Name: Doug Eder

License #: 03619219

Street Address: 1000 Cromwell Bridge Road

City: Towson

State: MD

Zip Code: 21286

Phone: (410) 828-1000

Email: mlurz@oakcontracting.com

ARCHITECT/ENGINEER INFORMATION REQUIRED - INDIVIDUAL WHO SIGNED PLANS

Business Name: Proffitt & Associates Architects, P.C.

Name: Kori Purdum Matheis, AIA, LEED AP BD+C

Street Address: 49 South Carroll Street

City: Frederick

State: MD

Zip Code: 21701

Phone: (301) 662-8532

Email: kpurdum@proffittandassociates.com

BUILDING CHARACTERISTICS (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Utilities: ☒ Electric ☒ Gas Water Supply: ☒ Public ☒ Private (Well)Sewage Disposal: ☒ Public ☒ Private (Septic)Heating System: ☐ Electric ☒ Natural Gas ☐ Propane ☐ Other:Roadside Tree Project: ☐ No ☐ Yes:#Sprinkler System: ☒ NFPA 13 ☐ NFPA 13R ☐ NoneFire Alarm System: ☒ Yes ☐ No ☐ Voice Evac

ADDITIONAL COMMERCIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Area of Construction: 1,818

sq ft

Gross Area: 68,629

sq ft

Height: 22

ft

of Stories: 1

Construction Classification(s): IIB

Use Group: Educational

Was the tenant space previously occupied? ☒ Yes ☐ No

Shell Building Permit # (for interior completions):

ADDITIONAL MULTI-FAMILY INFORMATION IF APPLICABLE

of efficiency units (MF):

of 1 BR (MF):

of 2 BR (MF):

of 3 BR (MF):

Energy Method: ☐ Performance ☐ UA Alternative ☐ ERI ☐ A 90.1

Gross Area:

sq ft

Occupable Area:

sq ft

AGREEMENT/ DISCLAIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

☒ PR☒ DPZ☒ DED☒ Health☐ SHA☐ CID

SUBMITTAL FEES:

PAYMENT:

N/A

ACCEPTED BY:

DMP/BA

School

PER PREV.
PERMIT.

*3 SETS OF PLANS REQUIRED - ONLY 2 SUBMITTED w/APP



Maryland

Department of the Environment

Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor

Ben Grumbles, Secretary
Horacio Tablada, Deputy Secretary

August 10, 2020

Mr. Bert Nixon, Director
Environmental Health
Howard County Health Dept.
8930 Stanford Blvd
Columbia, MD 21045

Re: Application for Triadelphia Ridge Elementary School
State Discharge Permit 19DP3223
Howard County

Dear Mr. Nixon:

We are aware of your interest in the Triadelphia Ridge Elementary School and would like you to know that the Department has made a Tentative Determination on the above discharge permit application. A copy of the notice is enclosed for your convenience.

If you have any questions or require additional information on this permit, please contact me at (410) 537-3778.

Sincerely,

Mary Dela Onyemaechi/cw

Mary Dela Onyemaechi, Chief
Groundwater Discharge Permits Division
Wastewater Permits Program
Water and Science Administration

Enclosure

**MARYLAND DEPARTMENT OF THE ENVIRONMENT
WATER AND SCIENCE ADMINISTRATION**

NOTICE OF TENTATIVE DETERMINATION

Howard County

Application for State Discharge Permit 19DP3223:

Howard County Public School System, 9020 Mendenhall Court, Columbia, Maryland 21045 submitted an application to renew a permit to discharge an average of 10,000 gallons per day of treated wastewater from Triadelphia Ridge Elementary School and Folly Quarter Middle School WWTP, located at 13400 Triadelphia Road, Ellicott City, Maryland 21042, to ground waters via a subsurface soil absorption system.

The Department is proposing to reissue the permit with the following limitations and conditions: BOD5, 30 mg/l maximum monthly average; suspended solids, 30 mg/l maximum monthly average; Total Nitrogen, 20 mg/l maximum monthly average; and Flow, 10,000 gallons per day maximum monthly average.

The following conditions are also a part of this permit: 1) The permittee shall monitor the performance of the absorption trench system via water levels in the observation pipes; and 2) The permittee shall monitor the groundwater quality via six groundwater monitoring wells.

If a written request is received by **September 2, 2020**, a public hearing on the tentative determination for this application can be scheduled. The request should be sent to the **Maryland Department of the Environment, Water and Science Administration, 1800 Washington Blvd., Baltimore, Maryland 21230-1708, Attn.: Mary Dela Onyemaechi, Chief, Groundwater Discharge Permits Division** and must include the name, address and telephone number (home and work) of the person making the request, the name of any other party whom the person making the request may represent, and the name of the facility and permit number. Failure to request a hearing by **September 2, 2020** will constitute a waiver of the right to a public hearing on the tentative determination for this permit.

Written comments concerning the tentative determination will be considered in the preparation of a final determination if submitted to the Department, to the attention of Mary Dela Onyemaechi at the above address, on or before **September 14, 2020**. Any hearing-impaired person who requests a hearing may request an interpreter at the hearing by contacting Mrs. Onyemaechi at (410) 537-3778 or 1-800-633-6101, or by written request to the above address at least ten working days prior to the scheduled hearing date.

Information supporting the tentative determination, including the draft permit and fact sheet, may be reviewed by contacting Mrs. Onyemaechi at the above telephone number to make an appointment or by written request to Mrs. Onyemaechi at the above address. Copies of documents may be obtained at a cost of \$0.36 per page.

To Be Published on: **August 13 and 20, 2020**

Newspaper: **The Howard County Times**

PROJECT INFORMATION

INTERIOR ALTERATIONS FOR:
TRIADELPHIA RIDGE
ELEMENTARY SCHOOL13400 TRIADELPHIA ROAD
ELLICOTT CITY, MARYLAND 21042

CONTACT LIST

OWNER:

HOWARD COUNTY PUBLIC
SCHOOL SYSTEM
10910 CLARKSVILLE PIKE
ELLIOTT CITY, MD 21042
TEL.: (410) 313-6805

CONSTR. MANAGER

OAK CONTRACTING, LLC
1000 CROMWELL BRIDGE ROAD
TOWSON, MD 21286
TEL.: (410) 828-1000

ARCHITECT:

PROFFITT & ASSOCIATES ARCHITECTS
49 SOUTH CARROLL STREET
FREDERICK, MD 21701
TEL.: (301) 662-8532
FAX: (301) 662-4192

MECH. / ELEC.:

ALBAN ENGINEERING, INC.
303 INTERNATIONAL CIRCLE, SUITE 450
HUNT VALLEY, MD 21030
TEL.: (410) 842-6411

DRAWINGS LIST

A01 COVER SHEET

ARCHITECTURAL DRAWINGS

- GA01 CODE ANALYSIS
A21 PARTIAL FLOOR AND REFLECTED CEILING PLANS - DEMOLITION AND NEW WORK
A22 ENLARGED PARTIAL FLOOR PLAN AND DETAILS
A51 INTERIOR ELEVATIONS AND DOOR AND FRAME DETAILS
A41 GENERAL SPECIFICATIONS
A92 GENERAL SPECIFICATIONS
A93 GENERAL SPECIFICATIONS

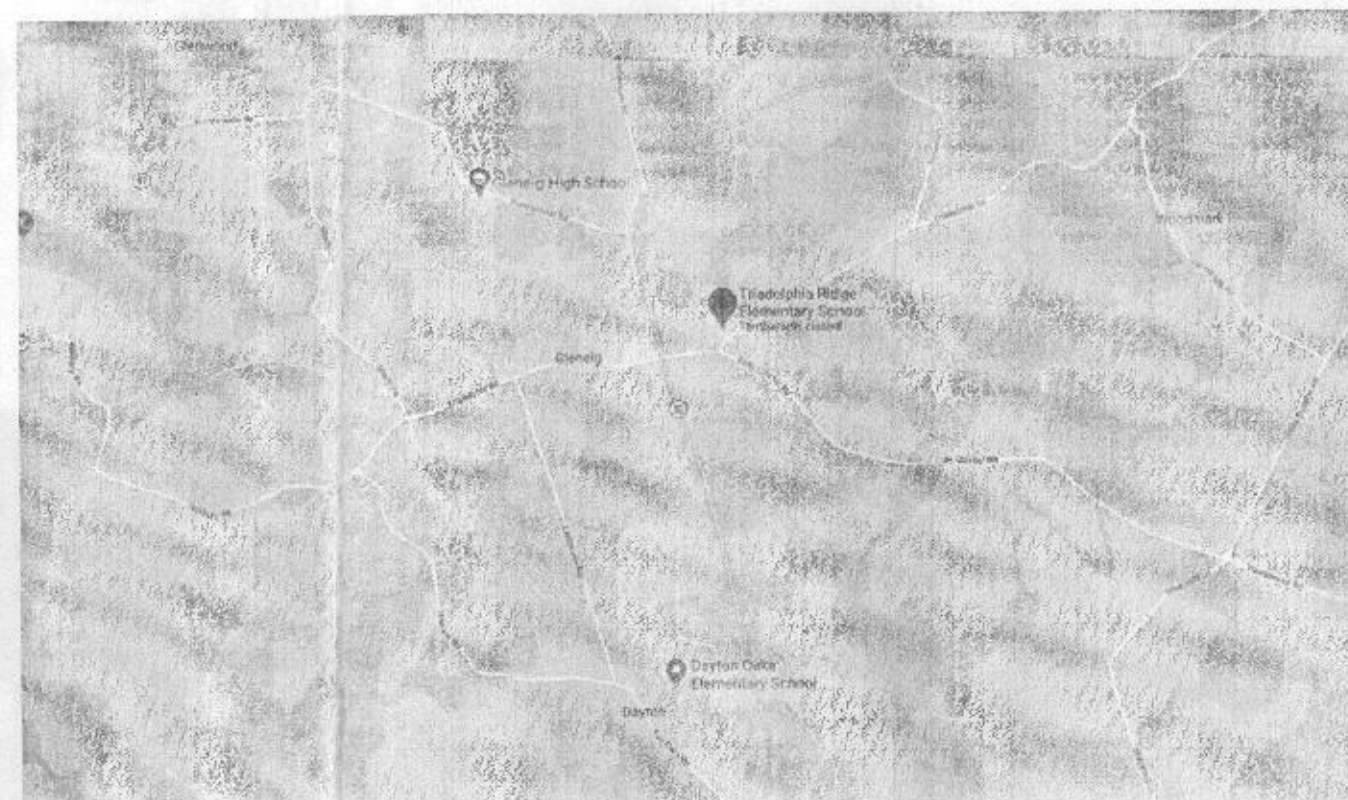
MECHANICAL / PLUMBING / ELECTRICAL DRAWINGS

- MP01 COVER SHEET
MP21 PARTIAL FLOOR PLAN
MP11 MECHANICAL AND PLUMBING DETAILS
MP91 MECHANICAL SPECIFICATIONS
MP92 PLUMBING SPECIFICATIONS
E11 PARTIAL FLOOR PLAN
E21 ELECTRICAL SPECIFICATIONS

GENERAL NOTES

- CONTRACTOR SHALL CAREFULLY EXAMINE THE PERMIT DOCUMENTS, ACQUAINT THEMSELVES WITH ALL GOVERNING LAWS AND CODES, VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS BEFORE SUBMITTING PRICINGS.
- ALL WORK DESCRIBED WITHIN THE PERMIT DOCUMENTS SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO, THE CURRENT BUILDING CODE, LIFE SAFETY CODE, ADAAS, AS WELL AS ORDINANCES AND REGULATIONS AND OTHER BUILDING CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND WARRANTY REQUIREMENTS.
- INDIVIDUAL SUBCONTRACTORS FOR ANY PLUMBING, ELECTRICAL, AND MECHANICAL WORK SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, ETC., AND PERFORM ALL WORK IN CONFORMANCE TO ALL LOCAL CODES.
- REPAIR ALL AREAS DISTURBED BY THE WORK OF THIS PROJECT, INCLUDING SUBSTRATES OR STRUCTURAL REPAIRS, AND REPAIRS TO FINISHES TO MATCH AND ALIGN WITH EXISTING FINISHES TO REMAIN OR NEW FINISHES INSTALLED.
- THE JOB SITE IS TO BE LEFT CLEAN AND FREE FROM DEBRIS AT ALL TIMES. CUSTODIAL STAFF WILL BE WORKING IN ADJACENT AREAS AND ACCESS MUST BE MAINTAINED. CONTRACTOR TO PROVIDE FINAL CLEANING AND COORDINATE WITH CUSTODIAL STAFF FOR THEIR CLEANING.
- UNLESS OTHERWISE NOTED, ALL WORK IS CONSIDERED TO BE NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING, BRACING, AND TAKE OTHER PRECAUTIONS NECESSARY FOR SAFETY AS REQUIRED BY CODE AND PRACTICE.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, CONCEALED WITHIN THE WALLS, FOR ATTACHMENT OF SURFACE AND/OR RECESSED MOUNTED EQUIPMENT OR ACCESSORIES, WHETHER SHOWN IN THE DRAWINGS OR NOT. BLOCKING TO BE FIRE RETARDANT.
- CONTRACTOR SHALL SUPPLY ALL NECESSARY ANCHORS, TIES, CLIPS, HANGERS, BOLTS, AND OTHER FASTENING DEVICES AS REQUIRED BY CODE AND GOOD PRACTICE.
- CONTRACTOR SHALL PROVIDE SEALANT AROUND WINDOWS, DOOR JAMBES AND HEADS, AND ADJACENT CONSTRUCTION.
- PART OF THIS WORK INCLUDES THE MODIFICATION OF A SPRINKLER SYSTEM IN AN EXISTING BUILDING. CONTRACTOR IS RESPONSIBLE TO CONCEAL ALL NEW PIPING WITHIN EXISTING CONSTRUCTION AND MAKE REPAIRS AS NECESSARY TO MATCH EXISTING OR NEW FINISHES. PRIOR TO MODIFICATION OR ADDITION OF SPRINKLER IN EXISTING BUILDING, SUBCONTRACTOR TO CONFIRM FINAL CEILING HEIGHT WITH CONTRACTOR DUE TO JOB CONDITIONS.
- EXISTING BUILDING INFORMATION IS BASED ON INFORMATION PROVIDED BY OTHERS AND PROFFITT & ASSOCIATES ARCHITECTS' FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO SUBMITTING SHOP DRAWINGS, AND BEFORE CONSTRUCTION AND FABRICATION OF MATERIALS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM THE INFORMATION PROVIDED IN A TIMELY MANNER.
- DRAWING INTENT IS TO INDICATE GENERAL ARRANGEMENT, DESIGN AND INTENT OF WORK AND IS PARTIALLY DIAGNOMATIC. IT SHALL NOT BE SCALED FOR ROUGH-IN MEASUREMENTS, INCLUDING CONSTRUCTION OR FABRICATION. ALL DIMENSIONS FOR BUILT-IN ITEMS SHALL BE BASED ON FIELD DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF DIMENSIONS.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL, OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- SEE WALL TYPE NOTES FOR ADDITIONAL INFORMATION REGARDING TYP. WALL TYPES.
- REFER TO THE GENERAL SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL LIMIT ACCESS TO EMPLOYEES AND SUBCONTRACTORS IN THE WORK AREA SHOWN. CONTRACTOR SHALL REFRAIN FROM USING ADJACENT ROOMS AS STORAGE AND STAGING AREAS. NO OUTDOOR OR STAGING AREAS ARE AVAILABLE.

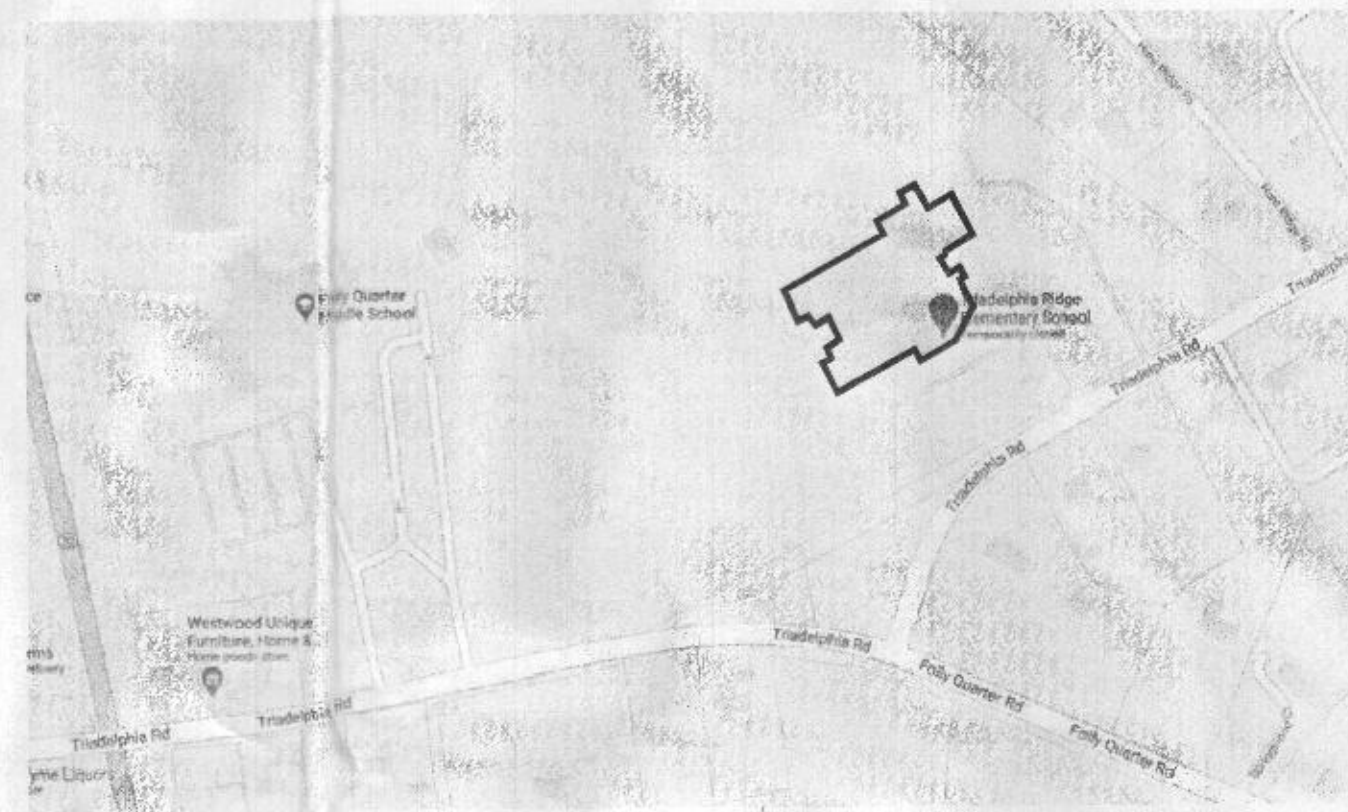
VICINITY & LOCATION MAP



SEE LOCATION MAP

VICINITY MAP

NOT TO SCALE



LOCATION OF 13400 TRIADELPHIA ROAD

LOCATION MAP

NOT TO SCALE

LEGEND

	BRICK
	CONCRETE
	FINISHED WOOD
	ROUGH WOOD
	FLYWOOD
	METAL
	GYPSUM BOARD
	RIGID INSULATION
	BATT INSULATION
	WINDOW OPENING
	DOOR / FRAME SEE SCHEDULE
	ROOM NAME ROOM NUMBER
	COLUMN REFERENCE
	DETAIL NUMBER
	SHEET TO LOCATE DETAIL
	ELEVATION NUMBER
	SHEET TO LOCATE ELEVATION
	SECTION NUMBER
	SHEET TO LOCATE SECTION
	EXTENT OF SECTION CUT
	WALL TYPE
	WALL TYPE, FIRE-RATED
	REVISION NOTE
	KEY NOTE
	HEIGHT INDICATOR (ABOVE FINISHED FLOOR ABOVE SEA LEVEL)
	INTERIOR ELEVATION KEY
	ELEVATION INDICATOR
	DIRECTION OF VIEW

ABBREVIATIONS

2X ACOUS AC	ANGLE ACOUSTIC AREA DRAIN	JAN JNT LAM	JANITOR JOINT LAMINATE
ADJ AFF AIR COND ALT ALUM ANCH AP APPROX ARCH	ADJUSTABLE ABOVE FINISHED FLOOR AIR CONDITIONING ALTERNATE ANCHORED ACCESS PANEL APPROXIMATE ARCHITECT	LAV LIN. FT. LG LLH LLV	LAVATORY LINEAR FEET LONG LONG LEG-HORIZONTAL LONG LEG-VERTICAL
BD BIT BLDG BLKS B.O.P BOT BRG	BOARD BITUMINOUS BUILDING BLOCKING BOTTOM OF FOOTING BOTTOM BEARING	MAG MATL MAX MECH MFR MIN MISC M.O MTD MTL	MASONRY MATERIAL MAXIMUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED METAL
CAB C.J CLG CLG HT CLO CLR CHU CNTRL JT C.O COL CONC CONT CORR C.T CTR	CENTER LINE CABINET CONSTRUCTION JOINT CEILING CEILING HEIGHT CLOSET CLEAR CONCRETE MASONRY UNIT CONTROL JOINT CLEAN OUT COLUMN CONCRETE CONTINUOUS CORRIDOR CERAMIC TILE CENTER	NAT N.G. NO NOM N.T.S	NATURAL NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
DBL DIA DIM DN DS DTL DWS	DIAMETER DOUBLE DRINKING FOUNTAIN DIAMETER DIMENSION DOWN DOWNSPOUT DETAIL DRAWING	PA PREFAB PREFIN PR PTD P.V.G	PAINTED GYPSUM BOARD PLATE PLASTIC LAMINATE PLYWOOD POLISHED PREFABRICATED PREFINISHED PAIR PRESSURE TREATED PAINTED POLYVINYL CHLORIDE
EA E.L ELEV EQ EQUIP E/X EX EX. EXST EXP EXT	EACH EXPANSION JOINT ELEVATION ELECTRIC EQUAL EQUIPMENT EACH WAY ELECTRIC WATER COOLER EXISTING EXPANSION EXTERIOR	R R.D RECEFT REINFC REQD REV RM R.O	REERS ROOF DRAIN RECEP/AGE REINFORCE REQUIRED REVISED ROOM ROOM OPENING
FD FE FEC FIN FL FLR FLOOR F.OEX FURR FT FTG GA GALV G.C GL GRD GYF BD, GNB	FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FLUORESCENT FACE OF EXISTING FURNISHURE FOOT/FEET FOOTING GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GRADE GYPSUM BOARD, GYPSUM	SCHED SECT SHT SIM SIMP SPEC SQ ST STL STD STL STOR STRUCT SUSP SYM	SCHEDULE SECTION SHEET SIMILAR SOLID MASONRY PIER SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL
H.C H.D H.W H.M HORIZ HT H/VAC	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING	T T&G TEL THK THRU T.O.S T.O.STL TYP	TREAD TONGUE & GROOVE TELEPHONE THICKNESS THROUGH TOP OF SLAB TOP OF STEEL TYPICAL
ID IN. INP INSUL INT	INSIDE DIAMETER INCHES HOLLOW METAL INSULATION INTERIOR	UDN VAR V.C.T VET VEST V.F V.MG	UNLESS OTHERWISE NOTED VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING

ROOM FINISH SCHEDULE																
ROOM NUMBER	ROOM NAME	FLOORS		WALLS						CEILING		REMARKS				
				NORTH		EAST		SOUTH		WEST			MATERIAL	HEIGHT		
		MATERIAL	BASE	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH					
3	CLASSROOM	VGT-1	VB-1	EXIST	PTD-1	EXIST	PTD-1	EXIST	GB/GB	PTD-1	EXIST	PTD-2	EXIST	ACT/GB	9'-6"	PAINT NEW GNB BRIGHT WHITE, EGGSHELL FINISH PATCH AND REPAIR EXISTING GNB, INSTALL NEW WTI (WEST WALL), PATCH AND REPAIR EXISTING C.T. FLOOR AND BASE ON NORTH, EAST AND SOUTH WALLS AS REQUIRED BY NEW WORK INSTALLATION.
3a	TOILET ROOM	EXIST/ACT-1	EXIST/ACT-1	EXIST	PTD-2	EXIST	PTD-2	EXIST	PTD-1	INT-1/PTD-1	EXIST	ACT	9'-6"			
3b	SUPPORT ROOM	EXIST	EXIST	EXIST	PTD-1	EXIST	PTD-1	EXIST	PTD-1	EXIST	PTD-1	EXIST	ACT	9'-6"	PAINT NEW GNB BRIGHT WHITE, EGGSHELL FINISH PATCH AND REPAIR EXISTING GNB, INSTALL NEW WTI (WEST WALL), PATCH AND REPAIR EXISTING C.T. FLOOR AND BASE ON NORTH, EAST, AND SOUTH WALLS AS REQUIRED BY NEW WORKS INSTALLATION.	
3c	SECURSION ROOM	VGT-1	VB-1	GB	PTD-1	EXIST/GB	PTD-1	GB	PTD-1	GB	PTD-1	GB/PTD-1	EXIST	ACT/GB		9'-6"
3d	CLASSROOM	VGT-1	VB-1	EXIST/GB	PTD-2	EXIST	PTD-1	EXIST	PTD-1	EXIST	PTD-1	EXIST	ACT/GB	9'-6"		
3e	TOILET ROOM	EXIST/ACT-1	EXIST/ACT-1	EXIST	PTD-2	EXIST	PTD-2	EXIST	PTD-2	EXIST/INT-1	INT-1/PTD-1	EXIST	ACT	9'-6"		

FINISH SELECTIONS SCHEDULE					REMARKS
TYPE	ABBR.	FINISH	SELECTION	SELECTION	
FLOORING	VGT-1	VINYL COMPOSITION TILE	MATCH EXISTING FIELD TILE IN EXISTING KINDERGARTEN CLASSROOMS TO REMAIN		
BASE	VB-1	VINYL BASE	NEW BLACK VINYL BASE TO MATCH EXISTING PROFILE AND TYPE		
WALL	PTD-1	TYPICAL WALL PAINT	MATCH EXISTING FIELD PAINT		VERIFY FIELD PAINT COLOR PRIOR TO DEMOLITION
WALL	PTD-2	ACCENT PAINT	MATCH EXISTING ACCENT PAINT		VERIFY ACCENT PAINT COLOR PRIOR TO DEMOLITION
WALL	PTD-3	DOOR FRAME PAINT	MATCH EXISTING		VERIFY PAINT COLOR PRIOR TO DEMOLITION
CEILING	ACT-1	ACOUSTICAL CEILING TILE	MATCH EXISTING		
CEILING	GB	GYPSUM WALL BOARD	NEW HIGH IMPACT GYPSUM WALL BOARD		PAINT WHITE, EGGSHELL FINISH
FLOOR TILE	CT-1	CERAMIC FLOOR TILE	MATCH EXISTING, PATCH AND REPAIR		
WALL TILE	WT-1	CERAMIC WALL TILE	MATCH EXISTING WALL TILE TO BE REMOVED		COLOR AND TYPE TO MATCH EXISTING REMOVED WALL TILE

PATCH & REPAIR EXIST. FINISHES AS REQ'D AT
CONSTRUCTION OF NEW WALLS, REMOVAL OF WALLS,
DOORS, FRAMES, EQUIPMENT, AND ACCESSORIES

WALL TYPES

WALL TYPE NOTES:

- EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF FINISHED EXISTING MASONRY, UNLESS OTHERWISE INDICATED.
- INTERIOR DIMENSIONS ARE TO THE FACE OF EXISTING WALLS AND/OR ARE TO FACE OF NEW MTL STUDS, UNLESS OTHERWISE INDICATED.
- WALL TYPES SHALL BE THE SAME CONTINUOUS TO END OF WALL OR NEXT WALL TYPE DESIGNATION UNLESS OTHERWISE INDICATED.
- SIMILAR WALL TYPES SHALL BE CARRIED ABOVE ALL DOORS, WINDOWS, AND OPENINGS UNLESS OTHERWISE INDICATED.
- OPENING DIMENSIONS ARE TO CENTER OF OPENINGS AT METAL FRAMING AND EDGE OF OPENING AT MASONRY.
- SEE SPECIFICATIONS OUTLINING SPECIFIC REQUIREMENTS FOR TYPES OF GYPSUM WALLBOARD THAT ARE REQUIRED.
- FIRESTOP ALL FRAMED PARTITIONS AS REQUIRED BY IBC 708.4.10.2 & 708.5.
- PROVIDE SMOKE PARTITIONS AND RATED WALLS AS REQUIRED BY CODE.
- ROOMS IN EXPOSED STRUCTURAL CEILING SHALL HAVE ALL WALLS RUN TIGHT TO DECK ABOVE.

RATED WALL TYPE NON-RATED WALL TYPE

TYPICAL WALL TYPES

SCALE: 1" = 1'-0"

SCALE 1 1/2 0 1/2 1 1/2 FEET

NEW NON-RATED INTERIOR MASONRY WALL PARTITION

STC - 54

SIM. GYT GNB AGAINST EXISTING WALL TO REMAIN

NEW ACOUSTICAL GYPSUM WALL PARTITION

STC - 54

SIM. GYT GNB AGAINST EXISTING WALL TO REMAIN

NEW ACOUSTICAL GYPSUM WALL PARTITION - PLAN VIEW

STC - 54

SIM. GYT GNB AGAINST EXISTING WALL TO REMAIN

EXISTING STUD WALL TO BE PATCHED AND REPAIRED

SCOPE OF WORK

- DEMOLISH EXISTING WALL BETWEEN CLASSROOM 31 AND CLASSROOM 33
- CONSTRUCT NEW SECURSION ROOM, ROOM 32, BETWEEN CLASSROOMS 31 AND 33.
- TOOTH-IN NEW HOLLOW METAL DOOR FRAME FOR ENTRY TO NEW SECURSION ROOM FROM CORRIDOR SIDE.
- REPLACE EXISTING PLUMBING FIXTURES AND ACCESSORIES INSTALLED AT APPROPRIATE CHILD HEIGHT ACCESSIBLE REQUIREMENTS.
- REMOVE AND REPLACE ALL FLOORING IN CLASSROOMS 31 AND 33.
- PROVIDE NEW PAINT ON ALL WALLS IN ROOMS 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- INSTALL NEW CASES AROUND ALL SPRINKLER HEADS TO REMAIN, INSTALL NEW RECESSED SPRINKLER HEAD IN SECURSION ROOM.
- REPLACE ALL LIGHTING WITH FLAT LED LIGHTING FIXTURES.
- REMOVE AND REPLACE EXISTING CHALKBOARDS WITH NEW MARKER-BOARDS AND TACK-BOARDS AT HEIGHTS SHOWN.

RECEIVED

JUL 23 2020

LICENSES & PERMITS DIVISION

CLASSROOM ALTERATION
TRIADELPHIA RIDGE E.S.
CLASSROOM ALTERATION
13400 TRIADELPHIA ROAD
ELLICOTT CITY, MD 21042
© COPYRIGHT 2000 PROFFITT & ASSOCIATES ARCHITECTS

ISSUE

REV DATE DESCRIPTION

1 07/15/20 PERMIT/BD SET

PROJECT NO.: 20-22

DATE: 07/15/2020

COVER SHEET

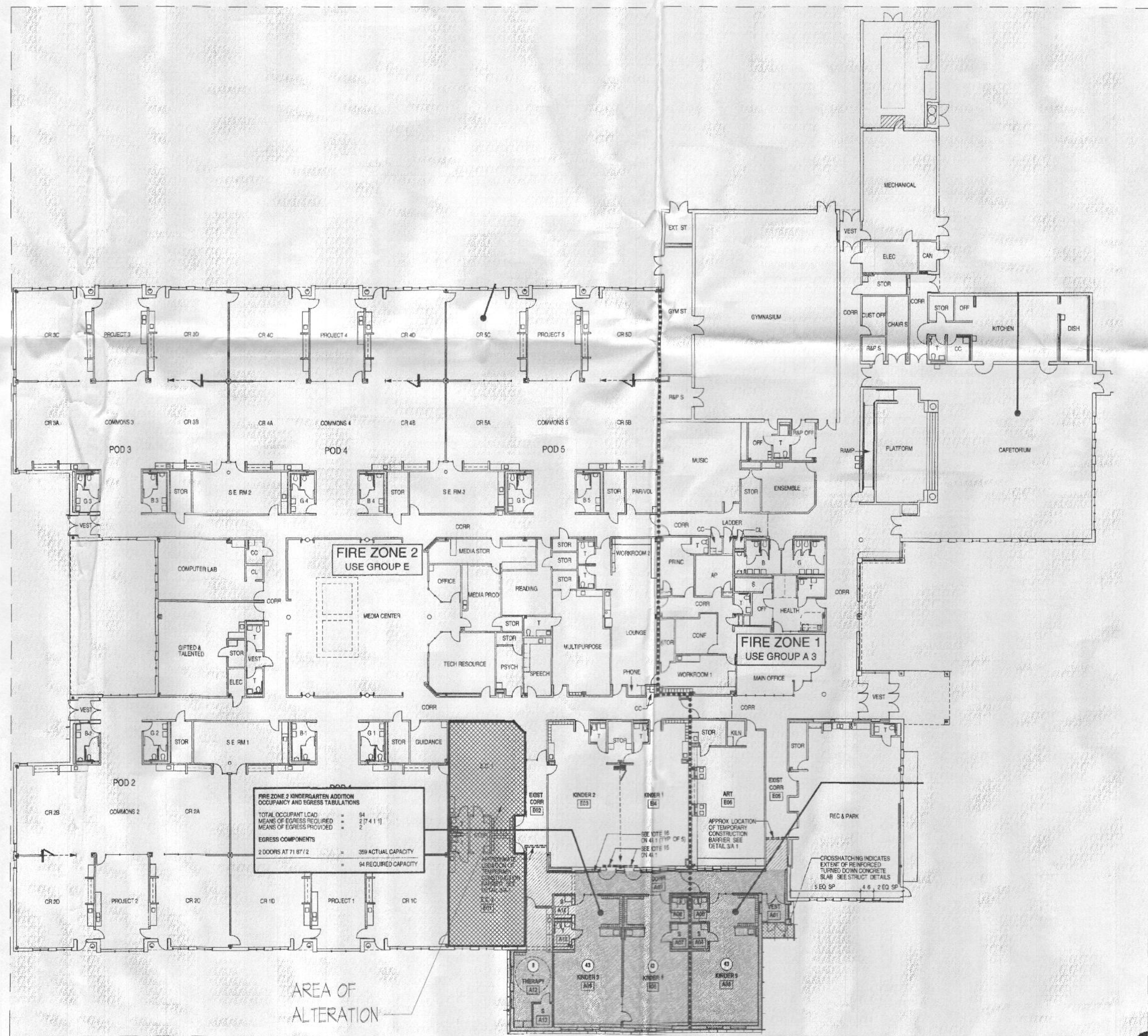
A0.1

CODE ANALYSIS				
CODE ANALYSIS	EXISTING BUILDING		PROPOSED ALTERATION	
	IBC (2018)	NFPA	IBC (2018)	NFPA
OCCUPANCY CLASSIFICATION	E	E	E	E
TYPE OF CONSTRUCTION	IIIB	IIIB	IIIB	IIIB
NUMBER OF STORIES ABOVE GRADE	1	1	1	1
HIGH RISE (Y/N)				N
COVERED MALL (Y/N)				N
IBC 510 PEDESTAL CONSTRUCTION (Y/N)				N
FULLY SPRINKLERED (Y/N)				Y
FIRE ALARM (Y/N)				Y
FLOOR AREA OF ALTERATION			1,818 S.F.	
EXISTING BUILDING AREA - FIRE ZONE 1			24,902 S.F.	
EXISTING BUILDING AREA - FIRE ZONE 2			46,235 S.F.	
EXISTING BUILDING AREA - TOTAL			71,137 S.F.	
ENERGY COMPLIANCE PATH			PRESCRIPTIVE	

APPLICABLE CODES:	
AUTHORITY HAVING JURISDICTION: HOWARD COUNTY	
1. BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE (IBC)
2. FIRE CODE:	2018 NFPA 101 LIFE SAFETY CODE (LSC)
3. MECHANICAL:	2018 INTERNATIONAL MECHANICAL CODE (IMC)
4. ENERGY:	2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
5. PLUMBING:	2018 INTERNATIONAL PLUMBING CODE (IPC)
6. FIRE ALARM:	NFPA 72: NATIONAL FIRE ALARM AND SIGNALING CODE, LATEST EDITION
7. ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE (NEC)
8. ACCESSIBILITY:	MARYLAND ACCESSIBILITY CODE (COMAR 05.02.02) & 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (2010 STANDARDS)

NOTE:

- ALL CODE ANALYSIS INFORMATION PROVIDED HEREIN WAS ORIGINALLY PREPARED BY TCA (ARCHITECT OF RECORD) AND IS PROVIDED FOR REFERENCE INFORMATION ONLY. MODIFICATIONS SHOWN IN THESE DOCUMENTS FOR THE PROJECT TO BE UNDERTAKEN DO NOT ALTER CODE COMPLIANCE. OCCUPANT LOAD AND EGRESS CONDITIONS ARE UNCHANGED FROM THE PREVIOUS BUILDING PLANS.
- THE PROPOSED RENOVATION DOES NOT MODIFY THE EXISTING BUILDING STRUCTURE OR ENVELOPE. THE SCOPE OF WORK PROPOSES NO REVISIONS TO THE OCCUPANCY TYPE, CONSTRUCTION TYPE, OR BUILDING HEIGHT OR AREA. OCCUPANT LOAD, CORRIDOR & MEANS OF EGRESS WILL NOT BE MODIFIED. ALL NEW AREAS WITHIN THE EXISTING BUILDING WILL COMPLY WITH CURRENT CODES. PER IBC CHAPTER 10, THE EXISTING BUILDING AREAS NOT BEING RENOVATED WILL REMAIN IN THEIR CURRENT CONDITION.
- EXISTING TOILET ROOMS (310 AND 330) MET THE REQUIRED 1991 ADA GUIDELINES AT THE TIME OF CONSTRUCTION. NEW WORK IN THE EXISTING TOILET ROOMS IS TO REPLACE THE EXISTING FIXTURES IN KIND. PER IBC AND PRIOR CONVERSATION WITH HOWARD COUNTY DEPARTMENT OF PERMITTING, THE EXISTING ROOM SIZE & CLEARANCES ARE NOT REQUIRED TO BE UPGRADED TO CURRENT ADAAS GUIDELINES.



1 OVERALL FLOOR PLAN
CA0.1 SCALE: N.T.S.

RECEIVED
JUL 23 2020
LICENSES & PERMITS
DIVISION

TRUE PLAN
NORTH NORTH

Proffitt & Assoc.
ARCHITECTS
48 SOUTH CARROLL STREET
FREDERICK, MARYLAND 21701
PHONE (301) 662-8532
FAX (301) 662-4192
info@proffittandassociates.com

I CERTIFY THAT THESE
DOCUMENTS WERE PREPARED
OR APPROVED BY ME AND
I AM A LICENSED ARCHITECT
OF THE STATE OF MARYLAND.
LICENSE No. 14510
EXPIRATION DATE 03-07-2022



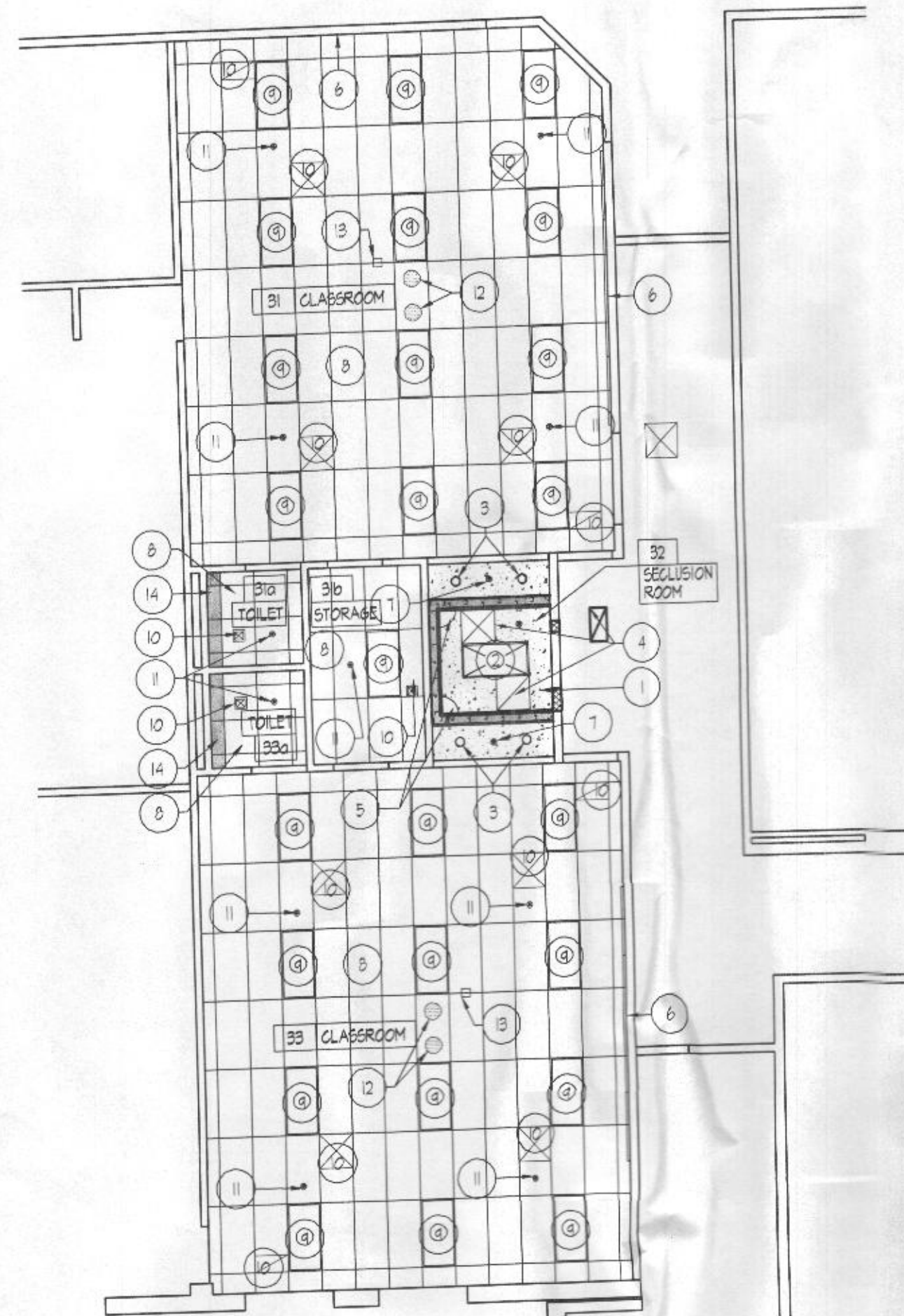
CLASSROOM ALTERATION
TRIADAPLHIA RIDGE E.S.
CLASSROOM ALTERATION
13400 TRIADAPLHIA ROAD
ELLCOTT CITY, MD 21042
© COPYRIGHT 2020 PROFFITT & ASSOCIATES, INC.

ISSUE		
REV	DATE	DESCRIPTION
1	07/15/20	PERMIT/BID SET

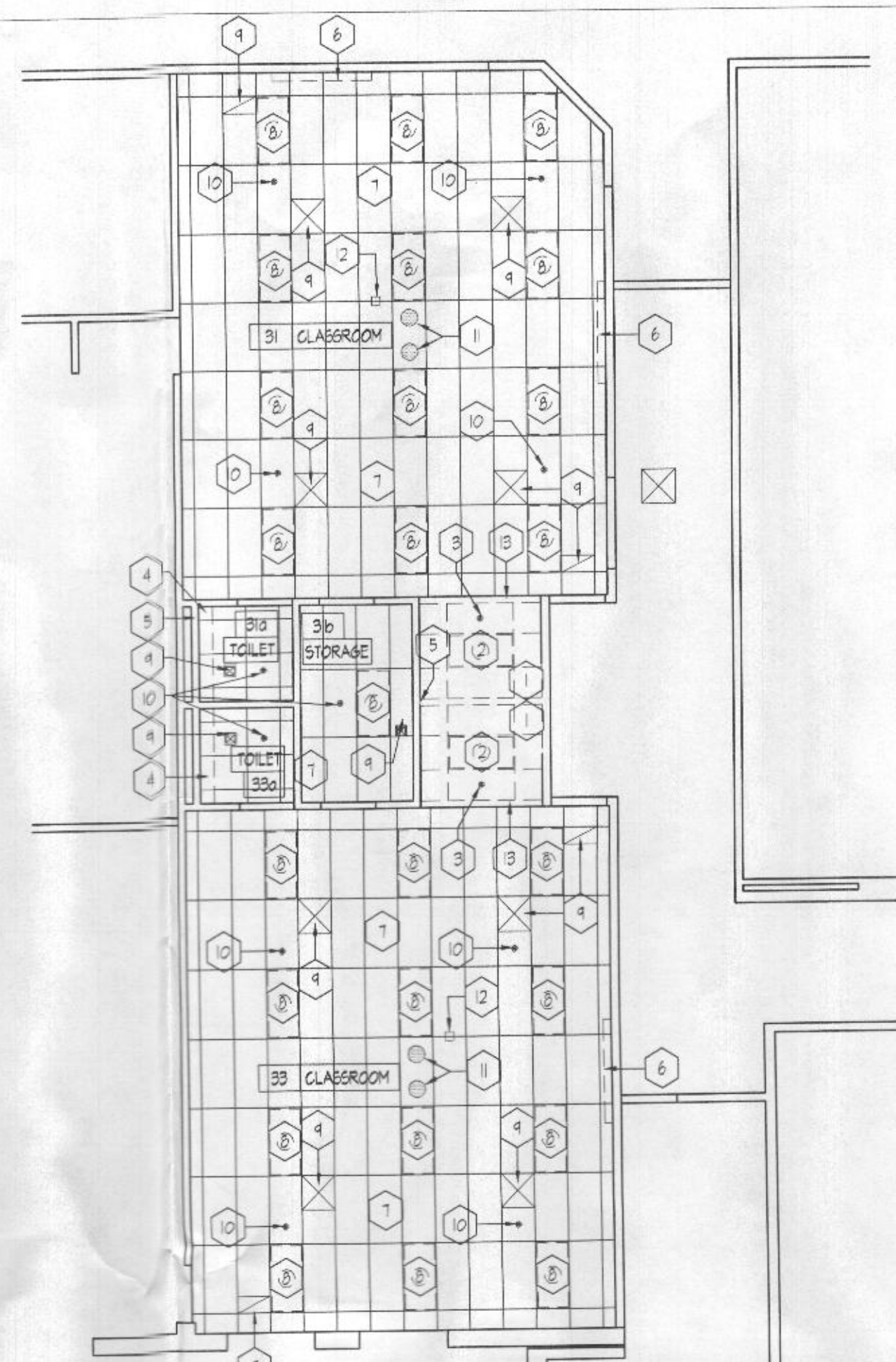
PROJECT NO: 20-22
DATE: 07/15/2020

CODE ANALYSIS

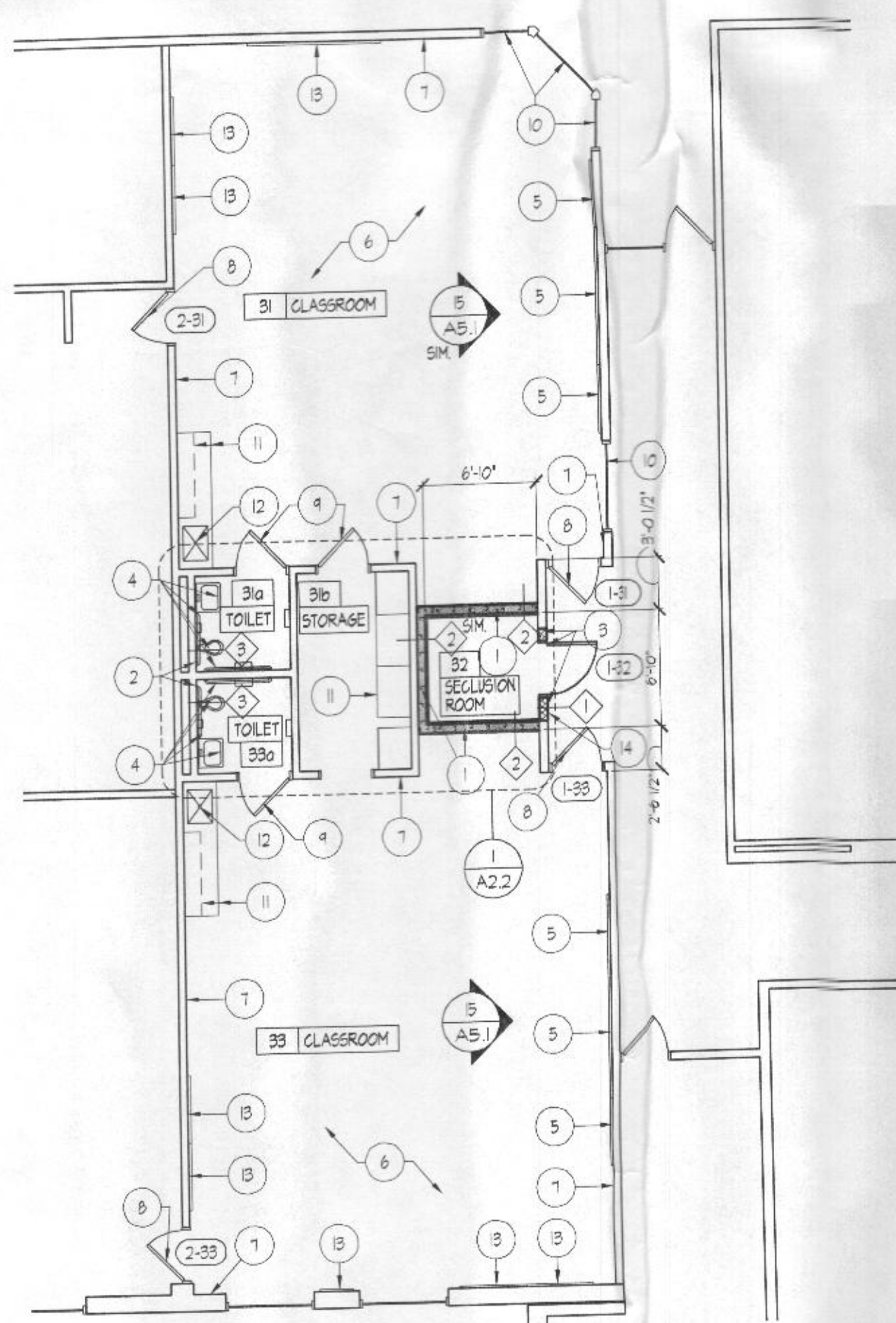
CA0.1



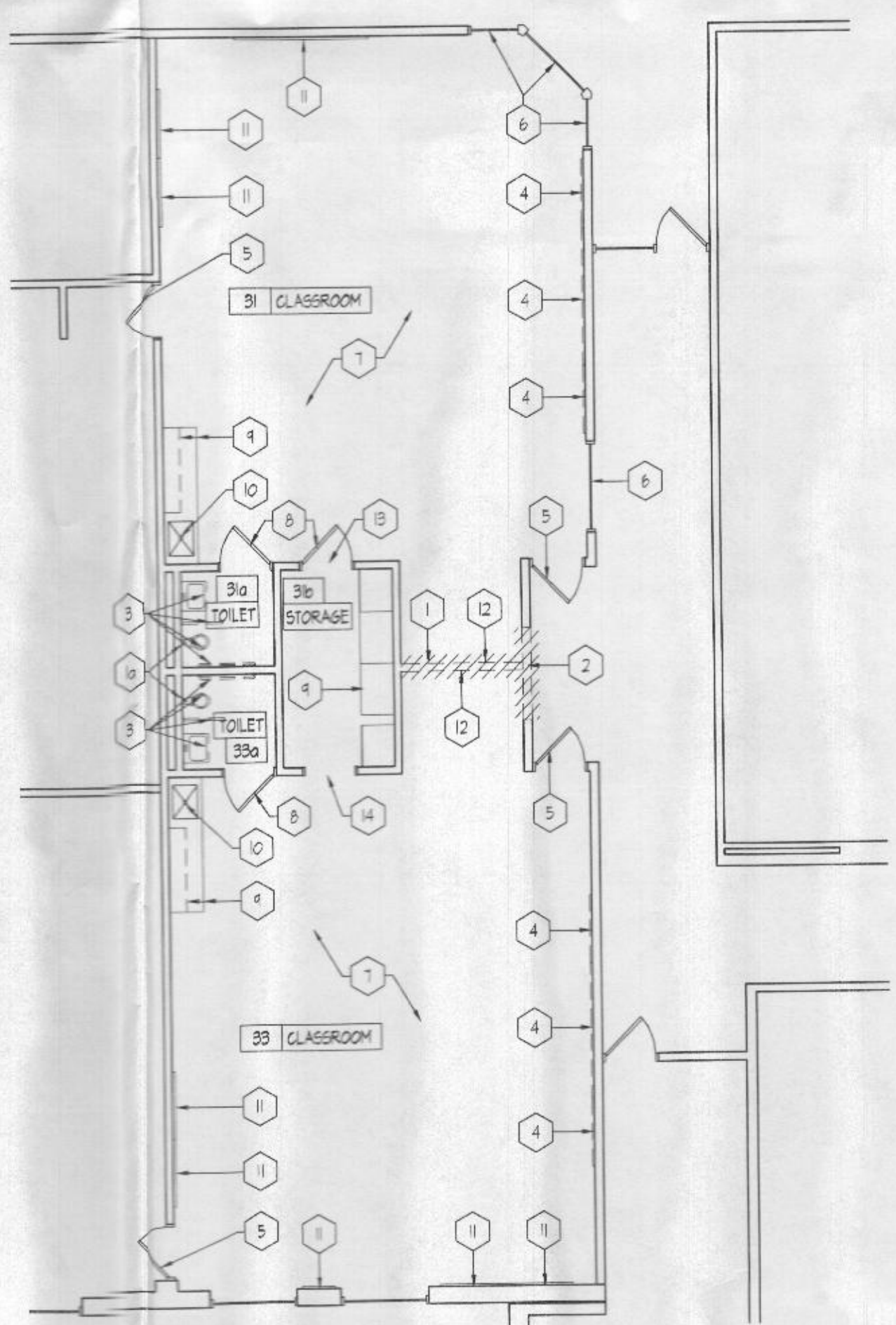
4
A2.1
PARTIAL REFLECTED CEILING PLAN - NEW WORK
SCALE: 1/8" = 1'-0"
TRUE PLAN NORTH NORTH



3
A2.1
PARTIAL REFLECTED CEILING PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"
TRUE PLAN NORTH NORTH



2
A2.1
PARTIAL FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"
TRUE PLAN NORTH NORTH



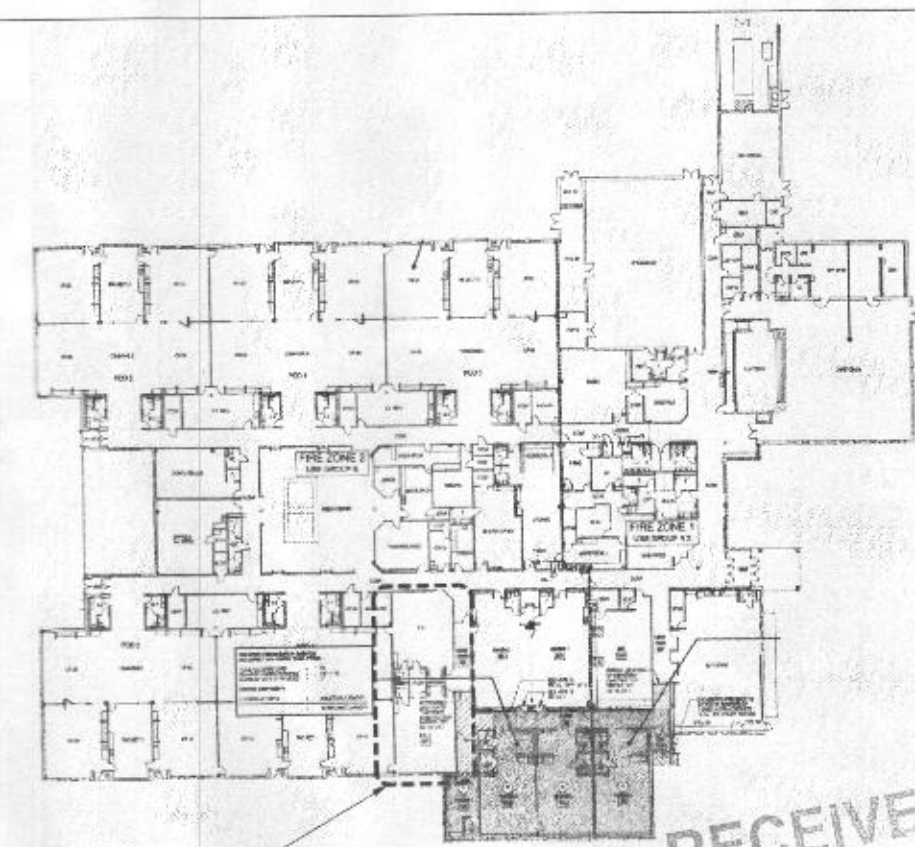
1
A2.1
PARTIAL FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"
TRUE PLAN NORTH NORTH

- RCP NOTES - NEW WORK (X)
1. NEW PAINTED GYPSUM WALL BOARD CEILING SYSTEM ON NEW STEEL STUD FRAMING.
 2. NEW RECESSED 2x4 LIGHT FIXTURE WITH SHATTER RESISTANT LENS COVER.
 3. NEW RECESSED DOWNLIGHT.
 4. NEW SPRINKLER HEAD WITH PROTECTIVE COVER.
 5. NEW CONVEX MIRROR WITH FULL ROOM COVERAGE. INSTALL MIRROR TIGHT TO SURFACE OF ADJACENT WALLS/CEILING, WITH SEALANT AROUND PERIMETER. INSTALL SUCH THAT STUDENTS CANNOT GET A GRIP ON EDGES OF MIRROR.
 6. PATCH AND REPAIR EXISTING WALL TO REMAIN AT LOCATION OF REMOVED PROJECTION SCREEN AND BLOCKING. BLEND REPAIR TO BE INDISTINGUISHABLE FROM EXISTING WALL @ 3'-0" DISTANCE.
 7. RELOCATED EXISTING SPRINKLER HEAD WITH PROTECTIVE COVER.
 8. EXISTING CEILING TILE AND GRID SYSTEM TO REMAIN, REPLACE DAMAGED OR STAINED TILES AS REQUIRED.
 9. NEW LED LIGHT FIXTURE WITH FLAT PANEL LENS, INSTALLED IN EXISTING FIXTURE LOCATION. CONNECT TO PREVIOUSLY SECURED WIRING.
 10. EXISTING MECHANICAL TERMINATION TO REMAIN.
 11. EXISTING SPRINKLER HEAD TO REMAIN, INSTALL NEW PROTECTIVE COVERS.
 12. EXISTING SPEAKER TO REMAIN.
 13. EXISTING WIRELESS ACCESS POINT TO REMAIN.
 14. REINSTALL EXISTING CEILING TILE AND GRID SYSTEM REMOVED FOR INSTALLATION OF NEW WORK, INDICATED BY SOLID HATCHED AREA.

- RCP NOTES - DEMOLITION (X)
1. EXISTING CEILING TILE AND GRID SYSTEM TO BE REMOVED.
 2. EXISTING 2x4 LIGHT FIXTURE TO BE REMOVED.
 3. EXISTING SPRINKLER HEAD TO BE RELOCATED.
 4. EXISTING CEILING TILE AND GRID SYSTEM TO BE TEMPORARILY REMOVED AND STORED AS REQUIRED FOR REPAIR OF EXISTING PLUMBING WALL. REINSTALL EXISTING GRID AND TILE AFTER NEW WORK. REPLACE ANY DAMAGED OR STAINED TILES.
 5. EXISTING WALL TO BE PATCHED AND REPAIRED AS REQUIRED.
 6. EXISTING PROJECTION SCREEN AND BLOCKING TO BE COMPLETELY REMOVED.
 7. EXISTING CEILING TILE AND GRID SYSTEM TO REMAIN, REPLACE DAMAGED OR STAINED TILES AS REQUIRED.
 8. EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED, TEMPORARILY SECURE EXISTING WIRING AND PREPARE FOR INSTALLATION OF NEW LIGHT IN EXISTING LOCATION.
 9. EXISTING MECHANICAL TERMINATION TO REMAIN.
 10. EXISTING SPRINKLER TO REMAIN.
 11. EXISTING SPEAKER TO REMAIN.
 12. EXISTING WIRELESS ACCESS POINT TO REMAIN.
 13. EXISTING GYPSUM BULKHEAD TO REMAIN, PAINT TO MATCH EXISTING.

- NEW WORK KEY NOTES (X)
1. NEW ACOUSTICAL STEEL STUD WALL, TO UNDERSIDE OF DECK ABOVE. INSTALL DEFLECTION TRACK ALONG EXISTING DECK. INSTALL NEW ACOUSTICAL SEALANT WHERE WALL MEETS EXISTING DECK ABOVE.
 2. PATCH AND REPAIR EXISTING GNB WALL AS REQUIRED FOR INSTALLATION OF NEW WORK, INSTALL NEW WALL TILE ON EXISTING GYPSUM WALL.
 3. NEW WOOD DOOR AND HOLLOW METAL FRAME SYSTEM TO MATCH EXISTING IN ALL ASPECTS. TOOTH-IN FRAME MASONRY TO MATCH EXISTING COURSEING TO REMAIN.
 4. NEW ACCESSIBLE PLUMBING FIXTURES. INSTALL SALVAGED ACCESSORIES IN LOCATIONS INDICATED IN PLANS, ELEVATIONS, AND DETAILS.
 5. NEW MARKER BOARD AND TACK BOARDS.
 6. NEW FINISHED FLOOR.
 7. NEW FINISH PAINT ON ALL EXISTING WALLS TO REMAIN.
 8. EXISTING DOOR AND FRAME SYSTEM TO BE MODIFIED, INSTALL NEW PLEXI-GLASS GLAZING UNIT IN EXISTING DOOR.
 9. EXISTING DOOR AND FRAME SYSTEM TO REMAIN.
 10. EXISTING WINDOW SYSTEM TO BE MODIFIED, INSTALL NEW PLEXI-GLASS GLAZING UNITS IN EXISTING FRAME. REINSTALL SALVAGED BLINDS IN THEIR ORIGINAL LOCATION.
 11. EXISTING CASEWORK TO REMAIN.
 12. EXISTING SINK TO REMAIN.
 13. EXISTING MARKER AND TACK BOARDS TO REMAIN.
 14. INSTALL SALVAGED ROOM NUMBER SIGN (32) ABOVE NEW SECLUSION ROOM DOOR, CENTER ROOM SIGN IN MIDDLE OF DOOR FRAME HEAD.

- DEMOLITION KEY NOTES (X)
1. EXISTING GYPSUM WALL TO BE COMPLETELY REMOVED AS REQUIRED FOR INSTALLATION OF NEW WORK.
 2. EXISTING WALL TILE TO BE COMPLETELY REMOVED, PATCH AND REPAIR EXISTING GYPSUM WALL AS REQUIRED AFTER REMOVAL OF EXISTING FIXTURES.
 3. EXISTING MASONRY WALL TO BE REMOVED AS REQUIRED FOR TOOTH-IN OF NEW WOOD DOOR AND HOLLOW METAL FRAME SYSTEM, PROVIDE TEMPORARY SHORING AS REQUIRED.
 4. EXISTING PLUMBING FIXTURES AND ALL TOILET ACCESSORIES TO BE COMPLETELY REMOVED.
 5. EXISTING CHALK AND TACK BOARDS TO BE COMPLETELY REMOVED, PATCH AND REPAIR EXISTING WALL WHERE NOT COVERED BY NEWLY INSTALLED MARKER AND TACK BOARDS.
 6. EXISTING DOOR TO BE MODIFIED, REMOVE EXISTING GLAZING AND PREPARE FOR INSTALLATION OF NEW NON-GLASS GLAZING UNITS.
 7. EXISTING INTERIOR WINDOW SYSTEM TO BE MODIFIED, REMOVE EXISTING GLAZING UNITS AND PREPARE FOR INSTALLATION OF NON-GLASS GLAZING UNITS. REMOVE, SAVE, AND STORE EXISTING BLINDS FOR RE-INSTALLATION AFTER NEW WORK IS COMPLETED.
 8. EXISTING VICTI CARPET FLOOR FINISH AND WALL BASE TO BE COMPLETELY REMOVED.
 9. EXISTING DOOR AND FRAME SYSTEM TO REMAIN.
 10. EXISTING SINK TO REMAIN.
 11. EXISTING TACK BOARDS TO REMAIN.
 12. EXISTING FURNITURE AND ACCESSORIES (CUBBIES, HOOKS, TRIM, ETC.) TO BE COMPLETELY REMOVED. TURN FURNITURE AND ACCESSORIES OVER TO THE SCHOOL FOR THEIR USE.
 13. REMOVE EXISTING ROOM NUMBER SIGN (32) AND REINSTALL AT LOCATION OF NEW SECLUSION ROOM DOOR.
 14. REMOVE EXISTING ROOM NUMBER SIGN (32) FROM DOOR FRAME AND TURN OVER TO THE OWNER.

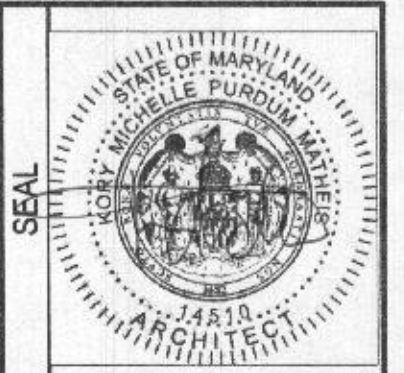


KEY PLAN
SCALE: N.T.S.
JUL 23 2020
RECEIVED
LICENSES & PERMITS DIVISION



49 SOUTH CARROLL STREET
FREDERICK, MARYLAND 21701
PHONE (301) 682-8532
FAX (301) 682-4192
info@proffittandassociates.com

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED ARCHITECT OF THE STATE OF MARYLAND.
LICENSE No. 14310
EXPIRATION DATE 03-07-2022



CLASSROOM ALTERATION
TRIADELPHIA RIDGE E.S.
CLASSROOM ALTERATION
13400 TRIADELPHIA ROAD
ELLICOTT CITY, MD 21042

ISSUE		
REV	DATE	DESCRIPTION
1	07/15/20	PERMITS SET

PROJECT NO.: 20-22
DATE: 07/15/2020
PARTIAL FLOOR AND REFLECTED CEILING PLANS - DEMOLITION AND NEW WORK
A2.1