



Health

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B20000 455

Building Address: 3635 Pauers Collyer
City: W. Friendship State: MD Zip Code: 21794
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 4
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work: INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Braimer Property
Address: 12126 Rte 24
City: W. Friendship State: MD Zip Code: 20758
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: AIR GAS
Contact Person: DENNIS FEAGA
Address: 6750 MACLEAN DRIVE STE B
City: GLEN BURNIE State: MD Zip Code: 21060
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address
PERMITS
Title/Company

MICHELLE CLANCY
Print Name
Date: 2/7/20

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	2/25/20	REFA

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 110.00
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 7383

Distribution of Copies: White: Building Officials

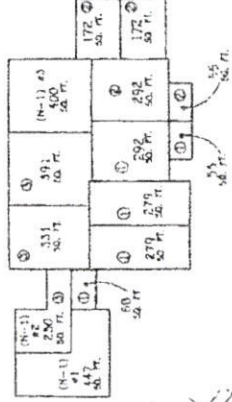
Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

2. UTILITIES: UNDERGROUND UTILITIES: STORMWATER MANAGEMENT FOR LOT 6 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (N-2) FOR THE DRIVEWAY AREA AND 3 ROOFTOP DISCONNECTION (N-1), & 3 DRYWELLS (N-3), FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



HOUSE DOWNSPOUT DRAINAGE AREAS

SCALE: 1"=30'

Approved for UPT
B2000455
2/25/20

OWNER/DEVELOPER
157 JONES
9720 PATRIST WOOD DRIVE
CALIFORNIA, MD 21014
410-378-3976

NOTE: NO GRAVITY SEWER SERVICE FOR BASMENT

PAUPERS FOLLY LANE
(PRIVATE USE-IN-COMMON DRIVEWAY)
PERMIT SITE PLAN
BELVEDERE ESTATES
LOT 6

3635 PAUPERS FOLLY LANE

ZONED: RC-DICO
TAX MAP NO. 22 GRID NO.: 0 PARCELS NO.: 116 AND PLO 7
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DEC. 11, 2019
SHEET 1 OF 1

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0015, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CAETER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

FISHER, COLLINS & CAETER, INC.
333 N. WASHINGTON STREET, SUITE 200
ANNAPOLIS, MD 21403
410-291-1100

PLAN
SCALE: 1"=30'

K:\SDS\PROJ\71160 Bearmen Property\dwg\PERMIT PLANS\71160 belvedere resite base lots 2-11.dwg, 12/11/2019 10:59:09 AM, DWG To PDF.pc3

1000 GAC under gravel.

B2000455



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B1900 4282

Building Address: 3635 Paupers Folly Lane
City: West Friendship State: MD Zip Code: 21794
Suite/Apt. #: _____ SDP/WP/BA #: GP-19-90
Subdivision: Belvedere Estates
Lot: 6 Tax Map: _____ Parcel: _____

Existing Use: Vacant lot
Proposed Use: Single family house
Estimated Construction Cost: \$ 230,000
Description of Work: New 2 story "Marymount" BLV with 2 car side garage and 2 car front attached garage, 1st floor suite, and finished lower level (Rec Room, area #2, Bed room, bath) 12 rooms, 5 full baths, 1 1/2 bath, 6 bedrooms
Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: NVR Inc.
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Service
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7912 Fax: _____
Email: jim@decaturbuildingservices.com

Contractor Company: NV Homes
Contact Person: Clint Cagle
Address: 9720 Patuxent Woods Dr
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: ccagle@nvrinc.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: <u>2</u>	Depth _____ Width _____
Gross area, sq. ft./floor: = <u>6970</u>	1st floor: <u>45</u> x <u>103</u>
<u>OGSF = 6970</u>	2nd floor: <u>40</u> x <u>54</u>
Area of construction (sq. ft.): _____	Basement: <u>45</u> x <u>103</u>
Use group: _____	<input checked="" type="checkbox"/> Finished Basement
<u>Performance Method</u>	<input type="checkbox"/> Unfinished Basement
Construction type: _____	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Structural Steel	No. of Bedrooms: <u>6</u>
<input type="checkbox"/> Masonry	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Wood Frame	No. of efficiency units: _____
<input type="checkbox"/> State Certified Modular	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kegan Print Name: Jim Kegan
Email Address: jim@decaturbuildingservices.com Date: 12/16/2019
Agent/ NV Homes
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)	2/17/19	
PSZA (Engineering)		
Health	1/9/2020 H. Oswald	

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: <u>30</u> / <u>54</u>
Rear: <u>30</u> / <u>203</u>
Side: <u>10</u>
Side St.: _____
All minimum setbacks met? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

NO MITT

Filing Fee	\$ <u>150.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>30882</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, January 07, 2020 9:25 AM
To: Dave Harward, III
Subject: RE: B19004282_3635 Paupers Folly Lane

Hi Dave:

I just have a couple of comments regarding Lot 6.

- ✓1.) Show perc test hole locations on the OSDS plan.
- ✓2.) B & FF elevations on the plan don't match the elevations in the list and profile. i.e. B Elev. on plan = 576.56 but list and profile shows B= 576.20
- ✓3.) The correct application rates were used in the calculations for the initial and 1st replacement system but are listed incorrectly in the calculation. The calculation shows 1.2 (should be 0.8 for both).
- ✓4.) Should show slot in tank spec but not huge deal.

Thanks,

Hank

From: Dave Harward, III <DaveH@fcc-eng.com>
Sent: Monday, January 06, 2020 10:53 AM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Subject: RE: B19004282_3635 Paupers Folly Lane

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Re: B19004282, 3635 Paupers Folly Lane

Hank,

I just wanted to let you know that you should see that the OSDS plan for this lot (Belvedere Lot 6) was delivered to your office this morning. Also, Lot 5 was sent, but that is not needed anytime very soon...they have not gone in for permit on Lot 5 yet.

Lot 6 is of course the priority.

Any questions or comments, please let me know.
Thank You Hank,

Dave.

From: Dave Harward, III
Sent: Friday, January 03, 2020 2:05 PM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Cc: Cagle, Clint <ccagle@nvrinc.com>; Jim Kerwin (jim@decaturbuildingservices.com) <jim@decaturbuildingservices.com>; Anastasia, James <janastas@nvrinc.com>
Subject: RE: B19004282_3635 Paupers Folly Lane

Hi Hank,

This was supposed to be delivered to you today, unfortunately it was not possible to do so. It will be at your office Monday morning.

Thank You,
Dave.



From: Cagle, Clint <ccagle@nvrinc.com>
Sent: Friday, January 03, 2020 1:57 PM
To: 'JIM@DECATURBUILDINGSERVICES.COM' <JIM@DECATURBUILDINGSERVICES.COM>; Dave Harward, III <DaveH@fcc-eng.com>
Cc: Anastasia, James <janastas@nvrinc.com>; Oswald, Hank <hoswald@howardcountymd.gov>
Subject: RE: B19004282_3635 Paupers Folly Lane

Hi Dave,
See the below email from Hank. Can you follow-up.

Thanks,

Clint Cagle | NVHomes | 301-237-5776

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Friday, January 3, 2020 1:01 PM
To: 'JIM@DECATURBUILDINGSERVICES.COM' <JIM@DECATURBUILDINGSERVICES.COM>; Cagle, Clint <ccagle@nvrinc.com>
Subject: [Ext] B19004282_3635 Paupers Folly Lane

To All:

Our office is in receipt of a building permit, site plan and floor plans for 3635 Paupers Folly Lane. At your earliest convenience, please forward 2 copies of an Onsite Sewage Disposal Site Plan for review.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov



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Lot 6
3635 Paupers Folly Lane

MARYMOUNT

B19004282

Health Dept

DIV-COMM-LOT-UNIT		
MDE-BV-0006		
COMM-LOT		
BELVEDERE ESTATES - 0006		
STREET ADDRESS		
3635 PAUPERS FOLLY LANE		
CITY	STATE	ZIP
REST. FRIENDSHIP	MD	21794

6 BRS



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	STD. DIMS.	FULL BASEMENT	STANDARD DETAILS
SPEC SHEET	93		AD-1
ELEVATIONS	3		AD-2
FOUNDATIONS	4		DR-1
FOUNDATION HOLD DOWNS	11		DR-2
PLUMBING	21		DR-3
BASEMENT FLOOR PLAN	22		ET-1
FIRST FLOOR PLAN	25		ET-10
SECOND FLOOR PLAN	26		ET-11
BUILDING SECTIONS - Foyer	33		ET-2
BUILDING SECTIONS - GARAGE	35		ET-3
STAIR SECTIONS	31		ET-3B
KITCHEN	40		F-1
KITCHEN - KET BAR / BOOKCASE	44		F-1B
KITCHEN - LAUNDRY	45		F-2
BATHS	46		F-3
BASEMENT ELECTRICAL	41		F-3B
FIRST FLOOR ELECTRICAL	50		FA-1
SECOND FLOOR ELECTRICAL	54		FC-1
FIRST FLOOR FRAMING	55		FC-2
SECOND FLOOR FRAMING	60		FC-4
ROOF FRAMING	6		FD-1
ROOF FRAMING - RIDER	65.2		FD-2
TRUSS BRACING	66		FD-2B
HALL BRACING LAYOUT	68		FD-3
HVAC LAYOUT - BASEMENT	12		FD-3B
HVAC LAYOUT - GRANT SPACE	74		GH-1
HVAC LAYOUT - FIRST FLOOR	75		IT-1
HVAC LAYOUT - SECOND FLOOR	18		IT-1B
			IT-1C
			IT-2
			IT-4
			IT-5
			IT-5B
			KT-1
			RF-1
			RF-1B
			RF-1C
			SH-1
			SEP-2
			SEP-3
			SEP-4
			SP-1
			SP-2
			SP-3
			ST-1
			ST-3B
			MB-1
			MB-2
			MB-3
			MB-3B
			MD-1
			MD-2
			MD-3
			NS-1

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1146 SF
1ST FLOOR W/ SUITE FIRST FLOOR	352 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	101 SF
1ST FLOOR ELEVATION "L" (ADD SF)	31 SF
	2246 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "L" (ADD SF)	60 SF
	2132 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT OR SIDE ENTRY GARAGE	504 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	501 SF
	1023 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	885 SF
FINISHED BASEMENT AREA "D" W/ ELEV "L" (ADD SF)	414 SF
BASEMENT BEDROOM (ADD SF)	246 SF
FINISHED REAR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	114 SF
	1766 SF

TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1146 SF
1ST FLOOR ELEVATION "L" (ADD SF)	31 SF
1ST FLOOR W/ TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY	101 SF
2ND FLOOR (BASE SF)	2072 SF
2ND FLOOR ELEVATION "L" (ADD SF)	60 SF
BASEMENT BEDROOM (ADD SF)	246 SF
FINISHED BASEMENT	885 SF

SET - VERSION

2000 - 01

CS-1

CS:\NVR\Server\MARYMOUNT_12000_01\MDE-BV-0006\1483246\Sheet\Lot_Sheet\CS-1_COVERSHEET.dwg 31/28/13 - 7:55 am



NOTE:
GRILLES IN GLAZING OF ALL
EXTERIOR DOORS AND
SIDELIGHTS TO BE OMITTED
WITH BRONZE ANODING

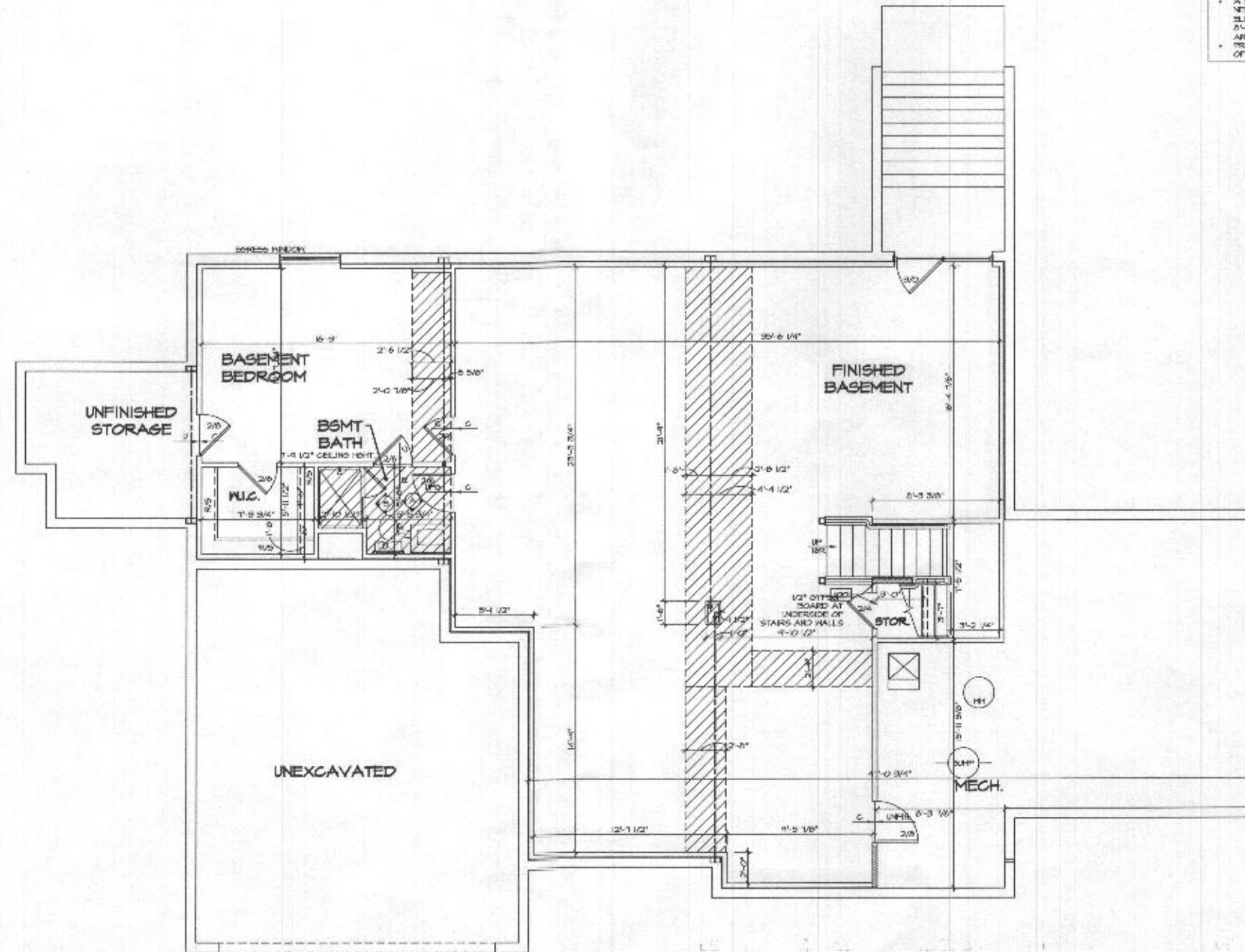
BASEMENT JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	BBS. NPL	REMARKS
J201	JACK - (2) 2x4 SFE SIZED GRADE		10021	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE PG. DETAILS FOR FRAMING CONNECTORS

- ### FLOOR PLAN NOTES
1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x4 WALLS, UNLESS OTHERWISE NOTED.
 2. ALL HEADERS TO HAVE (2) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 8" (2") UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 5. SEE "SHAVED" WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING, LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 6. ALL WINDOWS HAVE 1-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 7. ALL GATED OPENINGS AT 7'-0", UNLESS OTHERWISE NOTED.

- ### GYPSUM NOTES
- AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
1/2" GYPSUM BOARD AT INSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION "501" - DRYWALL UNFINISHED BASEMENT CEILING AREA.
- ### NOTES:
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NOTED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

BY COMM. LOT UNIT
MDE-BV-0006
COMM. LOT
BELVERE ESTATES - 0006
STREET ADDRESS
BASE PAUPERS FOLLY LANE
CITY
WEST PENNSYLVANIA
STATE
MD
ZIP
21744

1. NVR, INC. is a professional engineering firm. It is not a contractor. It is not responsible for the construction of the project. It is only responsible for the design of the project. It is not responsible for the construction of the project. It is only responsible for the design of the project.

NVR
NVR, Inc. Suite 100
6000 Westinghouse Blvd.
Frederick, MD 21703

SET NO. 10000
VERSION C1
DRAWN BY
DATE
OPTION

MODE
MARYMOUNT
DRAWING TITLE
BASEMENT FLOOR PLAN
SECTION DESCRIPTION

SHEET NO.
A-6
22

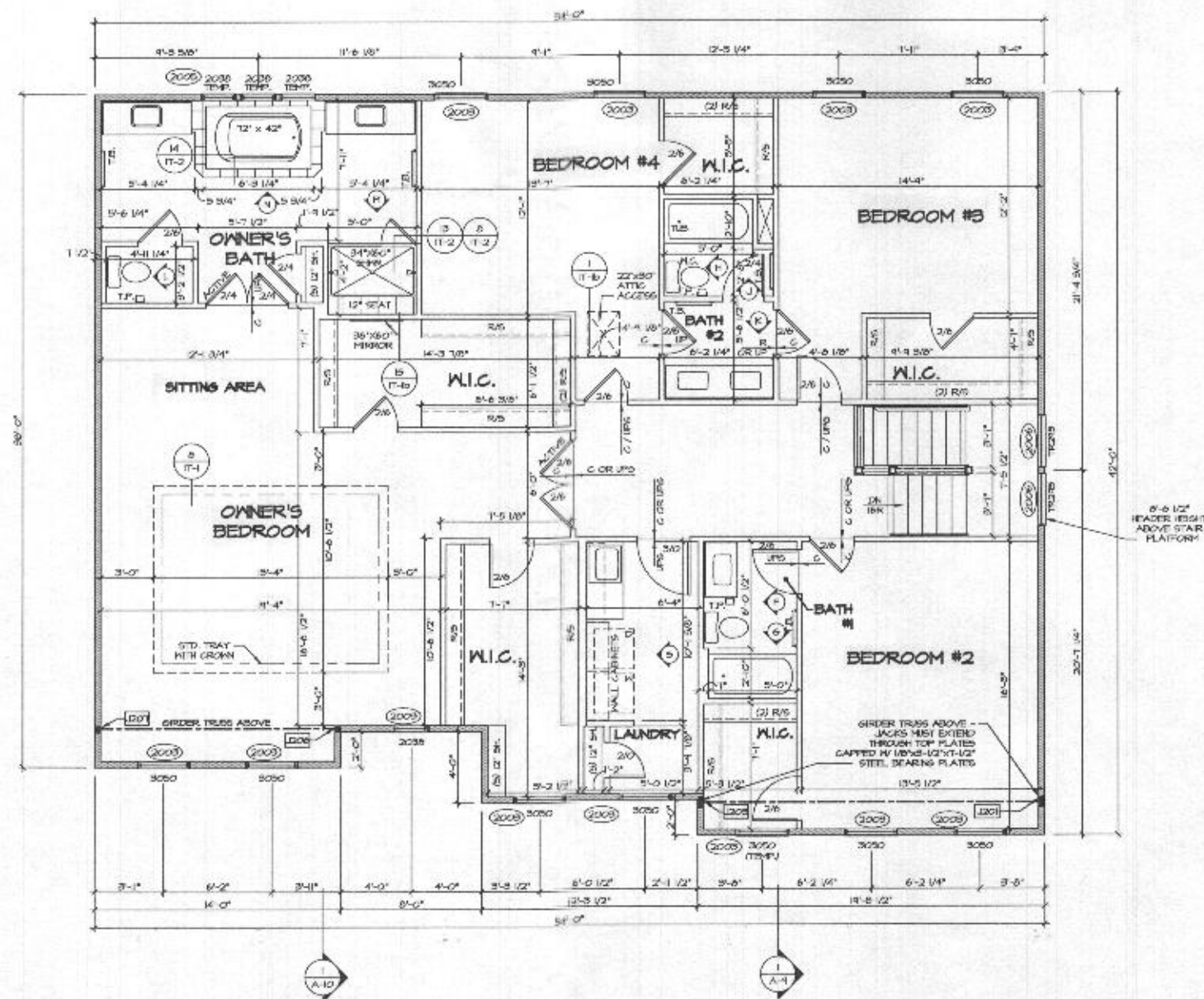
CA:\NVA\Solva\NVA\Solva\MOUNT-10000-01\NVA-MDE-BV-0006\1493246\Sheet\Lot_Spec\PA-22-A-6-10SM-15.dwg 11/28/19 7:58 am

[illegible]

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENG. N.N.	REMARKS
J201	JACK - (B) 2X4 SPM	ELL	2001	MUST EXTEND THROUGH TOP PLATE, CAP WITH 1/2" x 9-1/2" x 1-1/2" STEEL BEARING PLATE
J202	JACK - (B) 2X4 SPM	ELL	2001	MUST EXTEND THROUGH TOP PLATE, CAP WITH 1/2" x 9-1/2" x 1-1/2" STEEL BEARING PLATE
J203	JACK - (B) 2X4 SPM	ELL	2001	
J204	JACK - (B) 2X4 SPM	ELL	2001	

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2X6 W/ 3/4" WALLS OR (2) 2X6 W/ 2X6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2X4 OR 2X6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 2" UNLESS OTHERWISE NOTED.
 - SEE "WALLS" HALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - ALL WINDOWS HAVE 1-1/2" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT 7-1/2" UNLESS OTHERWISE NOTED.

- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - RAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - I.M.
 - ENGINEERING PAGE NUMBER
- SEE PG. DETAILS FOR FRAMING CONNECTIONS



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

MD-BV-0006

DEVELOPER: MARYMOUNT
STREET ADDRESS: 10000
CITY: MARYMOUNT
STATE: MD
ZIP: 21764

THE OWNER, MARYMOUNT, IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE DEVELOPER. THE DEVELOPER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.

NVR
NVR, Inc.
5200 Westchase Blvd.
Frederick, MD 21704

SET NO. 10000
VERSION: 01
DRAWN BY: [blank]
DATE: [blank]
OPTION: [blank]

MODEL: MARYMOUNT
DRAWING TITLE: SECOND FLOOR PLAN
OPTION DESCRIPTION: [blank]

SHEET NO. A-8
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