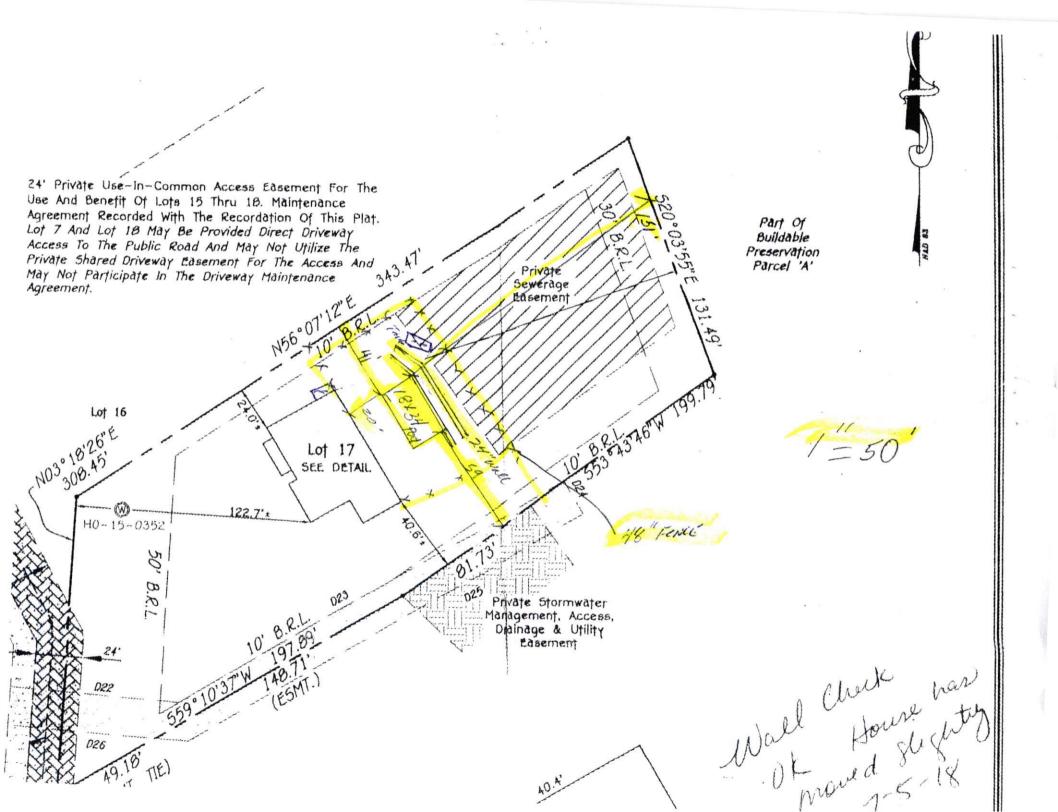
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From:	NOVA POOL AND SPA SERVICE AND SPA SERVICE <nova9@comcast.net></nova9@comcast.net>
Sent:	Thursday, September 10, 2020 9:28 AM
То:	Oswald, Hank
Subject:	Fwd: Kriskovich signed letter for B20002731
Attachments:	ATT00001.htm; kriskovich letter to county setback.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

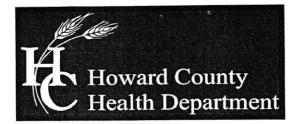
Morning Hank Here is the signed letter from homeowner for the waiver on permit above Thanks Zena Please confirm received

.

------ Original Message ------From: Jerry Kriskovich <kriskovich.jerry@gmail.com> To: NOVA POOL AND SPA SERVICE AND SPA SERVICE <nova9@comcast.net>, Jerry Kriskovich <kriskovich.jerry@gmail.com> Date: 09/10/2020 9:23 AM Subject: Fwd: Kriskovich signed letter

Here you go. Thanks

------ Forwarded message ------From: Jerry Kriskovich <<u>jkriskovich@opcmiajobcorps.org</u>> Date: Thu, Sep 10, 2020 at 9:21 AM Subject: Kriskovich signed letter To: kriskovich Jerry <<u>kriskovich.jerry@gmail.com</u>>



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045 Main: 410-313-2640 | Fax: 410-313-2648 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org Facebook: www.facebook.com/hocohealth Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

September 24, 2020

Jerry Kriskovich 1019 Fairlane Road Woodbine, MD 21797

RE: Waiver Approval 1019 Fairlane Road Woodbine, MD 21797

Mr. Kriskovick,

This letter is being issued in response to your waiver request dated September 10, 2020. Your request for a waiver of the Howard County Code twenty (20) setback for a pool to the existing on-site sewage disposal system trench has been **approved**. The proposed thirty-four (34) by eighteen (18) foot pool has been approved ten (10) feet from the existing on-site sewage disposal system trench. Additionally, the pool safety fencing as illustrated on the site plan may be installed in the sewage disposal area.

Be advised that a condition of this waiver requires temporary fencing to be installed five (5) feet from the tank and trenches extending across the entire property to prevent any vehicle or construction equipment traffic in that area during the construction of the pool. The temporary fencing must be installed prior to building permit approval.

Any deviations from the proposed work illustrated on the site plan submitted with the waiver request will be subject to further review by this department.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

Respectful

Michael J. Davis Assistant Director Bureau of Environmental Health

September 10, 2020

Attention: Howard County Permits Deputy Director Mike Davis

Re: B20002731 1019 Fairlane Road Woodbine Md 21797

Deputy Director Mike Davis,

I Mr. Kriskovich writing this letter to ask for a waiver to reduce the setback distance between the pool and the sewage disposal area from 20 feet to 10 feet, I would also like to put a portion of the safety fence within the sewage disposal area as well, Thank You in advance for your assistance in this matter

Sincerely, J. Herek R. Am

Jerry Kriskovich

From: Sent: To: Subject: Williams, Jeffrey Tuesday, September 1, 2020 9:45 AM Oswald, Hank RE: Quick Question

We have some leeway there and 2' isn't that tall, but we should see how close at its closest point and get any info on drainage pipes. I'd look for at least 5' if no drainage pipe assuming the wall is higher than the SDA. It shouldn't be too close to the tank either. We'd have to ask about the size of the gravel base and how close that would be to the tank. Look slike the pool may be closer than 20' to the SDA? I'd also look at that fence location vs existing trenches and perc results. If we need shallow zone for trenches (unlikely) we'd have to take a closer look at the fence. They'll need to give us the depth of the fence post holes and we can compare that to the trench depths. They will need to do a waiver request.

From: Oswald, Hank <hoswald@howardcountymd.gov> Sent: Tuesday, September 1, 2020 9:09 AM To: Williams, Jeffrey <jewilliams@howardcountymd.gov> Subject: Quick Question

Hi Jeff- Should I treat the 24 inch high walls on this site plan as steep slopes with a 25 foot setback?

Sent from my Verizon, Samsung Galaxy smartphone Get Outlook for Android

From: Sent: To: Subject: Oswald, Hank Friday, September 4, 2020 4:05 PM NOVA9@COMCAST.NET Re: B20002731_1019 Fairlane Road

Hi Zena:

Okay. When the owner writes the waiver request to reduce the setback distance between the pool and the sewage disposal area from 20 feet to _____, please also add in that you would like to also install a portion of the safety fence within the sewage disposal area as well.

Let me know if you have any questions about this.

Thanks,

Hank

Hank Oswald Howard County Health Department Well and Septic Program

From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Friday, September 4, 2020 2:39 PM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: Re: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank <mark>Mark said 10ft</mark> Zena

On 09/04/2020 2:32 PM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Based on the site plan, one wall appears much closer to the septic tank? Can you confirm that distance for me?

From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Friday, September 4, 2020 2:30 PM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: Re: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank

The closet wall to the septic is 10ft Mark

On 09/04/2020 2:25 PM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello Mark:

Can you provide an answer to the distances that I asked about in #1, so I consult with me supervisor on this BP.

Thanks,

Hank

Hank Oswald Howard County Health Department Well and Septic Program

From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Thursday, September 3, 2020 2:00 PM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: RE: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

On 09/03/2020 10:27 AM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Question 1 - I need to know the distance from the walls closest point to the existing septic tank and sewage disposal area (SDA). 10FT

From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Thursday, September 3, 2020 10:17 AM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: Re: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Morning Hank Please see answers below we are working on the letter Zena/Mark On 09/03/2020 9:04 AM Oswald, Hank <<u>hoswald@howardcountymd.gov</u>> wrote:

Hello Mr. Weeks:

I have couple of questions regarding the site plan for building permit # B20002731 (1019 Fairlane Road).

1.) What is the 24 inch wall closest point to the septic tank & sewage disposal area (SDA)? Made of shotcrete with verneer and coping

2.) Does the wall have drainage pipes?Yes 4" drain tile

3.) What is the size of the walls gravel base? 12"x 12"

4.) The required setback distance from a pool to the SDA is 20 feet. Anything closer will require a written waiver request by the homeowner to reduce the setback (from 20 ft. to ____). Please address the letter to Deputy Director, Mike Davis. 5.) What is the depth of the fence post inside the SDA? 24inch

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald, LEHS Howard County Health Department Well and Septic Program 410.313.1786

From:NOVA9@COMCAST.NETSent:Friday, September 4, 2020 2:39 PMTo:Oswald, HankSubject:Re: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank Mark said 10ft Zena

On 09/04/2020 2:32 PM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Based on the site plan, one wall appears much closer to the septic tank? Can you confirm that distance for me?

From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Friday, September 4, 2020 2:30 PM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: Re: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank The closet wall to the septic is 10ft Mark

On 09/04/2020 2:25 PM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello Mark:

Can you provide an answer to the distances that I asked about in #1, so I consult with me supervisor on this BP.

Thanks,

Hank

Hank Oswald Howard County Health Department Well and Septic Program From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Thursday, September 3, 2020 2:00 PM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: RE: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

On 09/03/2020 10:27 AM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Question 1 - I need to know the distance from the walls closest point to the existing septic tank and sewage disposal area (SDA). 10FT

From: NOVA9@COMCAST.NET <NOVA9@COMCAST.NET> Sent: Thursday, September 3, 2020 10:17 AM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: Re: B20002731_1019 Fairlane Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Morning Hank

Please see answers below we are working on the letter

Zena/Mark

On 09/03/2020 9:04 AM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello Mr. Weeks:

I have couple of questions regarding the site plan for building permit # B20002731 (1019 Fairlane Road).

1.) What is the 24 inch wall closest point to the septic tank & sewage disposal area (SDA)? Made of shotcrete with verneer and coping

2.) Does the wall have drainage pipes?Yes 4" drain tile

3.) What is the size of the walls gravel base? 12"x 12"

4.) The required setback distance from a pool to the SDA is 20 feet. Anything closer will require a written waiver request by the homeowner to reduce the setback (from 20 ft. to ____). Please address the letter to Deputy Director, Mike Davis.

5.) What is the depth of the fence post inside the SDA? 24inch

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald, LEHS

Howard County Health Department

Well and Septic Program

410.313.1786

From:	Williams, Jeffrey
Sent:	Friday, September 4, 2020 3:34 PM
То:	Oswald, Hank
Subject:	Re: Quick Question_1019 Fairlane Road_ Wall and In-ground Pool

Have them add the fence into the waiver. I'd call the wall ok unless the drain tile is aiming right at the tank

Get Outlook for Android

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Friday, September 4, 2020 3:18:00 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: Quick Question_1019 Fairlane Road_ Wall and In-ground Pool

Jeff:

The contractor said the wall is 10 feet from the septic tank. It's made of shotcrete with verneer and coping. The was has 4 inch drain tile. The walls gravel base is 12" x 12". The depth of the fence post is 24 inches. The septic record indicates the trench inlet to be at 3 feet. I believe they are going to submit a waiver letter reduce the pool distance to the SDA.

Hank

From: Williams, Jeffrey <jewilliams@howardcountymd.gov> Sent: Tuesday, September 1, 2020 9:44 AM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: RE: Quick Question

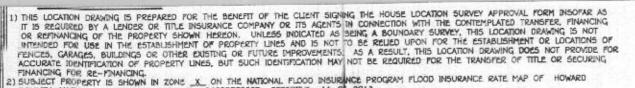
We have some leeway there and 2' isn't that tall, but we should see how close at its closest point and get any info on drainage pipes. I'd look for at least 5' if no drainage pipe assuming the wall is higher than the SDA. It shouldn't be too close to the tank either. We'd have to ask about the size of the gravel base and how close that would be to the tank. Look slike the pool may be closer than 20' to the SDA? I'd also look at that fence location vs existing trenches and perc results. If we need shallow zone for trenches (unlikely) we'd have to take a closer look at the fence. They'll need to give us the depth of the fence post holes and we can compare that to the trench depths. They will need to do a waiver request.

From: Oswald, Hank <hoswald@howardcountymd.gov> Sent: Tuesday, September 1, 2020 9:09 AM To: Williams, Jeffrey <jewilliams@howardcountymd.gov> Subject: Quick Question

Hi Jeff- Should I treat the 24 inch high walls on this site plan as steep slopes with a 25 foot setback?

Sent from my Verizon, Samsung Galaxy smartphone Get Outlook for Android

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ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSPER OF THE OR SECONDAL FINANCING FOR RE-FINANCING. 2) SUBJECT PROPERTY IS SHOWN IN ZONE <u>X</u>. ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL NO. 24027C00350 EFFECTIVE <u>11-02-2013</u>. 3) THE CFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 0.5'. 4) NO TITLE REPORT FURNISHED, SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD. 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-15-0352 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN. 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2018. 10/04/2016.

REG. #339

7) BUILDING PERMIT +8-18000987

Legend Private Orainage & Utility Easement 24' Private Use-In-Common Access Easement For The Use And Benefit Of Lots 15 Thru 10. Maintenance Agreement Recorded with The Recordation Of This Plat. Lot 7 And Lot 18 May Be Provided Direct Driveway 10' Public Tree Maintenance Easement Let 15 36' Private Access And Stormwater Management 10.20 Access To The Public Road And May Not Utilize The Private Shared Driveway Casement For The Access And Easement For Lots 15 Thru 10 343.47 Private Use-In-Common Access Easement May Not Participate In The Driveway Maintenance Agreement. Public And Private Drainage & Utility Easement Line Table Lot 15 LINE BEARING LENGTH Lot 17 D22 505*37'32"E 106.11' 08.45 SEE DETAIL D23 N59*10'37"E 231.25" D24 530" 49'23"E 20.00" 025 559*10'37'W 237.59' 026 NØ5*37'32'W 112.06' 027 N03*18'26'E 20.00' -@ Part Of Buildable HG-15-0352 Preservation Parcel 'A' 24' Private Use-00 22 In-Common Access Easement 36' Private Access And Stormwäter Mänägement Eäsement For Lots 15 Line Table LINE BEARING LENGTH Thru 18 UIC-1 N03°10'25"E 234.62' UIC-2 N26*30'05"W 106.50" UIC-3 N61*29'54"E 24.00' UIC-4 528*30'06"E 193.34' UIC-5 503*18'26"W 237.32' 020 20" Private Drainage 36' Private Access And & Utility Stormwater Easemen Management Easement Line Table Lot 18 LINE BEARING LENGTH 5WM-1 N03*18/26"E 234.90' 5WM-2 N26'30'05"W 103.00' SWM-3 N61*29'54"E 35.00' SWM-4 528*30'06*E 193.34' 5WM-5 503*18'26"W 237.32" 156 10' 10 Public Tree -Maintenance Easement L=8.05 #1019 FAIRLANE BOAD B.R.L. = BUILDING RESTRICTION LINE TOP OF FOUNDATION ELEVATION = 603.1'* Galaxy Drive HOUSE LOCATION DRAWING POUNDATION LOCATION: 5/31/18 MINAL LOCATION: BOUNDARY SURVEY: FISHER, COLLINS & CARTER, INC. SCALE: 1"-50" DATE: 6/11/18 DRAWN BY: MD null 1 Ashel 6/11/18 ARE OFFICE FARE - 10272 SALTINDER, NADONAL PILE ELLICOTT CTV. MARYLAND 21042 (410) 461 - 2255 PROPERTY LINE SURVEYOR CHECKED BY: MLR PROJECT No.:05105-3003



From: Sent: To: Subject: Oswald, Hank Friday, September 4, 2020 3:18 PM Williams, Jeffrey Re: Quick Question_1019 Fairlane Road_ Wall and In-ground Pool

Jeff:

The contractor said the wall is 10 feet from the septic tank. It's made of shotcrete with verneer and coping. The was has 4 inch drain tile. The walls gravel base is 12" x 12". The depth of the fence post is 24 inches. The septic record indicates the trench inlet to be at 3 feet. I believe they are going to submit a waiver letter reduce the pool distance to the SDA.

Hank

From: Williams, Jeffrey <jewilliams@howardcountymd.gov> Sent: Tuesday, September 1, 2020 9:44 AM To: Oswald, Hank <hoswald@howardcountymd.gov> Subject: RE: Quick Question

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From: Oswald, Hank <hoswald@howardcountymd.gov> Sent: Tuesday, September 1, 2020 9:09 AM To: Williams, Jeffrey <jewilliams@howardcountymd.gov> Subject: Quick Question

Hi Jeff- Should I treat the 24 inch high walls on this site plan as steep slopes with a 25 foot setback?

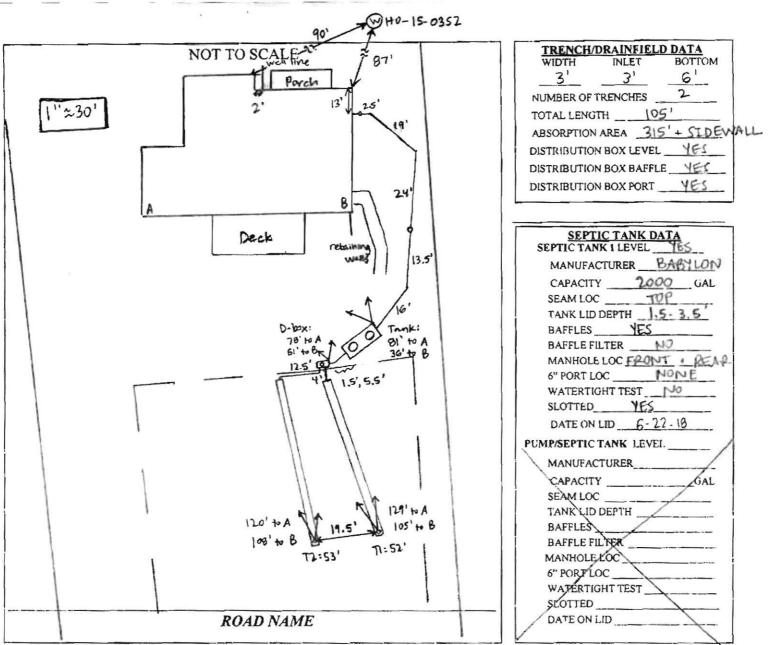
Sent from my Verizon, Samsung Galaxy smartphone Get Outlook for Android

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	Bureau of Environmental Health 8930 Stanford Boulevard, Columbia, MD 21045 Main: 410-313-2640 Fax: 410-313-2648 TDD 410-313-2323 Toll Free 1-866-313-6300 www.hchealth.org Facebook: www.facebook.com/hocohealth
(100 - 1 0 - 100	Maura J. Rossman, M.D.; Health Officer
RECEIPT	DATE: 15/18 ONSITE SEWAGE DISPOSAL SYSTEM P 30304
APPROVAL (DATE: 8/13/18 SEC PERMIT: CONSTRUCTION A
PROPERTY A	
SUBDIVISION	N: Fairlane Farms LOT: 17 TAX ID:
CONTRACTO	DR: South Carroll Backhoe EMAIL: scbackhoe@comcast.com
CONTRACTOR	ADDRESS: 4410 Salem Bottom Road, Westminster; MD 21157 PHONE: 410-596-3618
	OWNER: NV Homes EMAIL:
	RESS: 9720 Patuxent Woods Drive, Columbia, MD 21046 PHONE: 410-379-5956
	SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon Vault or equivalent
PUMP MODEL	L: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A
DISTRIBUTIO	ON SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE 1.2
	LINEAR FEET REQUIRED: 104.6 INLET DEPTH: 3
TRENCHES:	TRENCH WIDTH: 3 MAXIMUM BOTTOM DEPTH: 6
	MINIMUM SPACE BETWEEN TRENCHES: 10 EFFECTIVE AREA BEGINNING DEPTH: 3
	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED
LOCATION:	SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.
NOTES:	Use 2 trenches @ 52.08 LF
ISSUED BY:	Hank Oswald ISSUE DATE: 7,5/15 EXPIRATION DATE: 7,5/1
8	TRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
	TRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
NOTE: STON	NE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
and a second	ERTIGHT TANKS REQUIRED
	PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADJENT FROM ANY WATER WELL IHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
	ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
	ELECTRICAL PERMIT ISSUED E
	RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE NSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA
NEITHE	ER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE
	SUCCESSFUL OPERATION OF ANY SYSTEM.
	PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
	CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

3. F *



PRE-CONSTRUCTION:

7/9/13 Met S. Carroll and superintendent on site for layers. Tank and SDA corners started. lecation mared uphill from what was Retaining wall also staked shown on plan ble house corner (originally under deck). Tank in swale welkout location Wew at where water will flow. Looked into options of vetaining wall of maring w/ superintendent. nake fall to tank w/ 3 or less cover + to trench inlet. (SC 7/26/13 Met S. Carroll on site for layout. New same location + retaining well staked INSTALLATION: contract. . laid out 2x 52' trenches. Shet elevations and time will have 3' cover @ inlet. (SC) 7130/18 00 site while tank was get. No obvious cracks on lestom or sides (2) 7/31/18 Th complete + left open @ ends for inspection - 3' wide, 2.5' to stone. S. Carroll end of T2. D-box installed + connected to tank + trenches. Leveled adding some to Tevelers in D-box Need house connection after retaining wall is installed speed B/9/18 Server line run from house to tank. Need house connection (3) B/13/18 House connection made.

FINAL INSPECTOR Sarah Collins

DATE OF APPROVAL 8/13/10