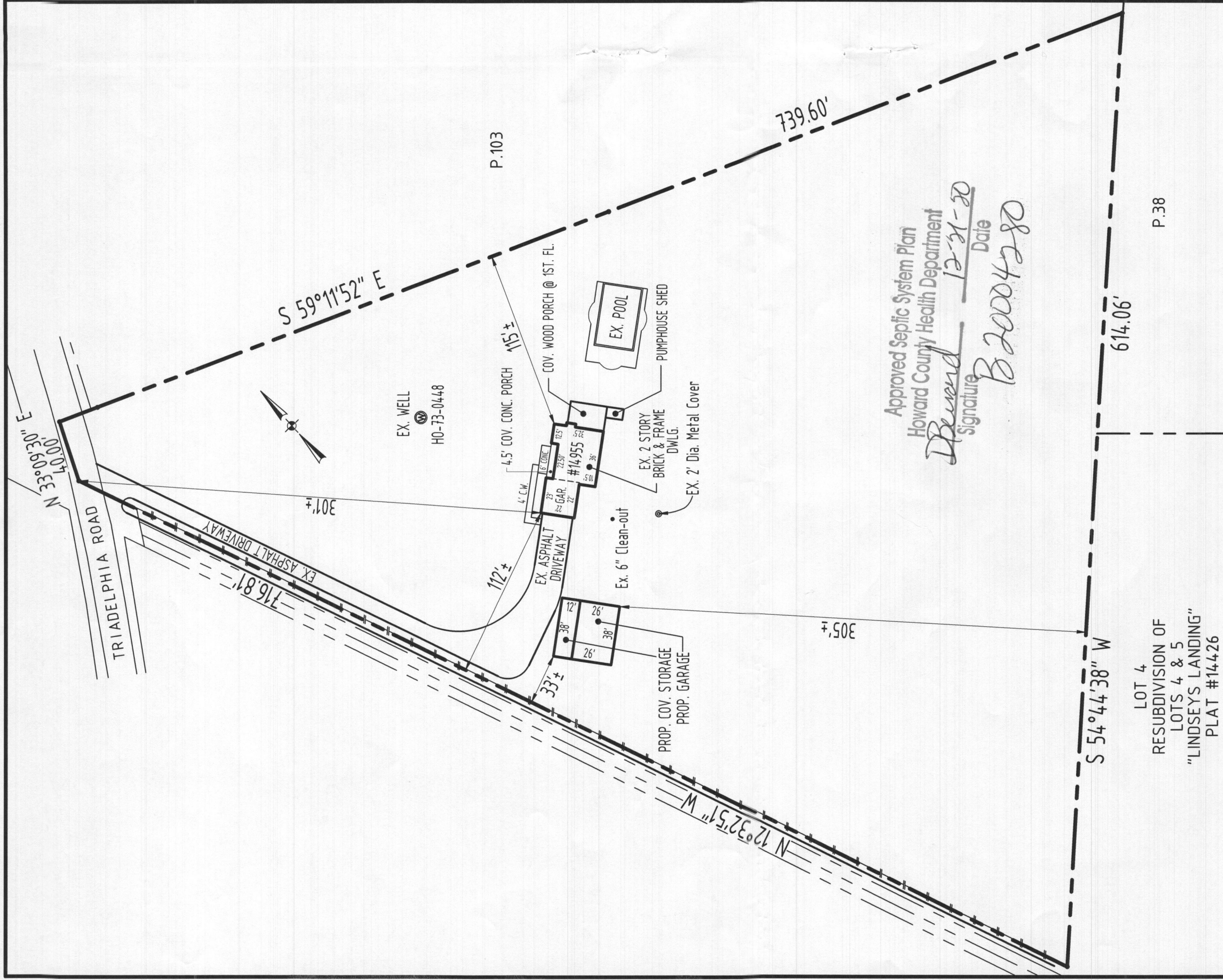


PERMIT NUMBER: B 2000 4280

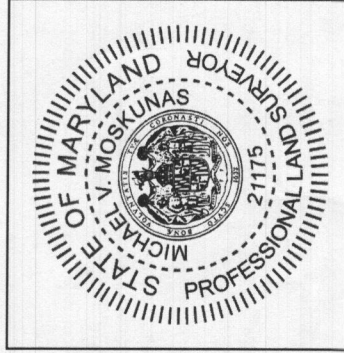
DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION					
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS					
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4					
www.howardcountymd.gov					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 14955 Triadelphia Rd					Unit:
City: Glenelg			State: MD	Zip Code: 21737	
Subdivision/Village/Complex Name:			SDP/WP/BA #:		
Lot:	Tax Map:	Parcel: 05-369401	Grading Permit #:		
DESCRIPTION OF WORK REQUIRED					
Existing Use: SED		Proposed Use: Garage for cars and storage		Estimated Cost: \$65,000.00	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None					
NEW 22' x 23' GARAGE W/ STORAGE ABOVE					
PROPERTY OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Thomas E Capps & Lisa Ann Capps					Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 14955 Triadelphia Rd					
City: Glenelg			State: MD	Zip Code: 21737	
Phone: (410) 984-6385			Email: tcapps@harkinsbuilders.com		
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Homeowner			Contact Name: Tom Capps		
Street Address: 14955 Triadelphia Rd					
City: Glenelg			State: md	Zip Code: 21737	
Phone: (410) 984-6385			Email: tcapps@harkinsbuilders.com		
CONTRACTOR INFORMATION REQUIRED					
Business Name: Primary Homeowner to act as contractor					DEC 02 2020
Licensee's Name: Homeowner name - Tom Capps			License #:		
Street Address: 14955 Triadelphia Rd.					
City: Glenelg			State: md	Zip Code: 21737	
Phone: (410) 984-6385			Email: tcapps@harkinsbuilders.com		
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE					
Business Name: Associated Designs			Name: Kelly Alvord		
Street Address: 1100 Jacob Drive					
City: Eugene			State: Oregon	Zip Code: 97402	
Phone: (541) 461-2082			Email: associateddesigns.com		
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)					Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input checked="" type="checkbox"/> Other: none			Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #		
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None			Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac		
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)					
Model Name & Options:					
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:		
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input checked="" type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input checked="" type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial					
1st Fl Width: 26	1st Fl Depth: 38	2nd Fl Width: 17	2nd Fl Depth: 38	Bsmt Width:	Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 1,792 sq ft		Occupiable Area: 988 sq ft	
AGREEMENT/ DISCIMER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
APPLICANT'S ORIGINAL SIGNATURE			DATE SIGNED 12/2/2020		
FOR OFFICE USE ONLY					
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES: \$25.00		PAYMENT: 1690		ACCEPTED BY: Drop Box	



Approved Septic System Plan
Howard County Health Department
Deborah 12-21-20
Signature Date
B20004280

- 1. ABOVE GROUND WELL & SEPTIC STRUCTURES WERE FIELD LOCATED.
- 2. PROPOSED GRADES ARE TO BE PROVIDED BY OTHERS.
- 3. EXISTING LOT AREA OF 5.0 AC± (SDAT).



FIELD IMPROVEMENT PLAN WITH PROPOSED GARAGE

#14955 TRIADELPHIA ROAD

TAX MAP: 27 - GRID: 5 - PARCEL: 105
DEED REFERENCE: 2216/189
5th ELECTION DISTRICT
BALTIMORE COUNTY, MARYLAND

Scale: 1" = 60'	Date: 12/01/2020	JOB #10769
Drawn: M.V.M.	Checked: B.L.M.	SURVEY'D: DTW,JK



T: (410)828-9060
F: (410)828-9066
200 E. JOPPA RD
SUITE 101
TOWSON, MD 21286

Michael V. Moskunas
Professional Land Surveyor #21175
License Expires: 6/25/2021

LOT 4
RESUBDIVISION OF
LOTS 4 & 5
"LINDSEYS LANDING"
PLAT #14426

General-

2. Construction shall comply with all Covenants, Conditions and Restrictions recorded against the land.

4. Safety, care of adjacent properties during construction, and compliance with all applicable safety regulations is, and shall be, the contractors and subcontractors responsibility.

6. Storm water drains (within 5' of foundation wall) shall be of material as specified for sanitary drainage work. Storm water sewers (5' and beyond foundation) shall be of an approved material as per plumbing contractor.

1. Concrete shall be 5-7% air entrained with a minimum compressive strength of:

- a) 2500 psi for basement walls and foundations not exposed to weather and for basement slabs and interior slabs on a grade.
- b) 3000 psi for basement foundation and exterior walls and other vertical work exposed to weather.
- c) 3500 psi for carport and garage floor slabs for porches and steps exposed to weather. [Table R402.2].

3.All reinforcing bars shall conform to ASTM Spec (A625 Deformed bars with minimum yield stress of 60,000 psi [Table R404.1.2.7.3.1]).
Welded wire fabric to be 6x6, 10/10, conforming to ASTM spec 185.

5. Install 3"x3"x0.229 plate washers between foundation sill plate and nut on all foundation bolts.

Metal-

Framing-

2. All dimension lumber to be Douglas Fir-Larch, 2x4 standard or better all other #2 or better unless noted otherwise.

4. Provide operable egress windows at basement and every sleeping room with a minimum clear opening of 5.7 sq.ft. (Ground floor egress window 5 sq.ft.). Least operable height: shall be net 24"; least operable width: shall be net 20"; sill height shall not be more than 44" above the floor. (R310.1).

6.Exterior bearing wall headers to be as per framing plans.

8.Plumbing walls to be 2x6 (verfly with plumbing contractor).

10. All pre-wiring for telephone, TV, Stereo etc. to be coordinated with owner.

12.Trusses shall not bear on interior partitions unless so designed.

Thermal Protection-Optional at unconditioned spaces.

1. Insulation required as follows:
Exterior Walls; R-21
Floors; R-30
Ceiling; R-38
2x10 or 2x12 Rafter vaulted ceiling for a maximum of 50% of the heated floor space area shall be allowed with R-30 insulation.
Foundation Walls; R-15
Forced Air Duct; R-8
Water Heater; R-11 wrap
Slab on Grade; R-15

3. Vapor barriers at exterior walls (one dry cup rating or less).

4. Doors and windows to be weather-stripped.

5. Windows shall have a maximum U-0.35. Skylights: Maximum U0.60

FRONT ELEVATION

Finish-

2. Flash all exterior doors, windows, and horizontal wood trim as required.

3.Counter tops to be self edged, and coved. (or as per owner)

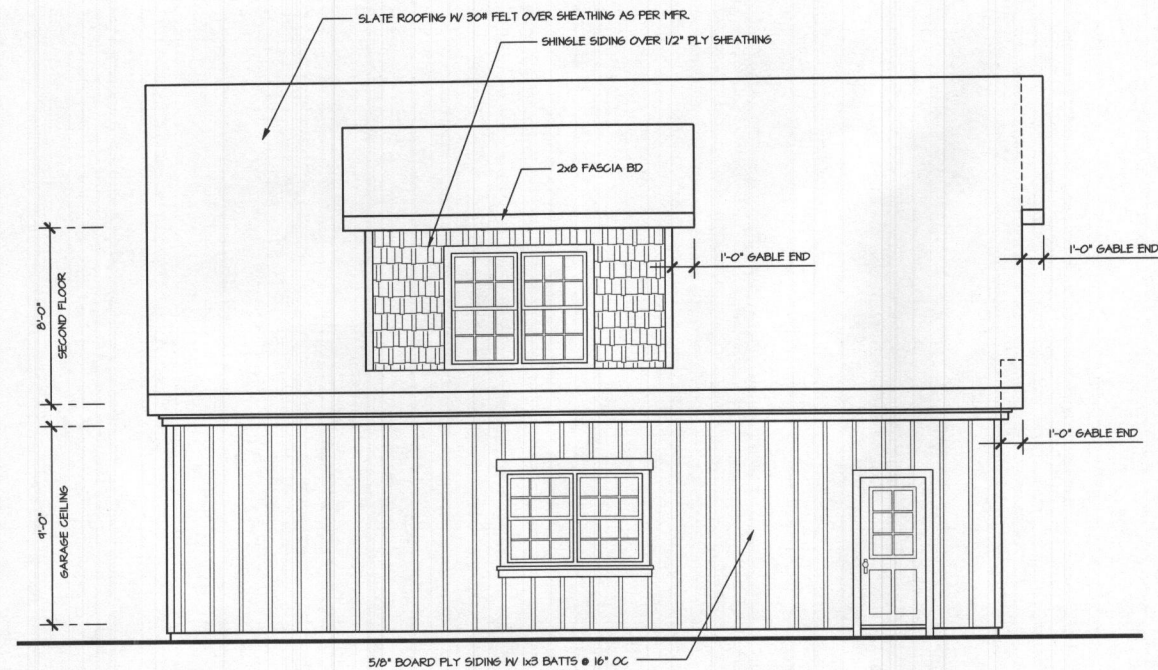
4. All open flames and glow elements to be minimum 18" above a

5 The garage shall be completely separated from the residence and its att.

by means of type "X" board or equivalent applied to the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall be protected by type "X" board or equivalent. [R-302.6]

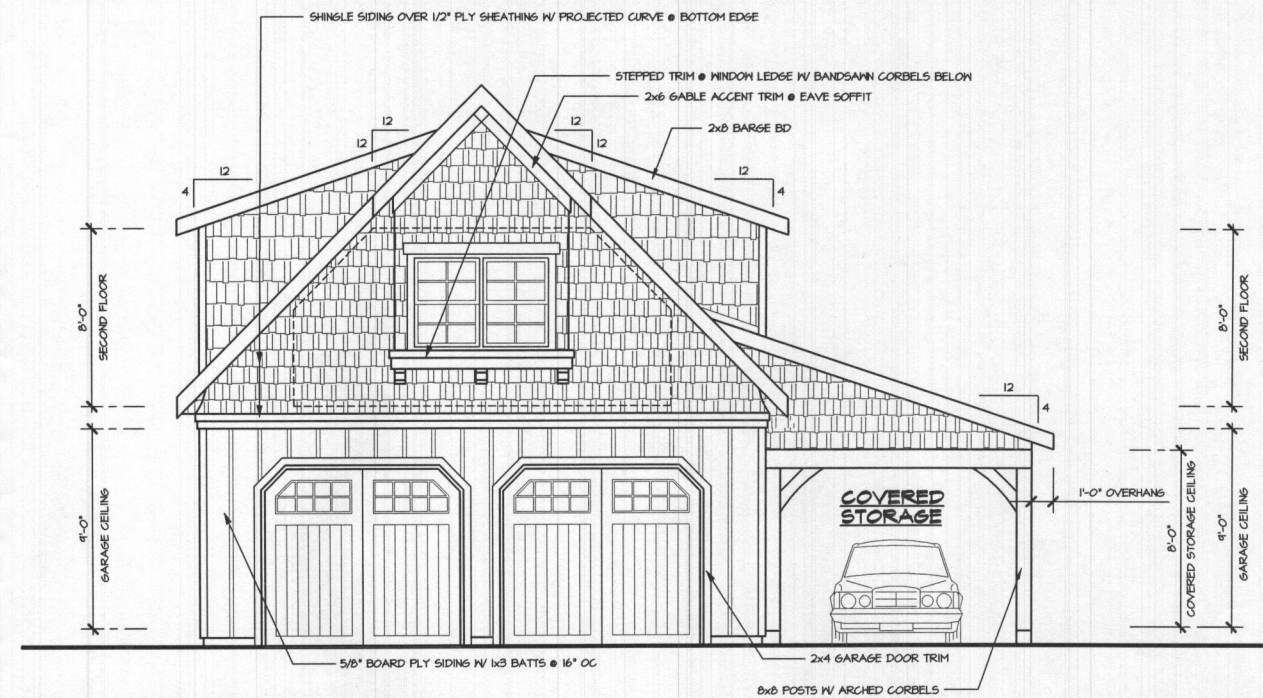
6. Recessed light fixtures installed in insulated cavities shall be labeled as suitable for being installed in direct contact with insulation, i.e. IC rated.

7. Minimum hallway width 36": finish wall to finish wall. [R-311]



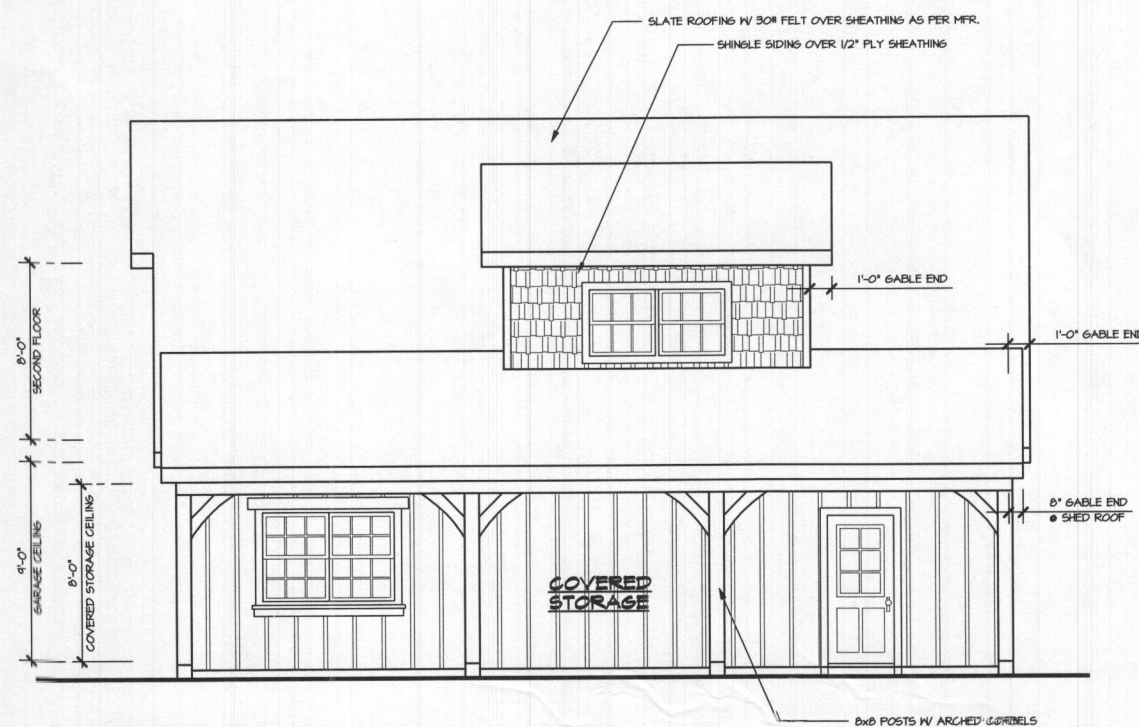
LEFT ELEVATION

SCALE: 1/4"=1'-0"



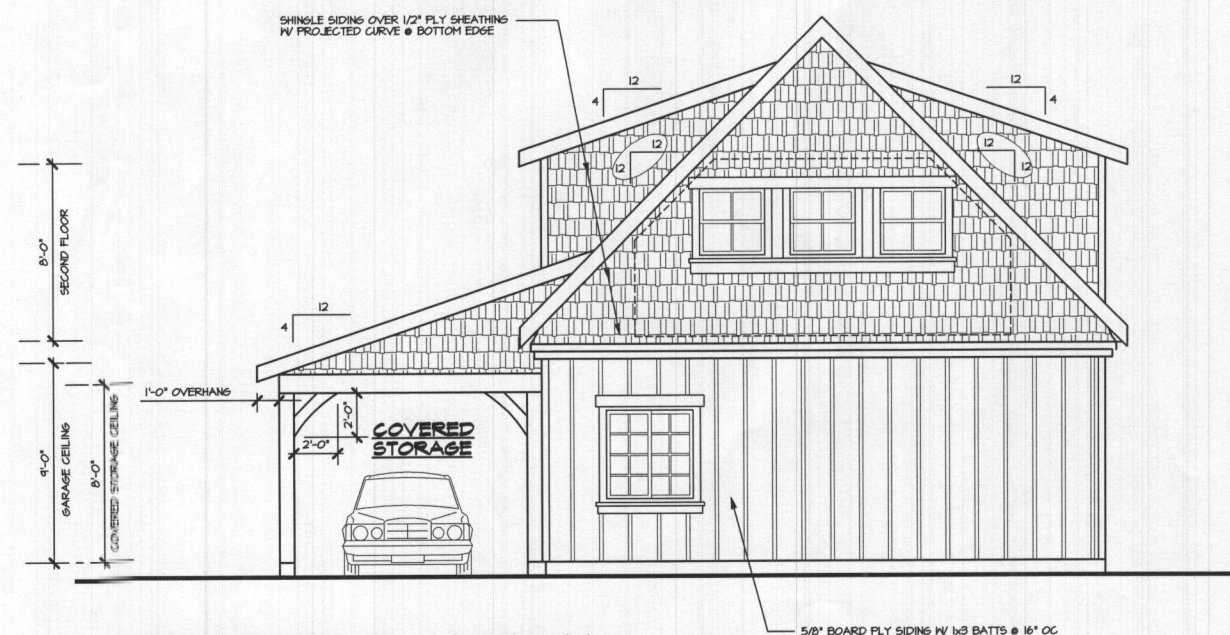
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

OWNER & BUILDER/ CONTRACTOR(S) TO REVIEW PLAN FOR COMPLETENESS AND ACCURACY PRIOR TO CONSTRUCTION. NOTIFY ASSOCIATED DESIGNS INC. OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

ASSUMED DESIGN LOADS:

LIVE LOAD • FLOOR = 40 PSF
DEAD LOAD • FLOOR = 10 PSF
LIVE/SNOW LOAD • ROOF = 25 PSF
DEAD LOAD • ROOF = 25 PSF
LIVE LOAD • DECKS = 40 PSF
DEAD LOAD • DECKS = 10 PSF
SOIL BEARING PRESSURE = 1500 PSF

PREPARED FOR:
TOM & LISA CAPPS
14955 TRIADPHIA RD.
GLENELG, MD 21131
PHONE: (443)812-2410

TITLE: ELEVATIONS
DATE: 11/13/20
SCALE: NOTED
DRAWN BY: KA
CHECK BY: TT

Associated DESIGNS

ASSOCIATED
DESIGNS, INC.
www.AssociatedDesigns.com

1100 JACOBS DRIVE
EUGENE, OREGON
97402-1983
(541) 461-2022
FAX: (541) 461-1214

REVISIONS:

REVISION OF:
20-020

PROJECT:
20-370

SHEET
1 OF
5

WALL BRACING NOTE:

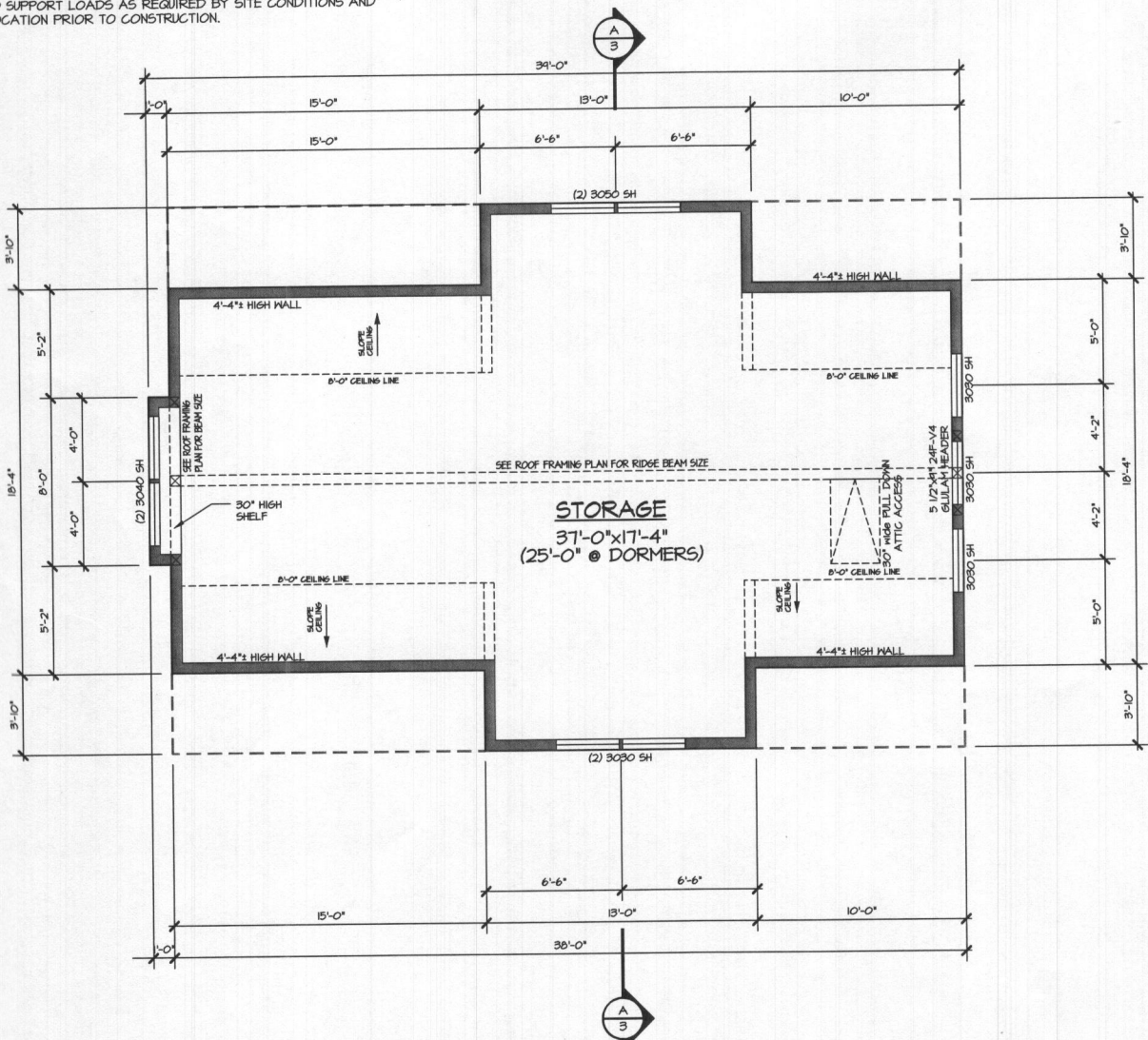
WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH IRC SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

NOTES:

- EXTERIOR WALL HEADERS TO BE 4x6 #2 DF-L W/ 2" RIGID INSULATION, UNLESS NOTED OTHERWISE.
- INTERIOR BEARING WALL HEADERS TO BE 4x6, UNLESS NOTED OTHERWISE.
- SOLID BLOCKING OF POSTS AT BEAM, HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) UNLESS NOTED OTHERWISE.
- COORDINATE PREWIRE FOR TV, STEREO, TELEPHONE AND SECURITY SYSTEM WITH OWNER.
- MECHANICAL SYSTEM TO BE DESIGNED BY MECHANICAL CONTRACTOR TO MEET OWNERS NEEDS AND COMPLY WITH LOCAL CODES.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- TYPICAL ANGLE IS 45° UNLESS NOTED OTHERWISE.
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE R602.3(1) OR IRC TABLE 2304.4.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

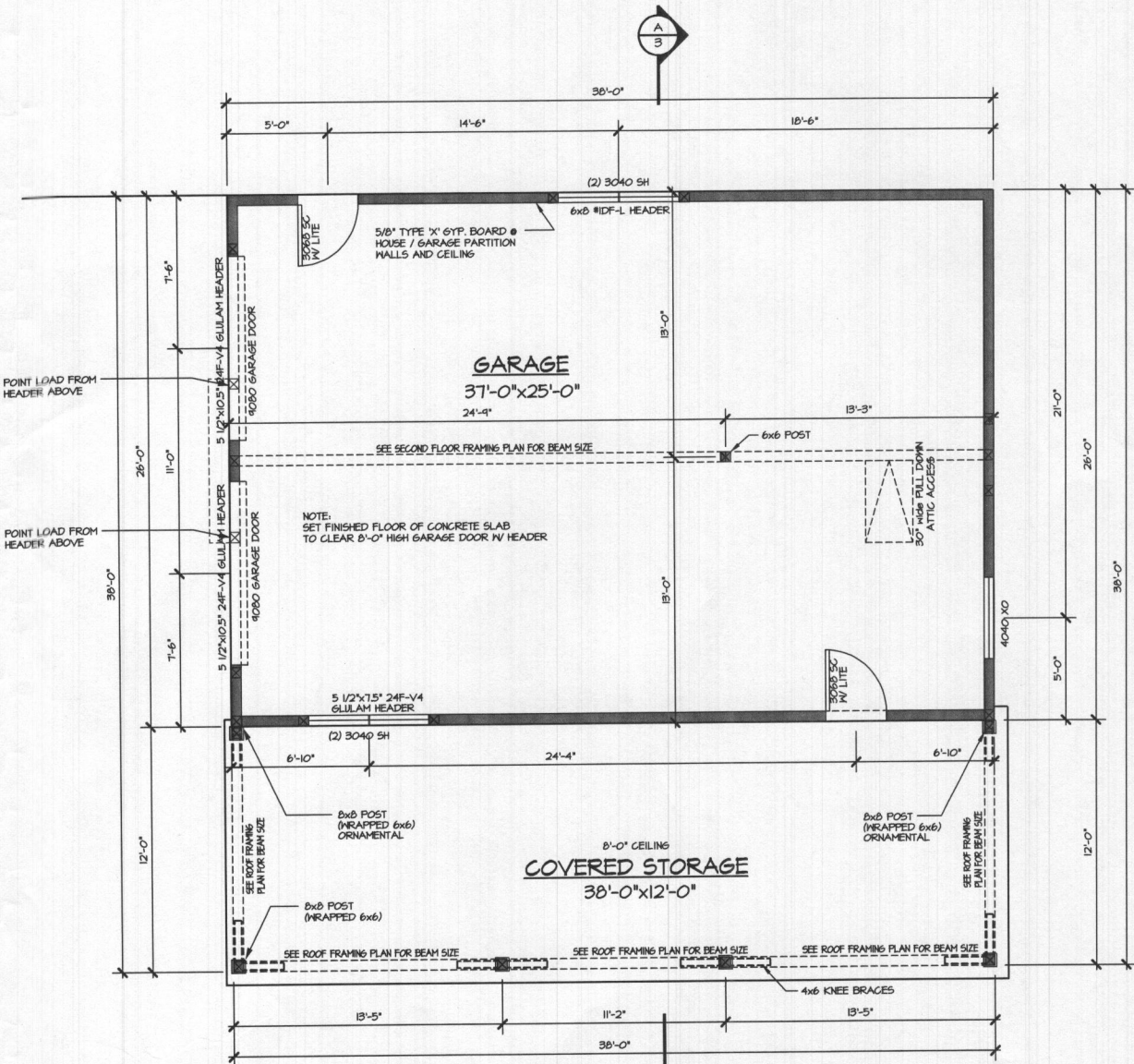
LEGEND:

READING DOOR & WINDOW SIZES:	
SIZES ARE LISTED AS FEET/INCHES/FEET/INCHES.	
I.E. 3060 DOOR IS 3'-0" WIDE x 6'-0" TALL	
5040 WINDOW IS 5'-0" WIDE x 4'-0" TALL	
STANDARD ABBREVIATIONS:	
DOORS	
SC	SOLID CORE
FR. DR.	FRENCH DOOR
PKT. DR.	POCKET DOOR
PR.	PAIR
BP	BI-FOLD
BP	BI-PASS
WINDOWS	
FX	FIXED
CSMT	CASEMENT
SH	SINGLE HUNG
DH	DOUBLE HUNG
XO	HORIZONTAL SLIDER (TWO PANEL)
XOX	HORIZONTAL SLIDER (THREE PANEL)
FLOOR PLAN	
A.F.F.	ABOVE FINISHED FLOOR
C.O.	CASED OPENING
DBL	DOUBLE
DN	DOWN
DN	DISHWASHER
F.A.U.	FORCED AIR UNIT
GO	GARBAGE DISPOSAL
H.B.	HOSE BIB
REF	REFRIGERATOR
MW	MICROWAVE
S & P	SHELF & POLE
V.T.O.	VENT TO OUTSIDE
WH	WATER HEATER



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



GARAGE PLAN

SCALE: 1/4"=1'-0"

SQUARE FOOTAGE:

GARAGE	988 SQ. FT.
STORAGE	804 SQ. FT.
TOTAL	1792 SQ. FT.

REVIEWED RM DIMS/SQ.FT.: KA CHECK: TT UPDATED: 11/13/20

PREPARED FOR:

TOM & LISA CAPPS
14955 TRIADPHIA RD.
GLENELG, MD 21731
PHONE: (443) 812-2410

TITLE: GARAGE PLAN & SECOND FLOOR LOFT PLAN

DATE: 11/13/20 SCALE: NOTED
DRAWN BY: KA
CHECK BY: TT

ASSOCIATED
DESIGNS, INC.

1100 JACOBS DRIVE
EUGENE, OREGON
97402-1985

(541) 461-2082
FAX: (541) 461-1214

REVISIONS:

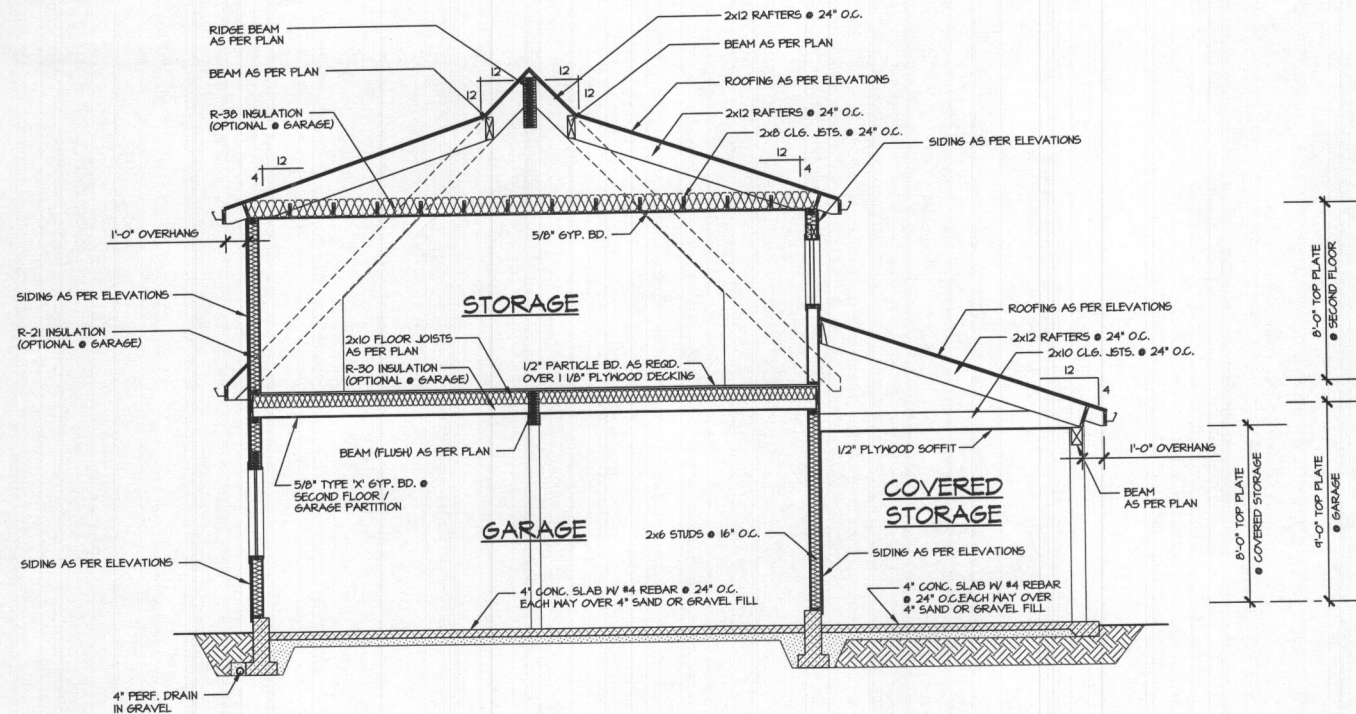
REVISION OF:
20-020

PROJECT:

20-310

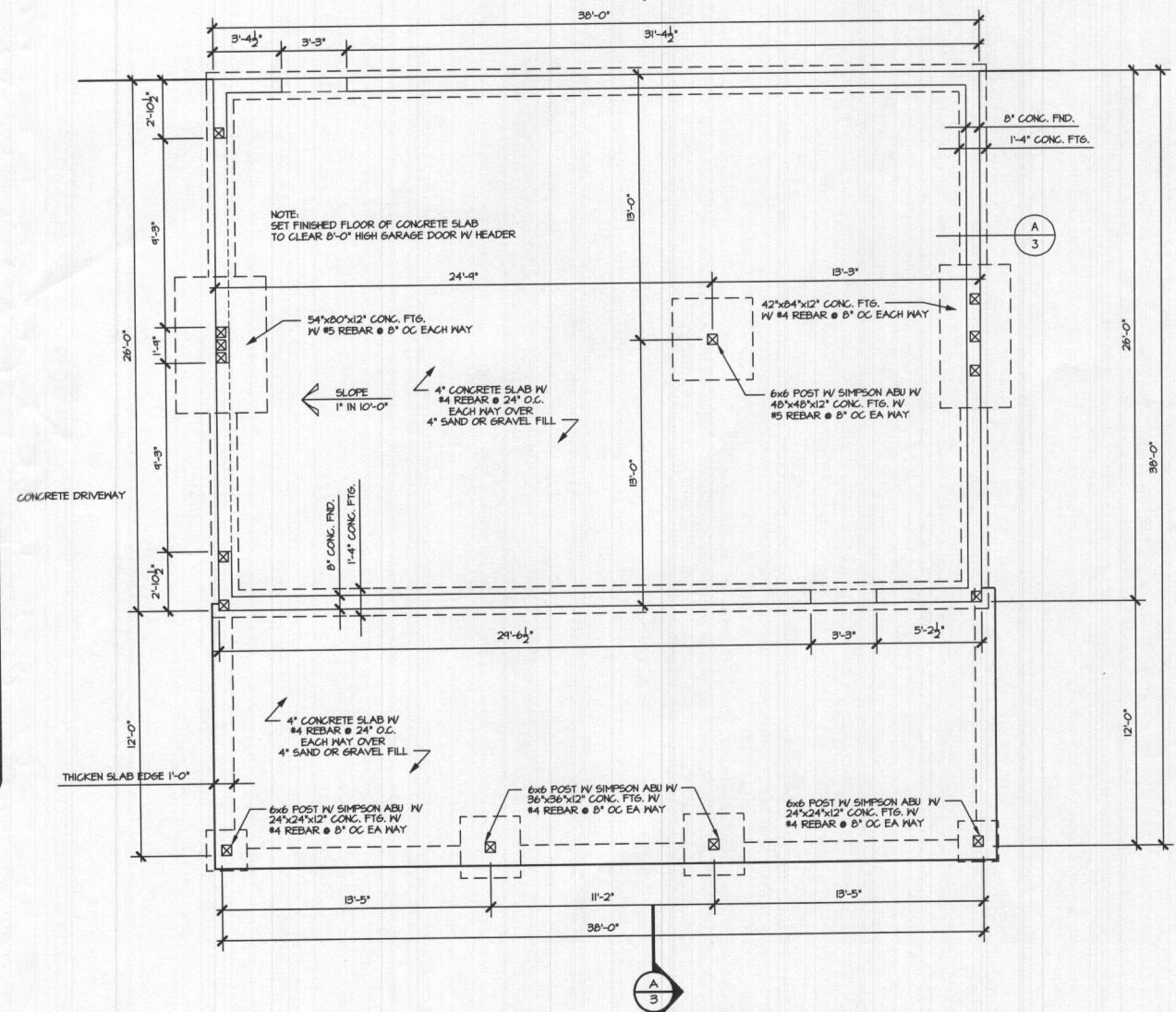
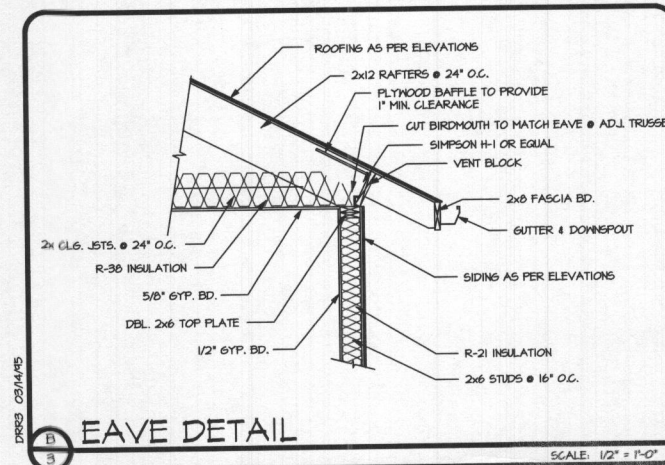
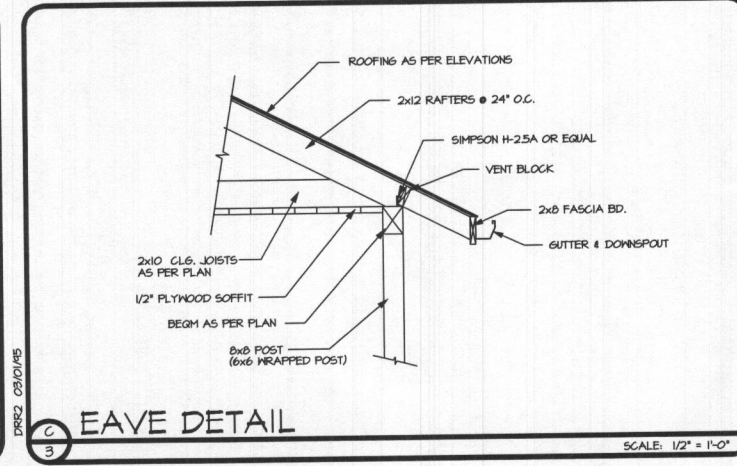
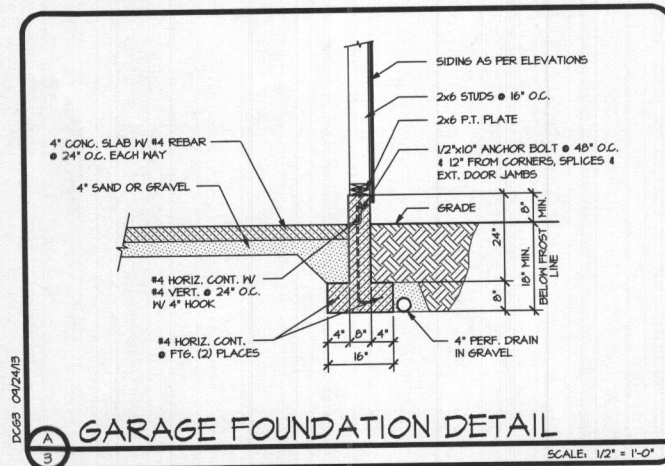
SHEET

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SECTION A-A

SCALE: 1/4"=1'-0"



NOTES:

- USE METAL FASTENERS AT ALL POST TO FOOTING CONNECTIONS.
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE 602.3(1) OR IBC TABLE 2304.9.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

WALL BRACING NOTE:

WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH IRC SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

PREPARED FOR:
TOM & LISA CAPPS
14955 TRIADAPLHIA RD.
GLENELG, MD 21137
PHONE: (443)812-2410

TITLE: FOUNDATION PLAN
SECTION A-A & DETAILS
DATE: 11/13/20
SCALE: NOTED
DRAWN BY: KA
CHECK BY: TT

Associated DESIGNS

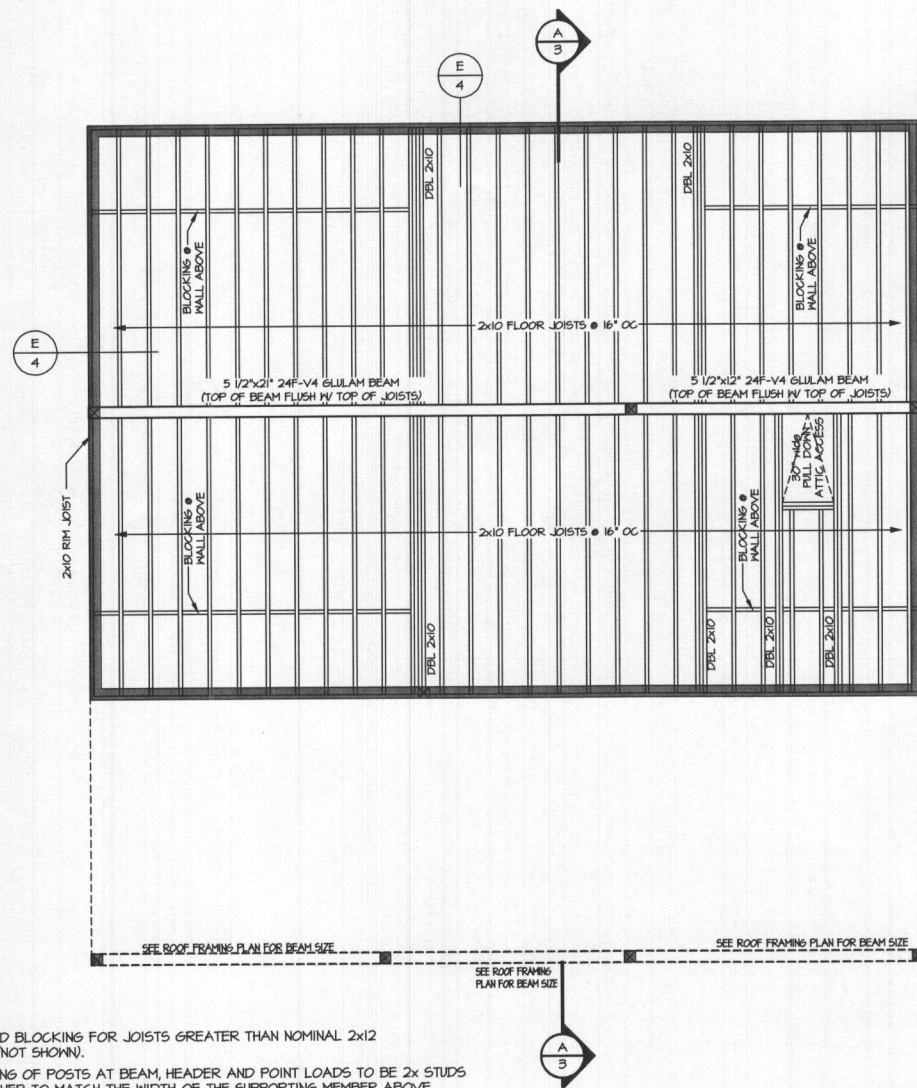
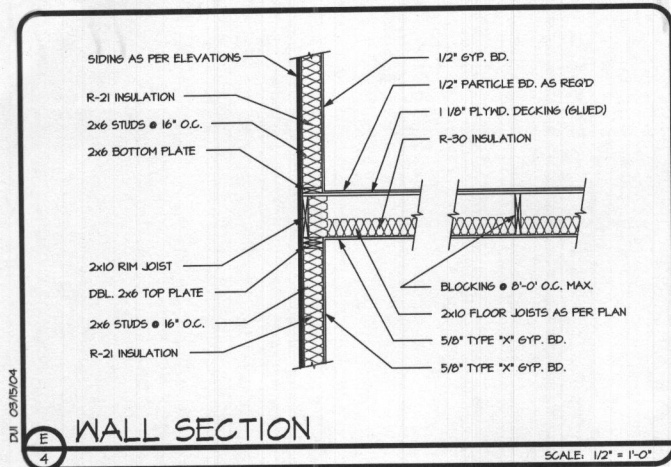
ASSOCIATED
DESIGNS, INC.
www.associateddesigns.com

1100 JACOBS DRIVE
EUGENE, OREGON
97402-1983
(541) 461-2082
FAX: (541) 461-1274

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PROJECT:
20-370

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NOTES:

- PROVIDE SOLID BLOCKING FOR JOISTS GREATER THAN NOMINAL 2x12 AT 8'-0" O.C. (NOT SHOWN).
- SOLID BLOCKING OF POSTS AT BEAM, HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) UNLESS NOTED OTHERWISE.
- USE METAL FASTENERS AT ALL BEAM TO SUPPORT MEMBER CONNECTIONS.
- USE SIMPSON U210 JOIST HANGERS @ FLUSH BEAMS.
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE 602.3(1). OR IBC TABLE 2304.9.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

WALL BRACING NOTE:

WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH IRC SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

SECOND FLOOR FRAMING PLAN

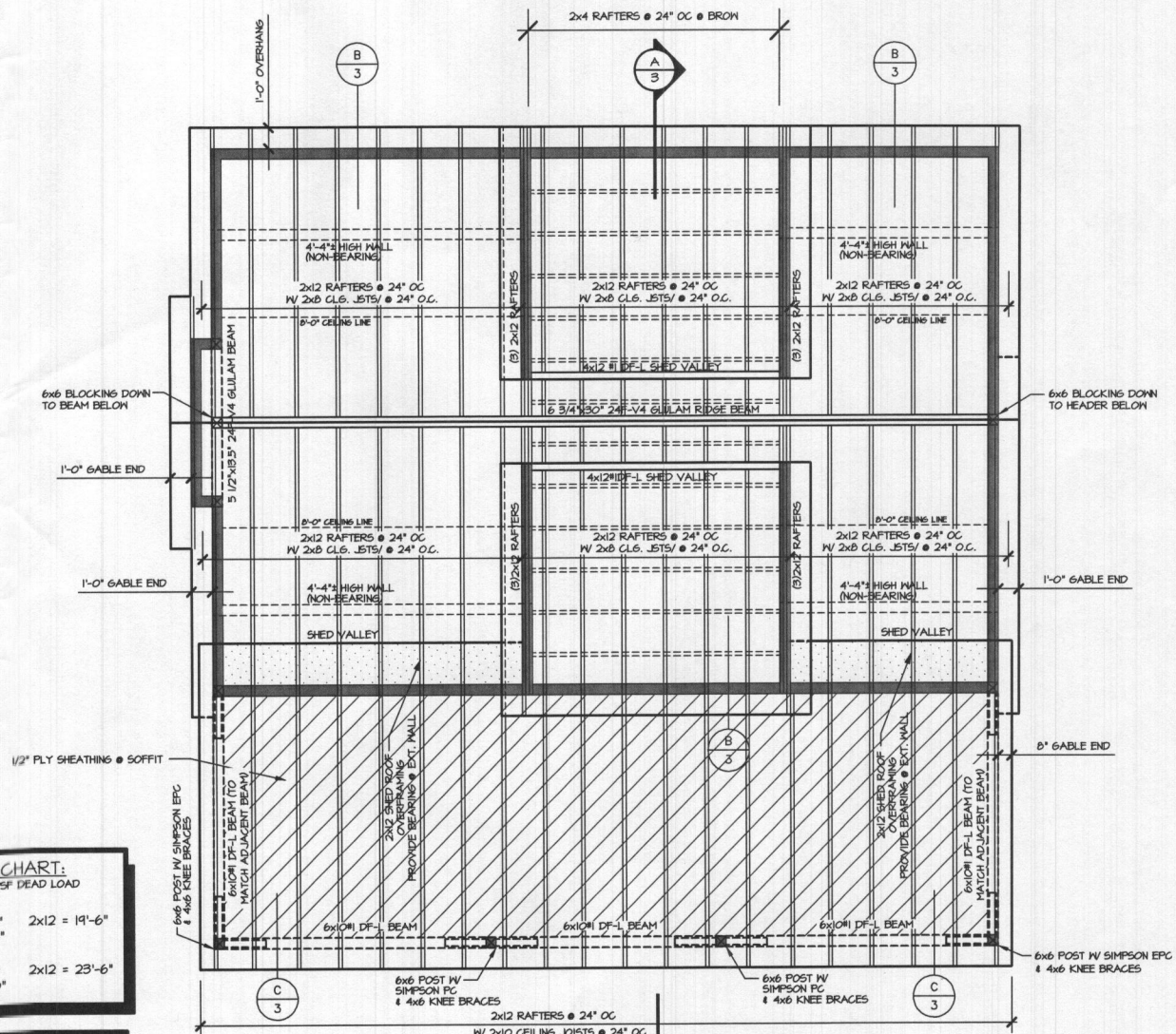
SCALE: 1/4"=1'-0"

CEILING JOIST SPAN CHART:

ASSUMED 20 PSF LIVE LOAD & 10 PSF DEAD LOAD

#2DF-L OR BETTER @ 24"OC		
2x4 = 7'-0"	2x6 = 10'-0"	2x12 = 19'-6"
2x6 = 12'-8"	2x10 = 15'-8"	
#2DF-L OR BETTER @ 16"OC		
2x4 = 8'-4"	2x6 = 12'-4"	2x12 = 23'-6"
2x6 = 15'-8"	2x10 = 19'-0"	

ALL RAFTERS TO BE 2X12 #2 OR BTR DF-L @ 24"OC UNLESS NOTED OTHERWISE



ROOF VENTING:

PROVIDE ONE (1) SQ.FT. VENTING FOR EACH 150 SQ.FT. ATTIC AREA. USE CONTINUOUS RIDGE VENTS AND SOFFIT VENTS AS REQUIRED. (8"x8" JACK VENTS MAY BE USED IN PLACE OF RIDGE VENTS).

WALL BRACING NOTE:

WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH IRC SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

NOTES:

- USE METAL FASTENERS AT ALL BEAM TO SUPPORT MEMBERS.
- SEE ELEVATIONS FOR ALL ROOF PITCHES.
- SOLID BLOCKING OF POSTS AT BEAM, HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) (EX: (2) 2x STUDS @ 2-PLY TRUSS, (3) 2x STUDS @ 3-PLY TRUSS, ETC.)
- SEE FLOOR PLAN FOR HEADER SIZES.
- TRUSS MFG. TO VERIFY ALL DIMENSIONS PRIOR TO TRUSS ASSEMBLY.
- PROVIDE 22"x30" ATTIC ACCESS TO ANY ATTIC AREA WITH CLEAR HEIGHT GREATER THAN 30".
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE 602.3(1). OR IBC TABLE 2304.9.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

PREPARED FOR:
TOM & LISA CAPPS
14955 TRIADPHILIA RD.
GLENELG, MD 21137
PHONE: (443)812-2410

TITLE:
2nd FLOOR FRAMING PLAN,
ROOF FRAMING PLAN & DETAIL

DATE:
11/13/20
SCALE:
NOTED
DRAWN CHECK
BY: KA BY: TT

Associated DESIGNS

ASSOCIATED
DESIGNS, INC.

www.associateddesigns.com

1100 JACOBS DRIVE

EUGENE, OREGON

97402-1983

(541) 461-2082

FAX: (541) 461-1274

REVISIONS:

REVISION OF:
20-020

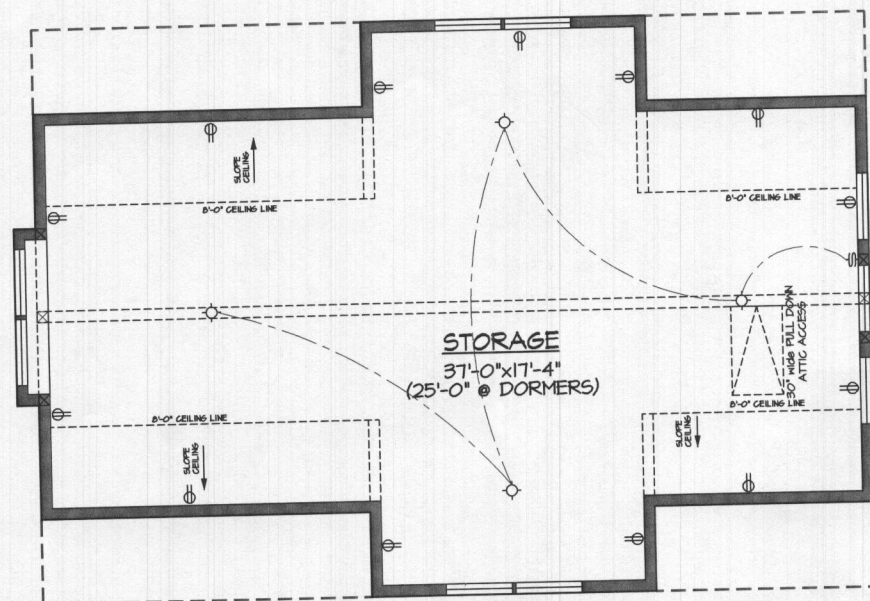
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SHEET
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5

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SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



LIGHTING LEGEND

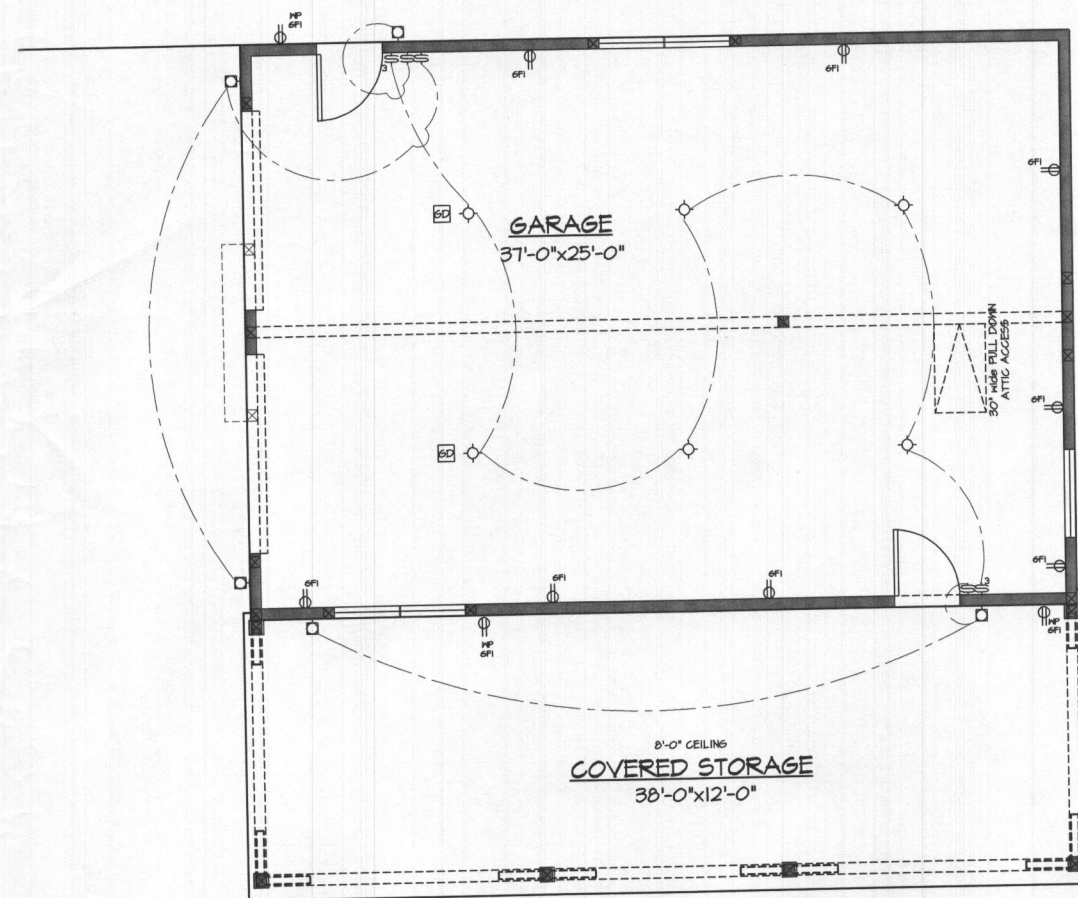
[Symbol]	24"x48" FLUORESCENT FIXTURE
[Symbol]	UNDER CABINET FLUORESCENT
[Symbol]	CEILING LIGHT
[Symbol]	RECESSED CEILING LIGHT
[Symbol]	RECESSED EYEBALL CEILING LIGHT
[Symbol]	HANGING CEILING LIGHT
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	FAN (VENT TO OUTSIDE)
[Symbol]	WALL OUTLET
[Symbol]	SPLIT WIRED SWITCHED OUTLET
[Symbol]	WALL OUTLET, GROUND FAULT INTERRUPT
[Symbol]	WALL OUTLET, WATER PROOF GROUND FAULT INTERRUPT
[Symbol]	SWITCH
[Symbol]	3 WAY SWITCH
[Symbol]	DIMMER SWITCH
[Symbol]	TELEVISION CABLE JACK
[Symbol]	TELEPHONE JACK
[Symbol]	GARAGE DOOR OPENER

NOTES:

- GROUND FAULT CIRCUIT PROTECTION REQUIRED FOR ALL 110 VOLT, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED OUTSIDE, IN GARAGE, BATHROOMS, WITHIN 12" OF KITCHEN SINK OR ABOVE KITCHEN COUNTERS.
- COORDINATE PREWIRE FOR STEREO, TELEVISION, TELEPHONE, AND SECURITY SYSTEM WITH OWNER.
- MECHANICAL SYSTEM TO BE DESIGNED BY MECHANICAL CONTRACTOR TO MEET OWNERS NEEDS AND COMPLY WITH LOCAL CODES.

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



PREPARED FOR:

TOM & LISA CAPPS
14935 TRIADAPLHIA RD.
GLENELG, MD 21731
PHONE: (443)812-2410

TITLE:
ELECTRICAL PLANS

DATE: 11/13/20
SCALE: NOTED
DRAWN BY: KA
CHECK BY: TT

Associated
DESIGNS

ASSOCIATED
DESIGNS, INC.
www.associatedesigns.com

1100 JACOBS DRIVE
EUGENE, OREGON
97402-1983
(541) 461-2082
FAX: (541) 461-1214

REVISIONS:
REVISION OF:
20-020

PROJECT:
20-370
SHEET
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