

RECEIVED

PERMIT NUMBER: B21002720

DATE ACCEPTED:

JUL 15 2021

**RESIDENTIAL BUILDING PERMIT APPLICATION**  
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
 www.howardcountymd.gov

**BUILDING SITE ADDRESS REQUIRED**  
 Street Address: 11753 Bragdon Wood Unit:  
 City: Clarksville State: MD Zip Code: 21029  
 Subdivision/Village/Complex Name: N/A SDP/WP/BA #:  
 Lot: N/A Tax Map: 0029 Parcel: 0351 Grading Permit #:

**DESCRIPTION OF WORK REQUIRED**  
 Existing Use: SF Home Proposed Use: In-Law Suite/Carport Addition Estimated Cost: \$ 312,000.00  
 Trade Work to Be Completed (Separate Permits Required): ☐ Mechanical (HVACR) ☐ Electrical ☐ Plumbing ☐ None  
 Construct 846 sf In-Law Quarter off the rear of the home (Kitchenette, PRoom, Sitting Area, LG. Bedroom w/ Laundry Closet. Construct 280 sf covered Carport w/ concrete ramp to the In-Law Entrance. Construct 120-sf of new Laundry Room in existing garage.

**PROPERTY OWNER INFORMATION REQUIRED**  
 Owner(s) Name(s) (As it appears on tax records): John and Rosemarie Gilbert Primary Residence: ☒ Yes ☐ No  
 Owner's Street Address: 11753 Bragdon Wood  
 City: Clarksville State: MD Zip Code: 21029  
 Phone: 301-452-5875 Email: rlandigil@yahoo.com

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**  
 Business Name: Design Build Remodeling Group of MD Contact Name: Kristy Loftice or Todd Swanson  
 Street Address: 1299 Judges Ct.  
 City: Eldersburg State: MD Zip Code: 21784  
 Phone: 443-300-2268 Email: info@dbrgmaryland.com

**CONTRACTOR INFORMATION REQUIRED**  
 Business Name: Design Build Remodeling Group of MD  
 Licensee's Name: Eric Swanson License #: 129933  
 Street Address: 1299 Judges Ct.  
 City: Eldersburg State: MD Zip Code: 21784  
 Phone: 443-300-2268 Email: info@dbrgmaryland.com

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**  
 Business Name: Creative Outlooks Name: Phil Gugliuzza  
 Street Address: 228 Stern Rd  
 City: Union Bridge State: MD Zip Code: 21791  
 Phone: 410-596-1062 Email: pgcreativeoutlooks@gmail.com

**BUILDING CHARACTERISTICS REQUIRED**  
 Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF\*) Condo: ☐ Yes ☒ No  
 Utilities: ☒ Electric ☐ Gas Water Supply: ☐ Public ☒ Private (Well) Sewage Disposal: ☐ Public ☒ Private (Septic)  
 Heating System: ☒ Electric ☐ Natural Gas ☐ Propane ☐ Other: Roadside Tree Project: ☒ No ☐ Yes: #  
 Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D ☒ None Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**  
 Model Name & Options: Conventional  
 # of Bedrooms (SF): 4 # of efficiency units (MF\*): N/A # of 1 BR (MF\*): # of 2 BR (MF\*): # of 3 BR (MF\*):  
 # Rooms: 11 # Full Baths: 2 # Half Baths: 1 # Fireplaces: 1  
 Garage/Carport Info: ☒ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ None  
 Basement/Foundation Info: ☒ Slab on Grade ☐ Post & Pier ☒ Unfinished Basement ☐ Finished Basement: ☐ Full or ☒ Partial  
 1st Fl Width: 39 ft 1st Fl Depth: 27 ft 2nd Fl Width: 39 ft 2nd Fl Depth: 27 ft Bsmt Width: 39 ft Bsmt Depth: 27 ft  
 Energy Method: ☒ Prescriptive ☐ Performance ☐ UA Alternative ☐ ERI Gross Area: 2746 sq ft Occupiable Area: 2240 sq ft

**AGREEMENT/ DISCALIMER REQUIRED**  
 THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.  
 Kristy Loftice 7/15/2021  
 APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED

**FOR OFFICE USE ONLY** CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 AGENCIES REQUIRED/APPROVALS:  
 PR DPZ DED Health SHA CID  
 SUBMITTAL FEES: \$2500 PAYMENT: CK#1509 ACCEPTED BY: DROP BOX

**COMPLETE THIS SECTION OF THE PERMIT APPLICATION**  
**CORRESPONDENCE**  
**DEPARTMENT OF ENVIRONMENTAL & NATURAL RESOURCES**

Date 08/10/2021

To: Hank Oswald - Health Department

From: Todd Swanson-Design Build Remodeling Group of MD 410 596-2899

Subject: Project name: Gilbert  
Project site address: 11753 Bragdon Wood Clarksville, Md 21029

Permit #: B21002720

Other information: Submitting one page of revised Floor Plan and amended Site Plan showing the septic.

☒ Please check the appropriate box.

Letter of response to:

☒ Revised plans and/or information submitted.

Letter Summary:

Comments:

Additional:

☒

Other sets of plans:

☒ Other: Submitting one page of revised Floor Plan and amended Site Plan showing the septic.

**Contact Person Information**

Todd Swanson, General Manager

410-596-2899

Please Print Name

info@dbrgmaryland.com

**PLEASE ASSURE ALL DESIGN AND CONSTRUCTION REQUIREMENTS ARE MET. IF NECESSARY, BY A LICENSED PROFESSIONAL ENGINEER. ANY INADEQUATE INFORMATION MAY RESULT IN THE CANCELLATION OF THE PERMIT. ADDITION, ONCE THE BUILDING PERMIT IS ISSUED, THE HEALTH DEPARTMENT WILL NOTIFY THE APPLICANT OF ANY REQUIRED CHANGES. ANY CHANGES WILL BE NOTIFIED BY THE HEALTH DEPARTMENT. INQUIRIES SHALL BE MADE TO THE HEALTH DEPARTMENT. AND PLAN REVIEW. PLEASE ALLOW A MINIMUM OF 10 BUSINESS DAYS FOR REVIEW. THANK YOU**

Received by:

White-Plan Review: M.D.

Operations & related forms

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 08/10/2021

To: Hank Oswald - Health Department, Dan Swinder  
(Person's Name and Division)

From: Todd Swanson-Design Build Remodeling Group of MD ( 410 ) 596-2899  
(Your Name, Company Name and Telephone Number)

Subject: Project name Gilbert

Project site address 11753 Bragdon Wood Clarksville, Md 21029

Permit # B21002720 SDP # \_\_\_\_\_

Other information pertinent to this project \_\_\_\_\_

Submitting one page of revised Floor Plan and amended Site Plan showing the septic

✓ Please check the attachments below that you are submitting with this transmittal:

Letter of response to address plan review comment letter

☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.

Letter Summarizing Changes

Energy conservation calculations

Copies of \_\_\_\_\_ (be specific).

☒ Health Department Request ☐ DPZ/DED Request ☐ Applicant's Request

Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_

☒ Other Submitting one page of revised Floor Plan and amended Site Plan showing the septic.

**Contact Person Information: (Required)**

Todd Swanson, General Manager

Telephone No: 410-596-2899

Please Print Name

E-Mail Address: info@dbrgmaryland.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by AS

CC: Health Dept

DCLP 2021 AUG 10 AM 11:06

MARYLAND COORDINATE SYSTEM  
GZ (NAD 83/91)

EX HOUSE

MICHAEL BALAKIRSKY &  
IRYNA KOPIY  
11755 BRAGDON WOOD  
CLARKSVILLE, MD 21029  
L. 16202; F. 138

DAVID & ANDREA HOWARD  
7749 BRAGDON WOOD  
CLARKSVILLE, MD 21029  
L 17756, F. 042

EX. WELL  
NO TAG

**EX. HOUSE**

EX DRIVEWAY  
TO BRAGDON WOOD

P. 351  
1.09/AC.†

S 62° 53' 23" E 208.15

EX. ELECTRIC  
LINE

ex.1500, go  
septic tank

approx. location  
of existing septic

EXISTING  
SEPTIC  
RESERVE  
AREA

JOSE & EILEEN ALMARIO  
11743 BRASCOCA WOOD  
CLARKSVILLE, MD 21029  
L. 3566 F. 668

ERICK & COLLEEN BRIMEN  
1179 BRAGDON WOOD  
CLARKSVILLE, MD 21029  
L. 17895, F. 421

420

L.O.D. DENOTES LIMIT OF  
DISTURBANCE = 1,570 SQ. FT.

NOTE: BOUNDARY SHOWN  
HEREON IS FROM RECORDED  
DEED OF LIBER 5031, FOLIO 060

REVISÉ

Date: 8/10/21  
B21002720  
Comments: Rev. & H.

added septic system for Health Dept records 08/09/2021

## PLOT PLAN

**GILBERT PROPERTY**

11753 BRAGDON WOOD

TAX MAP: 29 \* BLOCK: 14 \* PARCEL: 351  
5th ELECTION DISTRICT \* HOWARD COUNTY, MARYLAND



439 East Main Street Westminster, MD 21157-5599  
(410) 848-1790 FAX (410) 848-1791

DRAWN BY: BM

DESIGN BY:

REVIEW BY:

DATE: MARCH, 2021

SCALE: 1" = 50'

JOB NO: 2021053

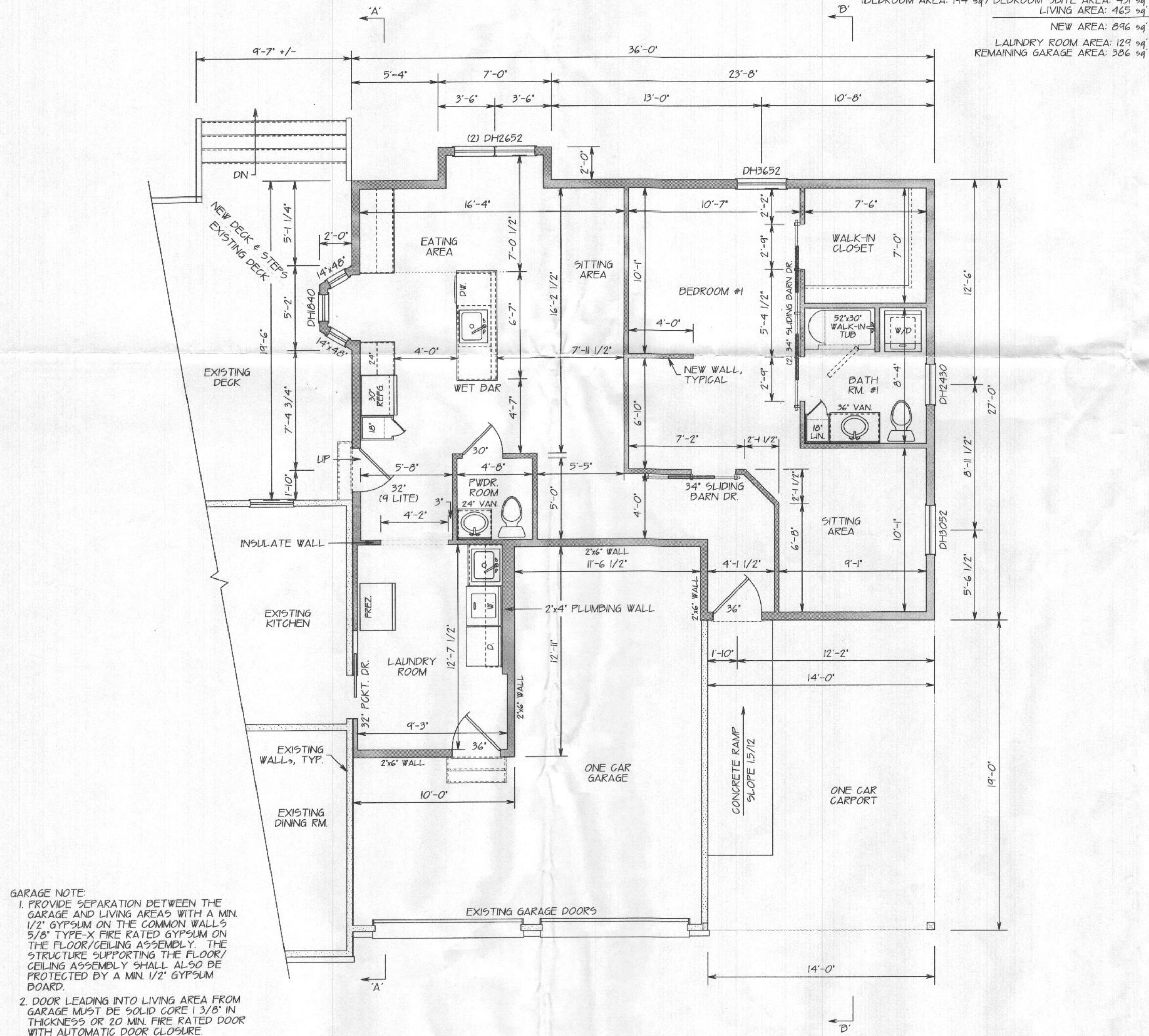
SHEET:



NOTE:

1. CARBON MONOXIDE ALARMS REQUIRED FOR DWELLINGS THAT USE FOSSIL FUELS ONE PER FLOOR LEVEL CENTRAL LOCATION.
2. SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP. ONE IN EACH BEDROOM AND ONE PER FLOOR LEVEL.
3. EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL SHEATHING (6" THICKNESS).
4. INTERIOR DIMENSIONS ARE FROM FACE OF STUDS (3 1/2" OR 5 1/2" THICKNESS).
5. INTERIOR DOORS ARE SHOWN 4" FROM ADJACENT WALL.
6. ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR.
7. HEADER SHALL BE (2) 2"x10", UNLESS NOTED OTHERWISE.
8. OPENINGS GREATER THAN 4'-0" WIDE REQUIRED DOUBLE 2"x6" JACK STUDS EACH SIDE.
9. CONTRACTOR SHALL VERIFY/COORDINATE ALL BEARING POINT/LOADS ARE DIRECT BEARING ON STEEL BEAM, LVL OR FOUNDATION WALL. PROVIDE SOLID BLOCKING AS NEEDED IN FLOOR SYSTEM.
10. MINIMUM JOIST BEARING ON WOOD-1 1/2", MASONRY-3".
11. PROVIDE GRACE ICE AND WATER SHIELD (OR EQUAL) ALONG EDGE AND VALLEY.
12. SAFETY GLAZING IS REQUIRED IN THE FOLLOWING AREA: ALL GLASS DOORS, SIDE LITES, AND WINDOWS TO A HEIGHT OF 60" WITHIN 24" OF A DOOR FRAME, AREAS AROUND SHOWERS, TUBS, SPAS/POOLS, STAIR LANDINGS, RAILING/GUARDRAIL, AND WALKING SURFACES. WINDOWS HAVING A SILL HEIGHT OF LESS THAN 18" TO THE FLOOR AND GREATER THAN 9' 90" IN GLAZING AREA WILL REQUIRED SAFETY GLAZING. FOR FURTHER INFORMATION SEE SECTION R308. NOTE LAMINATED PLASTIC GLAZING AND SAFETY FILM DO NOT PASS FOR SAFETY GLAZING UNLESS FURTHER DOCUMENTATION IS PROVIDED AND APPROVED BY COUNTY.
13. ALL INTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE LANDINGS AND TREADS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE AT THE TOP OF THE LANDING. EXTERIOR STAIRWAY TO BASEMENTS REQUIRE A MEANS TO ILLUMINATE AT THE BOTTOM OF THE LANDING.

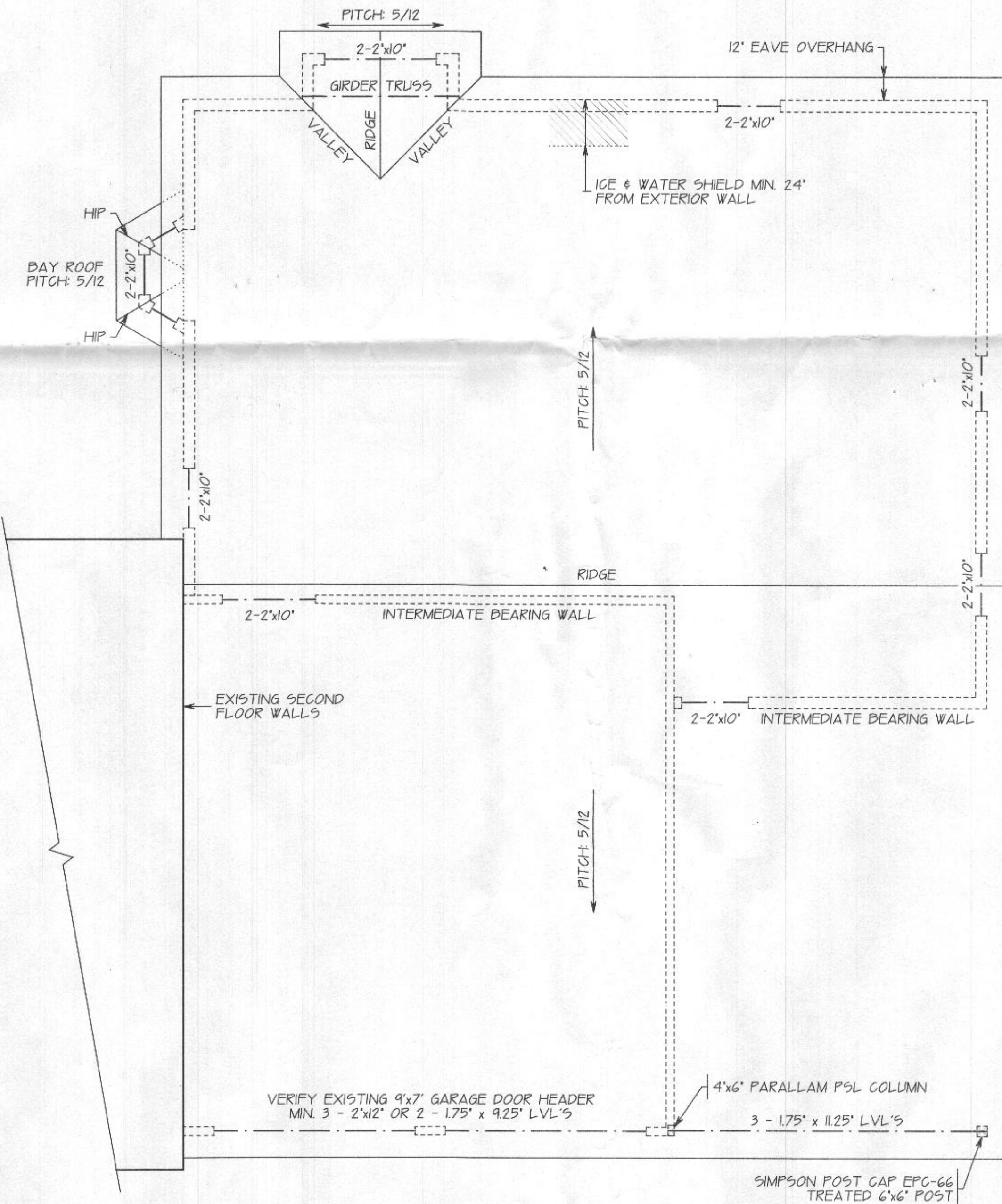
14. HANDRAIL REQUIREMENTS:
  1. ONE SIDE OF STAIRWAY WITH FOUR OR MORE RISERS CONTINUOUS FOR FULL LENGTH (RIGHT SIDE DESCENDING RECOMMENDED).
  2. GRASPABLE PER SECTION R317.8.3.
  3. BETWEEN 34"-38" ABOVE NOSING. PROJECTING FROM WALL MIN. 1 1/2" TO INNER EDGE AND MAX. 4 1/2" TO OUTER EDGE.
  4. ENDS SHALL BE RETURNED TO WALL OR SHALL HAVE TERMINATE IN THE NEWEL POSTS TO SAFETY TERMINALS.
15. GUARDRAIL: OPEN SIDE(S) OF STAIR SHALL HAVE A GUARDRAIL NOT LESS THAN 34" IN HEIGHT MEASURED ABOVE TREAD NOSING. BALUSTERS/ PICKETS, INTERMEDIATE RAILS, AND ORNAMENTAL CLOSURES SHALL BE INSTALLED SO AS NOT TO ALLOW THE PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER ON LEVEL SURFACES, AND NO MORE THAN A 4 3/8" SPHERE ALONG A RUN OF STAIRS.
16. PORCHES, BALCONY, DECKS AND OTHER RAISED SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW (MEASURED 36" HORIZONTALLY FROM THE EDGE OF THE OPEN SIDE) SHALL HAVE GUARDRAILS. NOT LESS THAN 36" HIGH SUBDIVIDED PER (17H) ABOVE.
17. A READILY ACCESSIBLE ACCESS OPENING NOT LESS THAN 22"x30" WITH 30" HEAD HEIGHT CLEARANCE SHALL BE PROVIDED TO ANY ATTIC AREA OR OTHER LOCATION HAVING A CLEAR HEIGHT OF 30" OR MORE. CLOSETS (EXCEPT WALK-IN) ARE NOT CONSIDERED READILY ACCESSIBLE. PROVIDE A LIGHT IN THE ATTIC WITH THE VICINITY OF THE ACCESS PANEL. IN ALL NEW CONSTRUCTION IF AIR HANDLER UNITS, WATER HEATERS, OR OTHER SERVICEABLE EQUIPMENT ARE INSTALLED WITH THE ATTIC, ACCESS MUST BE PROVIDED BY PERMANENT OR PULL DOWN STAIRS.



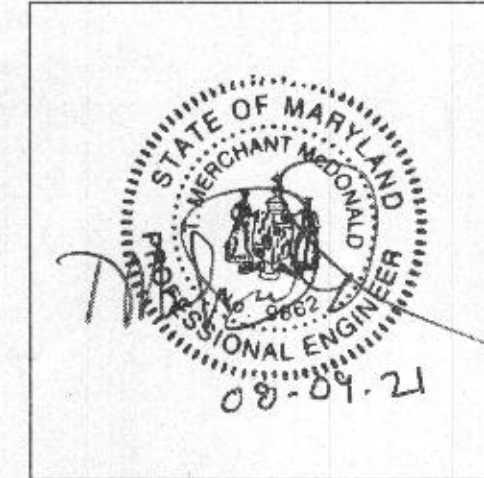
FIRST LEVEL FLOOR PLAN

NOTE:

1. OPENING GREATER THAN 4'-0" REQUIRED DOUBLE 2"x6" JACK STUDS AT EACH END.
2. TRUSS CONFIGURATION SHOWN DIAGRAMMATICALLY ONLY. CONSULT TRUSS MANUFACTURER FOR SPECIFICATIONS & ACTUAL CONFIGURATION. T.P.I. APPROVED.
3. PROVIDE KICK-OUT FLASHING WHERE ROOF-TO-WALL INTERSECT/STOP.

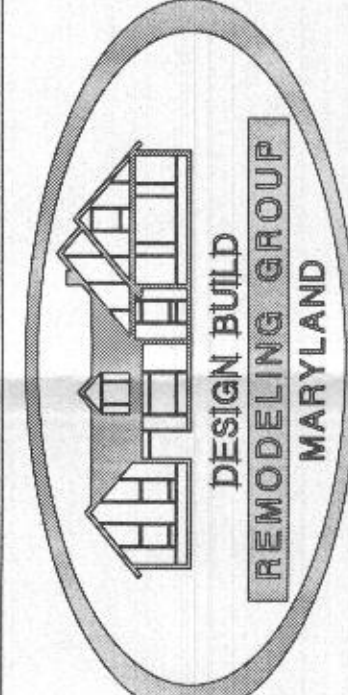


ROOF PLAN



REVIEWED FOR STRUCTURAL SUPPORT: FOUNDATION, STEEL BEAMS, MICRO-LAMS, HEADERS & WALL BRACING ONLY. Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland. License No. 9862, Expiration Date: 5-17-22. TMM CONSULTING SERVICES, LLC 7941 HOLLOW RD. MIDDLETOWN, MD 21769 240-434-9518

CREATIVE OUTLOOKS, LLC  
PHILIP F. GUGLIUZZA



ADDITIONS: GARAGE, FAMILY ROOM, OWNER'S SUITE & BATHROOMS, IN-LAW SUITES & MORE. KITCHEN REMODEL & ADDITIONS. BATHHOUSE RENOVATIONS. AGING/DISABILITY NEEDS. P.O. BOX 1285 ELDERSBURG, MARYLAND 21764 PHONE: 443-300-2248

Authorization/Limitations for Use of Plans: This set of drawings, the design itself, and any accompanying specifications are solely owned by and have been prepared for the exclusive use by Design Build Remodeling Group. For the improvements to be made. A copy of these drawings and specifications will be provided to the Client. It is understood and agreed that these drawings are not to be used for construction by any other parties. Copyright: DESIGN BUILD REMODELING GROUP All rights reserved 2020



## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Thursday, August 5, 2021 2:55 PM  
**To:** Rolls, Steve; Todd Swanson  
**Cc:** RLANDIGIL@YAHOO.COM; info@dbrgmaryland.com; ERIC@DBRGMARYLAND.COM  
**Subject:** RE: B21002720\_11753 Bragdon Woods Drive\_Site Plan

Thanks for the follow-up/clarification on this. I think from Health Department perspective we would like to see a more direct connection between the existing residence and the new addition, so that it reduces the chance of it being used as a future rental. Would the owners be open to revising the floor plan to show a cased opening without the metal door into the new addition from the new laundry room?

Hank

---

**From:** Rolls, Steve <scrolls@howardcountymd.gov>  
**Sent:** Thursday, August 5, 2021 1:42 PM  
**To:** Todd Swanson <todd@dbrgmaryland.com>; Oswald, Hank <hoswald@howardcountymd.gov>  
**Cc:** RLANDIGIL@YAHOO.COM; info@dbrgmaryland.com; ERIC@DBRGMARYLAND.COM  
**Subject:** RE: B21002720\_11753 Bragdon Woods Drive\_Site Plan

Todd is correct. He explained that the kitchenette doesn't have a stove. Since that's the case the proposed work does not need an accessory apartment or conditional use that I commented on with my hold comments on 7/29. I'm copying and pasting the comment from my approval on 7/30:

<b>Current Status</b>	<b>Status Date</b>
Approved	07/30/2021
<b>Action By</b>	<b>Action by Department</b>
Steve Rolls	DPZ DED Tech
<b>Comments</b>	<b>Display E-mail</b>
No stove in kitchenette per applicant.	

If anyone has questions please let me know.

Steve Rolls  
Zoning Inspector  
(410) 313-4392

---

**From:** Todd Swanson <todd@dbrgmaryland.com>  
**Sent:** Thursday, August 5, 2021 1:29 PM  
**To:** Oswald, Hank <hoswald@howardcountymd.gov>; Rolls, Steve <scrolls@howardcountymd.gov>  
**Cc:** [RLANDIGIL@YAHOO.COM](mailto:RLANDIGIL@YAHOO.COM); [info@dbrgmaryland.com](mailto:info@dbrgmaryland.com); [ERIC@DBRGMARYLAND.COM](mailto:ERIC@DBRGMARYLAND.COM)  
**Subject:** Re: B21002720\_11753 Bragdon Woods Drive\_Site Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello Hank,

I have copied Steve Rolls from the Zoning Department in this reply so he can let you know that zoning has signed off on the plans. Steve, if you could please confirm to Hank it would be greatly appreciated.

Regards,

**Todd Swanson**

***General Manager,***

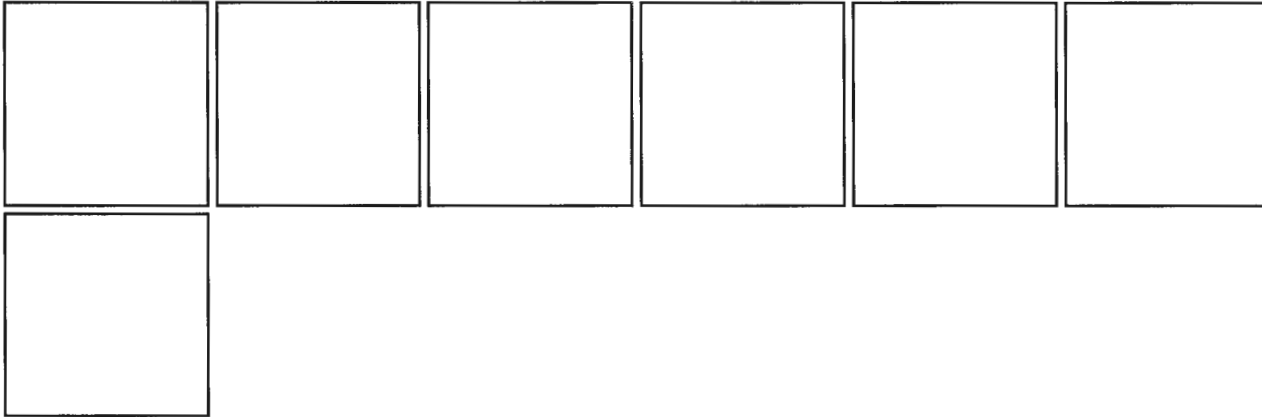
**Design Build Remodeling Group of Maryland, LLC**

1299 Judges Ct.

Sykesville, MD 21784

Office: 443.300.2268

Cell: 410.596.2899



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On Thu, Aug 5, 2021 at 1:24 PM Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Hello Mr. and Mrs. Gilbert:

Thanks for your time in the field today. As we discussed, I will wait to hear back from you or your contractor after you've had a chance to speak with Zoning about their designations for this living space addition. We also discussed revising the building permit site plan to include the septic tank location and submitting those changes to D.I.L.P. I've attached a copy of the septic record/As-built drawing to assist your contractor with this change.

Should you have any questions or wish to discuss further, please don't hesitate to contact me.

Thanks,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Bureau of Environmental Health

Well & Septic Program

8930 Stanford Boulevard

Columbia, MD 21045

(410) 313 - 1786

[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)



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**Design Build Remodeling Group of Maryland, LLC**  
1299 Judges Ct.  
Sykesville, MD 21784  
Office: 443.300.2268  
Cell: 410.596.2899


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On Thu, Aug 5, 2021 at 1:24 PM Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

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Should you have any questions or wish to discuss further, please don't hesitate to contact me.

Thanks,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Bureau of Environmental Health

Well & Septic Program

8930 Stanford Boulevard



Columbia, MD 21045

(410) 313 - 1786

[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

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**Sent:** Thursday, August 5, 2021 1:24 PM  
**To:** RLANDIGIL@YAHOO.COM  
**Cc:** info@dbrgmaryland.com; 'ERIC@DBRGMARYLAND.COM'  
**Subject:** B21002720\_11753 Bragdon Woods Drive\_Site Plan  
**Attachments:** A37468\_05-402131\_11753\_BRAGDON\_WOODS\_DRIVE.pdf

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Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
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hoswald@howardcountymd.gov