

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21002724	07/26/2021
Description of Work		
SFD/ INSTALL (1) 500 GALLON UNDERGROUND PROPANE TANK		

check spelling

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
18415	HIDDEN CREEK	WWAY	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.15537	39.33349
City	State	Zip Code	Primary
MOUNT AIRY	MD	21771	Yes

Approved 8/17/21  
Ab

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
925320	57	1.13	80000	80000	0	RURAL
Legal Description						
LOT 16 1.130 A[ ]18415 HIDDEN CREEK WAY[ ]WINDSOR FOREST KNOLLS						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	16	604001	5				
Plan Area	State Tax Id	Subdivision Name					
	1404373324	Windsor Forest Knolls					
Section	Area	Tax Map					
		6					
Grid	Zoning District	ADC Map					
6-10	RC-DEO	4690-F7					
SDP No.	Final Plan No.	W/P File No.					
	F-07-008						
Record Plat No.	WS Contract No.	FDP No.	Primary				
19395-1939			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-04	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner \* (This section is required.)

Search Reset Clear

Name *	DANIEL BICHNER	
Address Line 1	18415 HIDDEN CREEK WAY	
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
MOUNT AIRY	PA	21911
Phone	Primary	
888-517-3680	Yes	
E-mail	DEBBIEANN@DIXIELANDENERGY.COM	
Call Number	Fax Number	

Professionals (This section is not required.)

Search    Reset    Clear

License # *	Business Name		
20100100429	DIXIE LAND ENERGY LLC		
License Type *	First Name	Middle Name	Last Name
Propane Gs	BASIL	STEPHEN	PERRY
Primary	Address Line 1		
Yes	281 EAST MAIN STREET		
	Address Line 2		
	City	State	ZIP Code
	RISING SUN	MD	21911-0000
	Phone 1	Phone 2	Fax
	4434144940		
	E-mail		

Applicant (This section is not required.)

Search    As Owner    As Lic. Prof    As Contact

Type *	First Name	MI	Last Name
Applicant	BASIL	STEPH	PERRY
Relationship	Full Name		
Applicant			
Primary	Organization Name		
Yes	DIXIE LAND ENERGY		
	Street Address		
	281 e main st		
	Address Line 2		
	City	State	Zip Code
	RISING SUN	MD	21911
	Phone	Cell	Fax
	8885173680		
	E-mail *		
	DEBBIEANN@DIXIELANDENERGY.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
4281.6	0	0	No
Construction Type			
329 - Structures Other Than Buildings (Retaining Walls/Tents)			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	2/6/2022	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Related Records

Showing 1-4 of 4

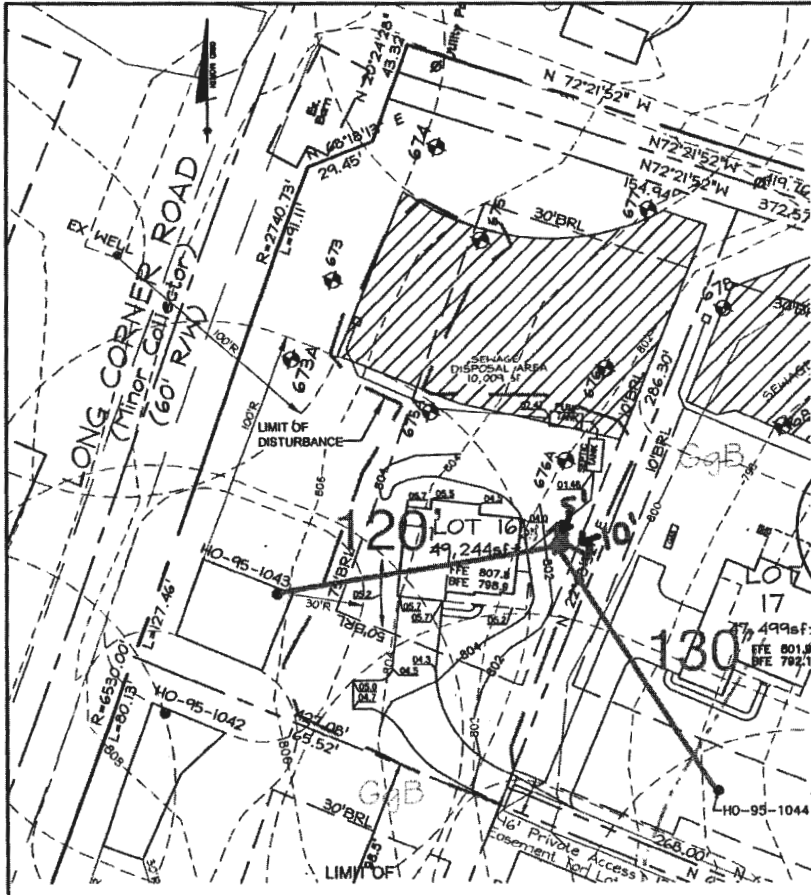
Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B21001210	Residential New Single Family Dwelling Permit	Issued	18415	HIDDEN CREEK	03/29/2021	SFD/ MODEL ' PARKER FARMHOUSE', 2 STORY, Full Baseme
F21001003	Residential New-Addition SFD Sprinkler Permit	Issued	18415	HIDDEN CREEK	08/04/2021	SFD/ INSTALL NEW NFPA 13D SPRINKLER SYTEM - (45) HEA
P21002938	Residential New Plumbing Permit	Issued	18415	HIDDEN CREEK	07/22/2021	NEW SFD// 'PARKER FARMHOUSE'/ INSTALL GAS AND PLUM
B21002724	Residential Tank Permit	Application Accepted	18415	HIDDEN CREEK	07/26/2021	SFD/ INSTALL (1) 500 GALLON UNDERGROUND PROPANE T,

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Revised Plat Plan for 18415 Hidden Creek Way 11th Hwy 1111  
 Shows Tank 5' off septic lines, distance to wells and 10' off property line



LEGEND	
	PROPOSED CONTOURS
	EXISTING CONTOURS
	EXISTING PRIVATE SEWAGE DISPOSAL AREA
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE
	SOILS MAP SYMBOL
	SOILS DELINEATION LINE

LP tank  
 5' off septic line  
 > 100' off wells

Approved for LP tank  
 B21002724  
 RA 8/17/21

✓ d osas plan

BUILDER'S DATA	
FINISHED FLOOR:	807.8
BASEMENT FLOOR:	798.9
TOP OF WALL:	806.6
BASEMENT SUBGRADE:	798.0
GARAGE FLOOR:	806.0
GARAGE LIP:	805.7
SEWER BELOW TOW:	6.4

**GENERAL NOTES**

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR WINDSOR FOREST KNOLLS, PLAT NUMBER 19395. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1043) HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING INC. JULY 2020 AND IS ACCURATELY SHOWN.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS BASED ON FIELD RUN TOPOGRAPHY BY C.B. MILLER & ASSOCIATES IN APRIL, 2002, AND WAS SUPPLEMENTED BY FIELD RUN TOPOGRAPHY BY BENCHMARK ENGINEERING, INC. JULY 2020.
5. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
6. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED IN A MICRO-POOL POND AND WATER QUALTY SWALES, CONSTRUCTED UNDER F-07-008. SWM DESIGN WAS BASED ON 20% IMPERVIOUS FOR LOT AREAS. LOT 16 IS 14.3% IMPERVIOUS ON THIS PLAN, AND SHOULD REQUIRE NO ADDITIONAL SWM TREATMENT. NOTE THIS IMPERVIOUS COVER INCLUDES THE LOT'S PORTION OF THE USE IN COMMON DRIVEWAY, WHICH WAS CONSTRUCTED PREVIOUS TO THE LOT DEVELOPMENT AND IS THEREFORE NOT INCLUDED IN THE DISTURBED AREAS OF THE SITE ANALYSIS.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376, Expiration Date: 01-01-2023.



AAM-BEI

2021.06.16 12:02:55 -04'00

Revised plan rec'd 8/17/21  
 OK (RA)

OWNER/BUILDER:  
 KEYSTONE CUSTOM HOMES, INC.  
 227 GRANITE RUN DR.  
 SUITE 100  
 LANCASTER, PA 17601  
 717-464-9060

**BENCHMARK**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 (P) 410-463-6105 & (F) 410-463-6644  
 WWW.BEI-CIVILENGINEERING.COM

PROJECT:		WINDSOR FOREST KNOLLS LOT 16	
LOCATION:		TAX MAP: 6 - GRID: 16 - PARCEL: 57 18415 HIDDEN CREEK WAY, TAX ID# 04-373324 ELECTION DISTRICT NO. 4 - HOWARD COUNTY, MARYLAND	
TITLE:		BUILDING PERMIT PLAN	
HOUSE TYPE:		CUSTOM - KEYSTONE HOMES	
DATE:	JUNE 2021	PROJECT NO.	2986
SCALE:	AS SHOWN	DRAWING	1 OF 1