

# The Dorchester 4

Williamsburg Group, LLC  
5485 Harpers Farm Rd. #200  
Columbia, MD 21044  
(410) 997- 8800

HEALTH  
DEPT

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## PROJECT DATA

| CONSTRUCTION:            |          |
|--------------------------|----------|
| GROUND FLOOR             | CONCRETE |
| FIRST FLOOR              | WOOD     |
| SECOND FLOOR             | WOOD     |
| ROOF                     | WOOD     |
| WALLS                    | WOOD     |
| BUILDING AREA/SQ. FT.    |          |
| INCLUDED:                |          |
| D4 ELEVATION 1           |          |
| FIRST FLOOR CONDITIONED  | 2120     |
| SECOND FLOOR CONDITIONED | 1935     |
| UNFINISHED BASEMENT      | 2120     |
| OPT. FIN. BASEMENT       | 900      |
| OPT. MEDIA RM            | 360      |
| OPT. OFFICE              | 214      |
| GARAGE                   | 480      |
| D4 ELEVATION 2           |          |
| FIRST FLOOR CONDITIONED  | 2164     |
| SECOND FLOOR CONDITIONED | 1935     |
| UNFINISHED BASEMENT      | 2148     |
| OPT. FIN. BASEMENT       | 928      |
| GARAGE                   | 480      |
| D4 ELEVATION 3           |          |
| FIRST FLOOR CONDITIONED  | 2214     |
| SECOND FLOOR CONDITIONED | 1990     |
| UNFINISHED BASEMENT      | 2200     |
| OPT. FIN. BASEMENT       | 928      |
| GARAGE                   | 480      |
| D4 ELEVATION 4           |          |
| FIRST FLOOR CONDITIONED  | 2200     |
| SECOND FLOOR CONDITIONED | 1989     |
| UNFINISHED BASEMENT      | 2200     |
| FINISHED BASEMENT        | 928      |
| GARAGE                   | 480      |
| D4 ELEVATION 5,6         |          |
| FIRST FLOOR CONDITIONED  | 2148     |
| SECOND FLOOR CONDITIONED | 1935     |
| UNFINISHED BASEMENT      | 2148     |
| FINISHED BASEMENT        | 928      |
| GARAGE FL. 5             | 702      |
| GARAGE FL. 6             | 480      |

| BUILDING AREA/SQ. FT.   |     |
|-------------------------|-----|
| INCLUDED:               |     |
| OPTIONS                 |     |
| PORCHES:                |     |
| ELEV. 1                 | 50  |
| ELEV. 3 (standard)      | 80  |
| ELEV. 3 (wrapped)       | 310 |
| ELEV. 4                 | 80  |
| ELEV. 5                 | 80  |
| ELEV. 6                 | 90  |
| SECOND FLOOR FAMILY RM. |     |
|                         | 398 |
| TWO STORY CONSERVATORY: |     |
| BASEMENT                | 525 |
| FIRST FL.               | 525 |
| SECOND FL.              | 525 |
| LARGE MORNING RM.:      |     |
| BASEMENT                | 282 |
| FIRST FL.               | 282 |
| SMALL MORNING RM.:      |     |
| BASEMENT                | 168 |
| FIRST FLOOR             | 168 |
| CONSERVATORY:           |     |
| BASEMENT                | 340 |
| FIRST FL.               | 340 |
| DETACHED GARAGE:        |     |
| BREEZEWAY               | 576 |
|                         | 48  |
| 2' KITCHEN, WDRM EXT.   |     |
| BASEMENT                | 58  |
| FIRST FL.               | 58  |
| SECOND FL.              | 58  |
| 2' LIBRARY EXT.         |     |
| BASEMENT                | 24  |
| FIRST FLOOR             | 24  |
| 4' FAMILY RM. EXT.      |     |
| BASEMENT                | 80  |
| FIRST FLOOR             | 80  |
| TOTAL CONDITIONED SPACE |     |
| TOTAL GROSS SPACE       |     |

## PROJECT DESIGN CRITERIA

THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION FOR ONE AND TWO FAMILY DWELLINGS ALL STATE AND LOCAL AMENDMENTS CONSTRUCTION CLASSIFICATION TYPE 5B (022801.01) USE GROUP: 33

| 2018 IECC CODE COMPLIANCE                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | BUILDING DATA                                                                                                                                                                                                                                                            |                                         |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|
| CODE SECTION                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | STANDARD (MINIMUM)                                                                                                                                                                                                                                                       |                                         |
| CLIMATE & GEOGRAPHIC DESIGN CRITERIA                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | CLIMATE & GEOGRAPHIC DESIGN CRITERIA                                                                                                                                                                                                                                     |                                         |
| R301.1 CLIMATE ZONE                                     | 4A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | FLOOR LIVE LOAD                                                                                                                                                                                                                                                          | 40 PSF                                  |
| R401.2 COMPLIANCE METHOD                                | MANDATORY AND PRESCRIPTIVE PROVISIONS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | ROOF LIVE LOAD                                                                                                                                                                                                                                                           | 40 PSF                                  |
| R402.1.1 VAPOR RETARDER                                 | WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RESISTANCE REQUIREMENTS OF SECTION 702.2 OF THE IRC 2018                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | WIND SPEED (ULTIMATE)                                                                                                                                                                                                                                                    | 115 MPH (EXPOSE C)                      |
| R402.1.2 ATTIC INSULATION                               | R-30 OR R-38 WILL SATISFY THE REQUIREMENT IF FULL OVERLAP TOP PLATE & CAVES (REQUIRES RAISED ROOF TRUSSES)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | ATTICS W/ STORAGE                                                                                                                                                                                                                                                        | 10 PSF                                  |
| R402.1.2 WOOD FRAME WALL                                | R-10 OR R-15 CONTINUOUS INSULATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | ATTICS W/ STORAGE                                                                                                                                                                                                                                                        | 20 PSF                                  |
| R402.1.2 BASEMENT WALL INSULATION                       | R-10 POLY Faced CONTINUOUS, UNINTERRUPTED BATT FULL HEIGHT R-15 IN CAVITY IF FINISHED                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | HABITABLE ATTICS                                                                                                                                                                                                                                                         | 30 PSF                                  |
| R402.1.2 CRAWL SPACE WALL INSULATION                    | R-10 POLY Faced CONTINUOUS BATT FULL HEIGHT, EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2" OF R-30 BATT INSULATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | STAIRS                                                                                                                                                                                                                                                                   | 40 PSF                                  |
| R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE      | R-10 POLY Faced CONTINUOUS BATT FULL HEIGHT, EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2" OF R-30 BATT INSULATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | DECKS & BALCONIES (EXT)                                                                                                                                                                                                                                                  | 40 PSF                                  |
| R402.1.2 WINDOW & VALLEY SHGC                           | 0.32 (U-VALUE) & 0.40 (SHGC)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | GUARDRAILS                                                                                                                                                                                                                                                               | 300 LB (CONT)                           |
| R402.1.2 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE | R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 24" HORIZONTALLY OR VERTICALLY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | SEISMIC CATEGORY                                                                                                                                                                                                                                                         | B LIGHT FRAME STRUCTURAL W/ SHEAR WALLS |
| R402.2.4 ATTIC ACCESS                                   | ATTIC ACCESS SOUTLE WILL BE WEATHER-STRIPPED AND INSULATED R-49                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | CONCRETE WEATHERING                                                                                                                                                                                                                                                      | MODERATE TO HEAVY                       |
| R402.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)      | EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IRC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | DECAY PROBABILITY                                                                                                                                                                                                                                                        | MODERATE                                |
| R402.4.1.2 BUILDING ENVELOPE TEST OPTION                | BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 283 OR ASTM E 285 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY                                                                                                                                                                                                                                                                                                                                                                                                    | ICE UNDERLAYMENT                                                                                                                                                                                                                                                         | YES                                     |
| R402.4.2 FIREPLACES                                     | NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR ROOFS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE EXCEPTS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R902.2 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE | ROOF DEPTH                                                                                                                                                                                                                                                               | 32"                                     |
| R402.4.2 RECESSED LIGHTING                              | ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | NOTE: MINIMUM VALUES SHOWN. CONFORM WITH LOCAL CODES OFFICIAL PRIOR TO CONSTRUCTION                                                                                                                                                                                      |                                         |
| R402.4.2 THERMOSTAT                                     | WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | GENERAL NOTES                                                                                                                                                                                                                                                            |                                         |
| R402.4.2 MECHANICAL DUCT INSULATION                     | SUPPLY & RETURN DUCTS IN ATTIC & R-10 MIN SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-6 MIN ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION                                                                                                                                                                                           |                                         |
| R402.4.2 DUCT SEALING                                   | ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M162.1 OF THE IRC                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | MECH. NOTES                                                                                                                                                                                                                                                              |                                         |
| R402.4.2 MECHANICAL VENTILATION                         | A DUCT TIGHTNESS TEST (DUCT BLASTER, LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A PAST COMS. TEST OR A TIGHTNESS TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE                                                                                                                                                                                                                                                                                                                                                                                                                                      | 1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS                                                                                                    |                                         |
| R402.4.2 WHOLE HOUSE MECHANICAL SYSTEM AIR EFFICIENCY   | OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER TO COMPLY WITH TABLE R402.4.1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 2. CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.                                                                            |                                         |
| R402.4.2 LIGHTING EQUIPMENT                             | SHALL COMPLY WITH R402.4.1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FIXTURES, AND ETC. SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS.                                                                                                                                       |                                         |
| R402.4.2 WATER HEATER                                   | A MIN. OF 30% OF ALL LAMPS MUST BE HIGH EFFICIENCY LAMPS. MIN EFFICIENCY ESTABLISHED BY NABCA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOADS INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO CONSTRUCTION |                                         |
| R402.4.2 MECHANICAL TESTING                             | ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIRMING TO ELECTRICAL PANEL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                          |                                         |

REVISED 9/19

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

| DATE | REVISION |
|------|----------|
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |

Date: 6/13  
Scale: 1/4" = 1'-0"  
Drawn: TIM

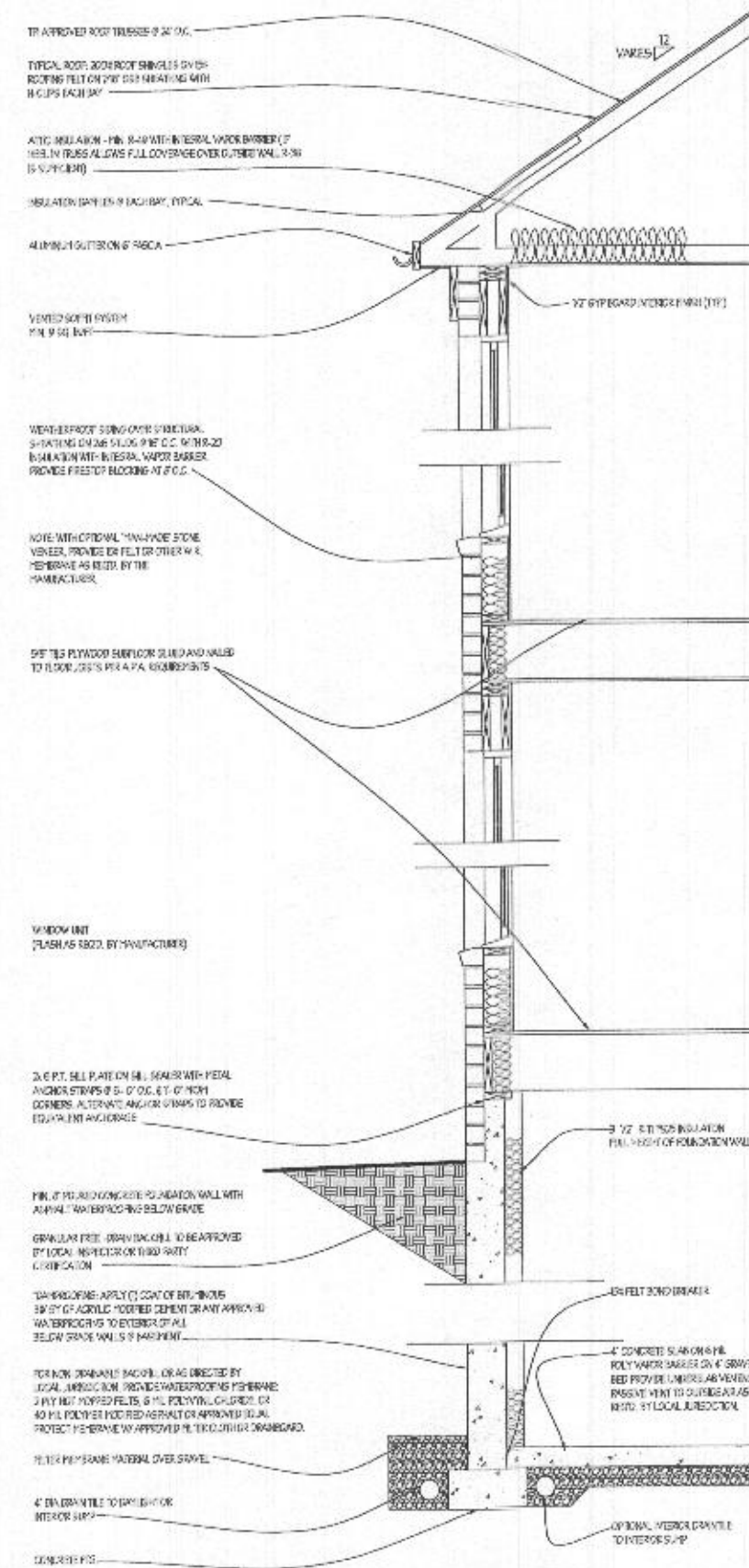
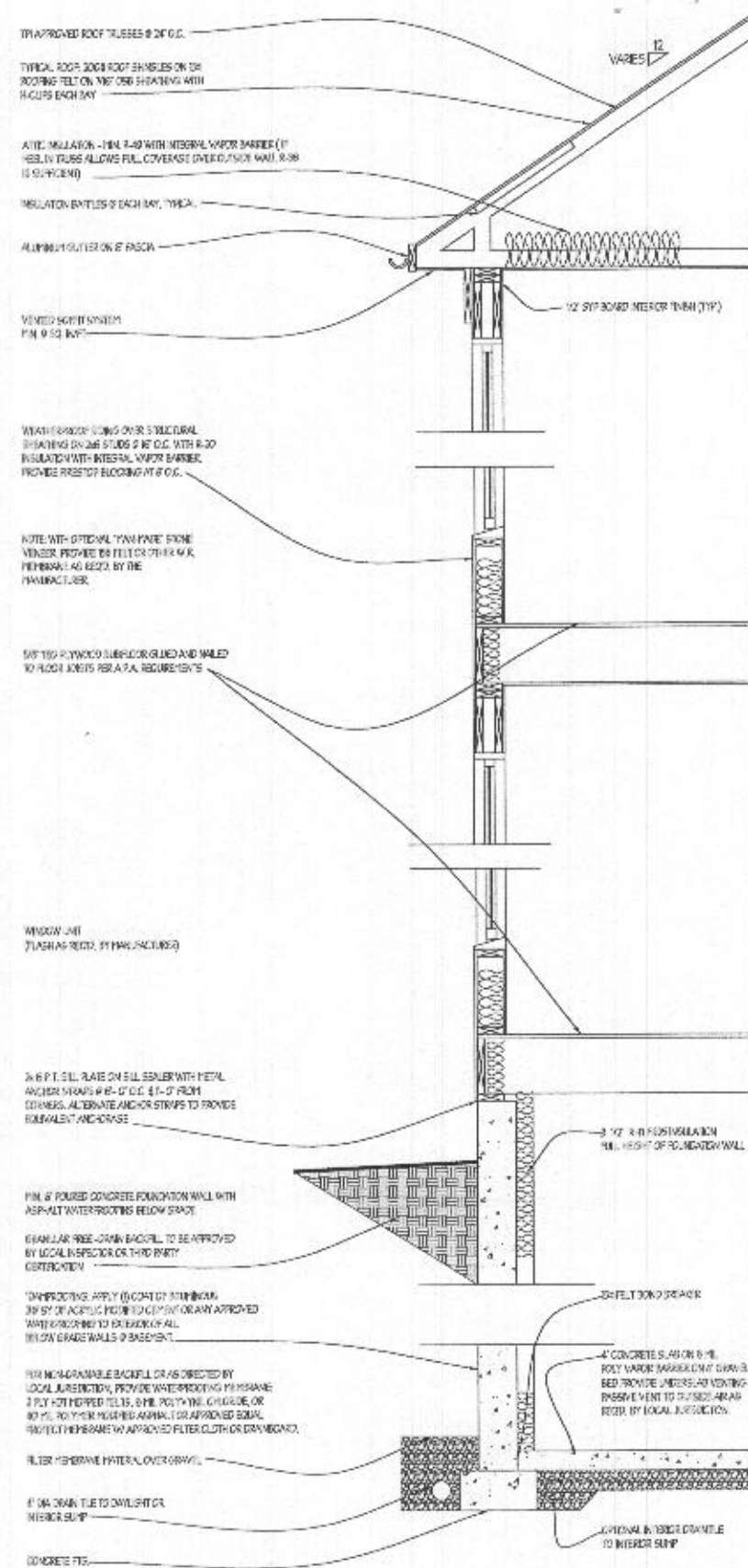
Drawing: COVER PAGE  
Project: WILLIAMSBURG GROUP  
DORCHESTER 4  
ESTATE HOME

1067 D4E  
Project No.



The Woodlands Lot 1  
5620 Dora Court, Clarksville, MD 21029  
B20004505





# FOUNDATION DESIGN SCHEDULES

## PLAIN CONCRETE WALLS

BASED ON GROUP 1 WALLS (W 50, W 50)

| WALL THICKNESS | WALL HEIGHT | MAX. UNBALANCED TEL. |
|----------------|-------------|----------------------|
| 8"             | 8' 0" 0"    | 7'                   |
| 12"            | 8' 0" 0"    | 8'                   |

BASED ON GROUP 2 (W 160, SH 160, SH 160, 4" F.W.) GROUP 3 (W 16, L 16, L 16)

| WALL THICKNESS | WALL HEIGHT | MAX. UNBALANCED TEL. |
|----------------|-------------|----------------------|
| 8"             | 8' 0" 0"    | 7'                   |
| 12"            | 8' 0" 0"    | 8'                   |
| 16"            | 8' 0" 0"    | 9'                   |

\* MIN. 10" WALL THICKNESS W/ BRICK VENEER

## REINFORCED CONCRETE WALLS

BASED ON GROUP 2 (W 30, W 50)

| WALL THICKNESS      | WALL HEIGHT | MAX. UNBALANCED TEL. |
|---------------------|-------------|----------------------|
| 8" REINFORCING      |             |                      |
| 3" W/ 18" CTR. OC.  | 5'          | 7'                   |
| 3" W/ 18" CTR. OC.  | 9'          | 9'                   |
| 16" W/ 18" CTR. OC. | 5'          | 7'                   |
| 16" W/ 18" CTR. OC. | 9'          | 9'                   |
| 12" W/ 18" CTR. OC. | 5'          | 7'                   |
| 12" W/ 18" CTR. OC. | 9'          | 9'                   |

NOTE: PLACE REBAR MIN. 1" W/ FINISH SIDE WALL FACE

## PERIMETER SPREAD FOOTINGS:

\* ALL NOTES BASED ON SOIL BEARING CAPACITY NOTED; MIN. THICKNESS 8" W/

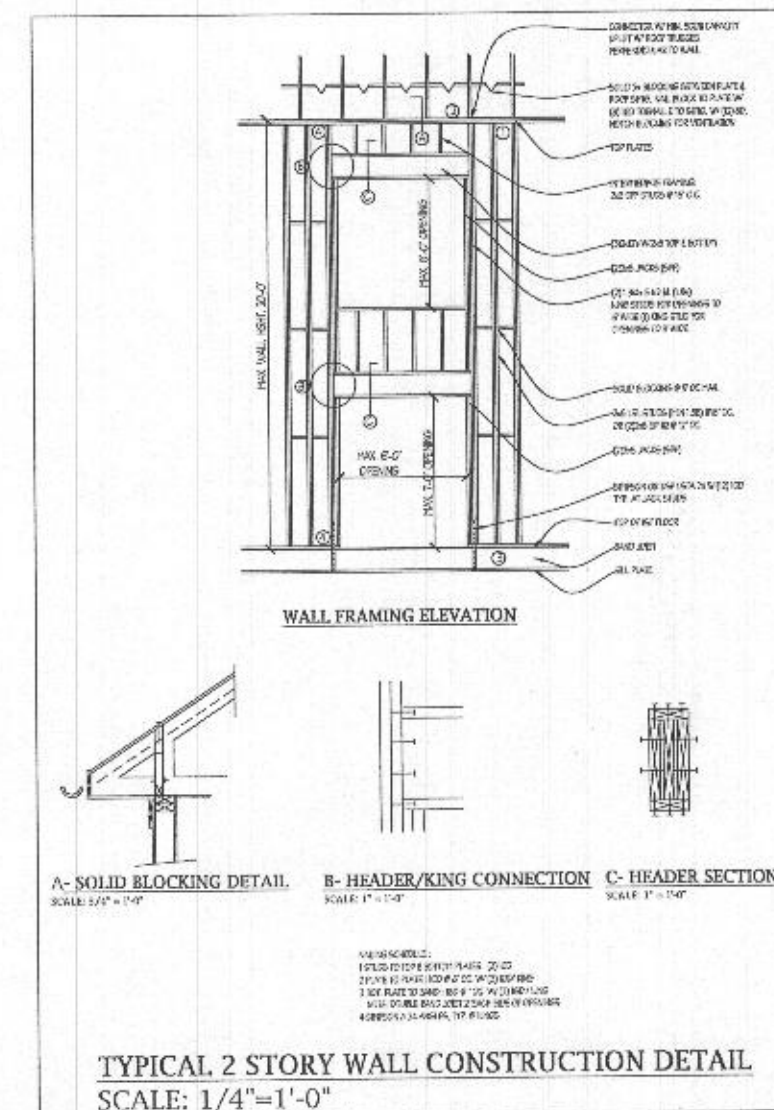
| SUPPORTING:               | 2000 PSF SOIL | 2000 PSF SOIL |
|---------------------------|---------------|---------------|
| 1 FLOOR AND ROOF          | 10'           | 10'           |
| 2 FLOORS AND ROOF         | 20'           | 15'           |
| 3 FLOORS AND ROOF         | 30'           | 18'           |
| 1 FLOOR AND ROOF W/ BACK  | 20'           | 20'           |
| 2 FLOORS AND ROOF W/ BACK | 20'           | 22'           |
| 3 FLOORS AND ROOF W/ BACK | 32'           | 28'           |

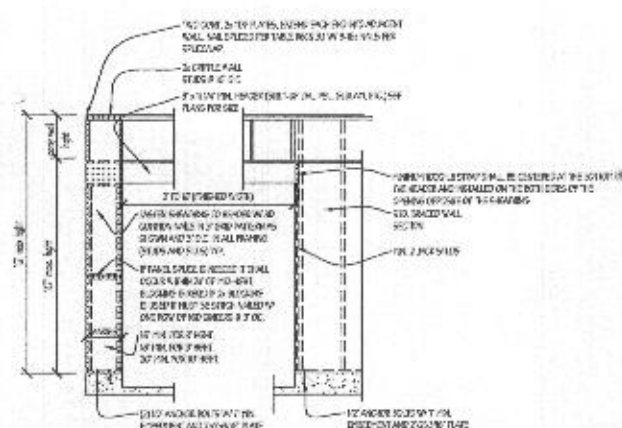
## PIER FOOTINGS AND COLUMNS:

MIN. PLAIN CONCRETE FOOTING SIZES BASED ON COLUMN DESIGN LOADS AND SOIL BEARING CAPACITY NOTED:

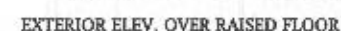
| KEY: | MAX. MAX. LOAD | MAX. COLUMN HEIGHT | COLUMN SIZE | 2000 PSF SOIL FTS. | 2000 PSF SOIL FTS. |
|------|----------------|--------------------|-------------|--------------------|--------------------|
| A    | 15,000 L       | 10'                | 3" X 3" p.  | 36' 0" 0" 0"       | 45' 0" 0" 0"       |
| B    | 15,000 L       | 10'                | 3" X 3" p.  | 47' 0" 0" 0"       | 56' 0" 0" 0"       |
| C    | 25,000 L       | 10'                | 4" X 4" p.  | 45' 0" 0" 0"       | 57' 0" 0" 0"       |
| D    | 32,000 L       | 10'                | 3" X 4" 4"  | 50' 0" 0" 0"       |                    |

NOTE: FTS. IN PARS MAY BE REDUCED TO MIN. 12" THICKNESS W/ REIN. IS 5445 @ 8" OC. EVERY 3' FROM BOTTOM

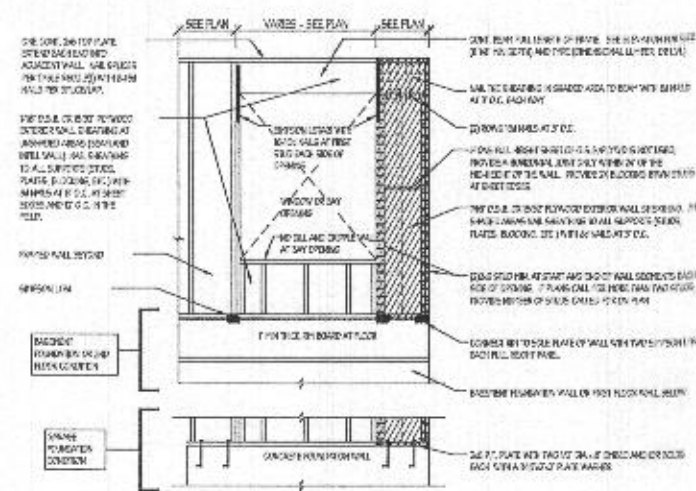




TWO SIDED NARROW WALL PORTAL FRAME  
EXTERIOR ELEV. DIRECT TO FOUNDATION



NARROW WALL PORTAL DETAILS - TYPE 1



ONE SIDED PORTAL FRAME DETAIL  
AT WINDOW OR BAY OPENING

### NARROW WALL BRACING DETAILS

NOTE: PORTAL FRAME IS DESIGNED TO REPLACE THE 6000 SERIES WALL SYSTEM UP TO 40' LONG, FOR 30T WALL & 35T FOR EXT. WALL. ADVISE US OF ANY SPECIALS AND MATERIALS CHANGES TO YOUR ORDER BEFORE SHIPMENT.

Diagram 1: A scale is attached to a wall with a single screw. The screw is labeled "1/4\" x 1/2\" x 1/4\"". The scale is labeled "SCALE". The wall is labeled "WALL".

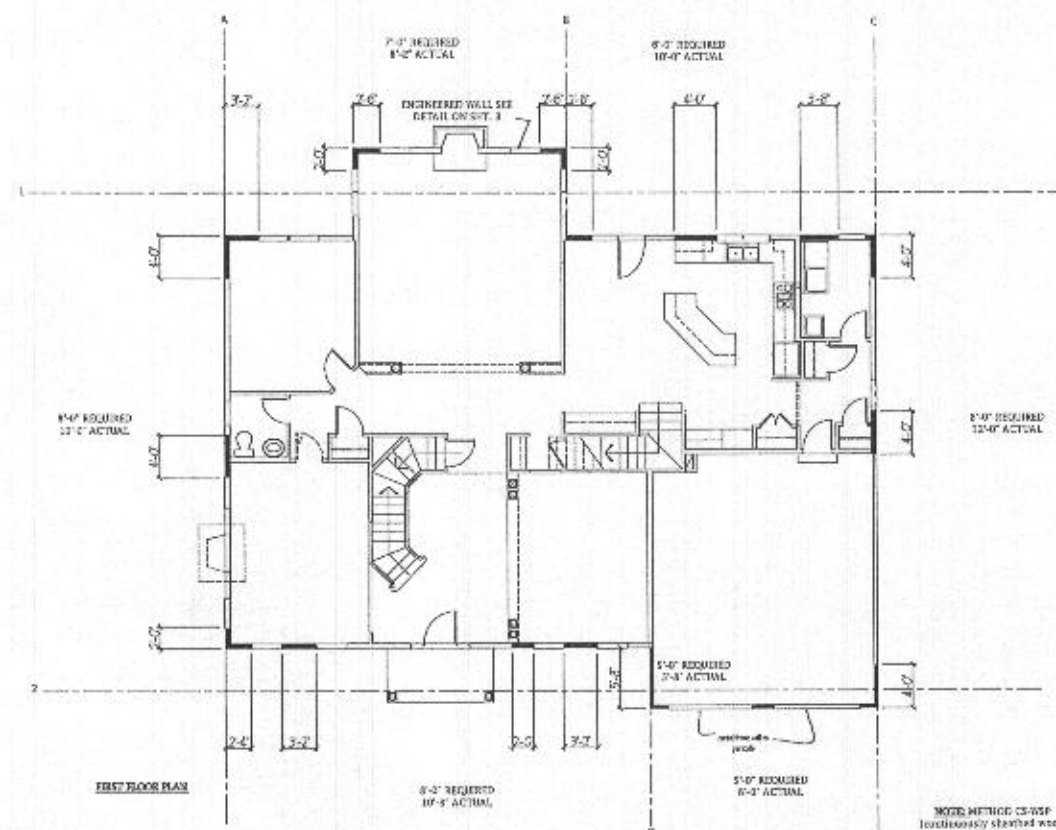
Diagram 2: A scale is attached to a wall with two screws. The screws are labeled "1/4\" x 1/2\" x 1/4\"". The scale is labeled "SCALE". The wall is labeled "WALL".

Diagram 3: A scale is attached to a wall with a single screw and a support bracket. The screw is labeled "1/4\" x 1/2\" x 1/4\"". The scale is labeled "SCALE". The support bracket is labeled "SUPPORT BRACKET". The wall is labeled "WALL".

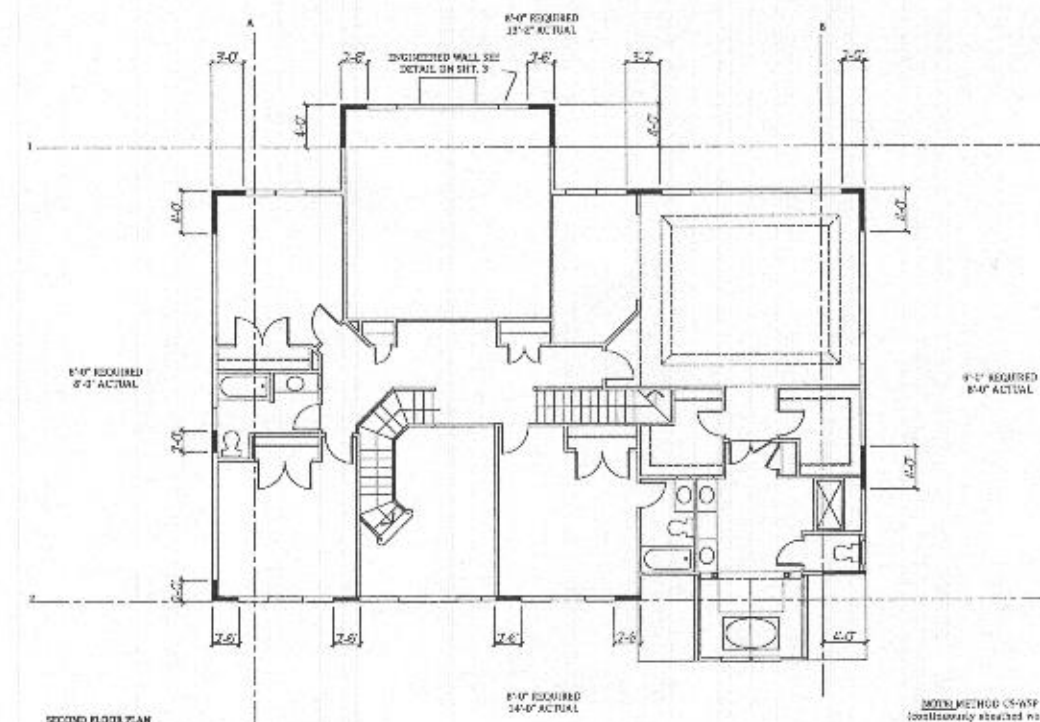
OUTSIDE CORNER DETAIL  
not to scale

GARAGE CORNER DETAIL  
not to scale

INSIDE CORNER DETAIL  
not to scale



### FIRST FLOOR PLAN



### SECOND FLOOR PLAN

REVISÉ 6/19

[illegible]

|                   |
|-------------------|
| Date: 6/15        |
| Scale: 1/8"=1'-0" |
| Drawn: TTM        |

Drawing: SHEAR WALL DETAILS

Project: WILLIAMSBURG GROUP  
DORCHESTER  
SSATE HOME

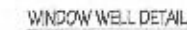
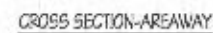
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| 1067 D4E   |
| Project No |

D2

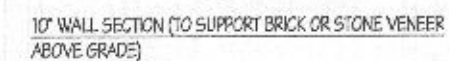
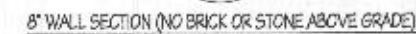




3. THE ARMS/ARY STRAIN JUNCTION SHALL BE AT LEAST 4 FEET ON THE INTERIOR FLOOR SLAB AND SHALL BE DRAWN TO AN APPROVED GENERAL PURPOSE ARMS/ARY.
4. THE GENERAL PURPOSE DRAIN SHALL HAVE A MINIMUM OF 2" STRAINER WITH A MINIMUM DIAMETER OF 6" AND AN APPROVED FIRE CURBUL DRAIN.
5. THE DRAIN SHALL HAVE A STRAINER ON BODY THAT PROVIDES ACCESSIBILITY FOR PORTABANCE OF STRAIN BODY AND PIPE.
6. THE ARMS/ARY DRAIN SHALL BE CONNECTED TO A RISIC PIPE WITH MINIMUM FALL OF 1/8" PER FOOT THEN TO A SUMP PUMP CATCH OR A DRAIN SUMP DRAIN (AS REQUIRED).
7. THE RISIC PIPE SHALL NOT BE CONNECTED TO THE INTERIOR OR EXTERIOR FOUNDATION DRAIN OR DRAIN LINE.
8. THE PIPE SHALL BE SLEEVED WHERE IT PENETRATES THROUGH THE FOUNDATION WALL OR ROOF PROTECTED PENETRATION.
9. THE GENERAL PURPOSE DRAIN ASSEMBLY AND RISIC PIPE MAY BE CONSTRUCTED OF SCHEDULE 40 PING CAST IRON OR EQUIVALENT APPROVED EQUIPMENT.



**NOTE:**  
LADDER TO BE PROVIDED WHEN WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 4" BELOW GRADE. THE LADDER SHALL HAVE AN INSIDE DIMENSION OF NOT LESS THAN 12" (MIN) W/ RINGS NOT MORE THAN 18" O.C. VERT. FOR THE FULL HEIGHT OF THE WALL. LADDER LOCATED ON THE WALL OF GROSS WELL.



**Plymouth Road Architects**  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]

|                   |
|-------------------|
| Date: 6/15        |
| Scale: 1/4"=1'-0" |
| Drawn: TLM        |

Drawing: AREAWAY DETAILS

Project: WILLIAMSBURG GROUP  
DORCHESTER  
ESTATE HOME

|          |             |
|----------|-------------|
| 1067 D4E | Project No. |
|          |             |

D3



## GENERAL REQUIREMENTS

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PREFERENCE OVER SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STAIRS, ROOF AND FLOOR TRUSSES.

1. DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATION TAKE PRECEDENCE.

2. IN THE EVENT THAT CONFLICTS EXIST BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIALS INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.

3. PROVIDE 22" X 30" ATTIC ACCESS WITH SMOOTHEST LIGHT, UNLESS OTHERWISE NOTED.

4. PROVIDE HANDRAILS 14" X 4" ABOVE NOSING OF ALL STAIRS WITH THREE OR MORE RISERS. RUSTEN BARS TO WALL OR RAIL, REQUIRED HANDRAILS SHALL BE CONTINUOUS. THE FULL LENGTH OF STAIR HANDRAILS MAY BE INTERRUPTED BY A KNOB AT A TURN. PROVIDE GUARDRAILS AT FINISHED FLOORS, BALCONIES, ETC., 36" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MIN. 36" HIGH (UNLESS NOTED OTHERWISE) AND HAVE CLOSURES SHOCKED TO PREVENT PASSAGE OF 4" SPHERE. HANDRAILS SHALL HAVE MIN. 2" X 4" GRIP CROSS SECTION.

5. PROVIDE MINIMUM 2x THE BLOCKING AT EVERY FLOOR INTERIOR, BULKHEAD, CORNER, AND NON-BEHIND FLOOR WALLS OVER 1" TALL. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1" X 12" END BRACE STOPPING, NOT TO EXCEED 500 S.F. UNLESS OTHERWISE FULLY SPECIFIED.

6. PROVIDE A MINIMUM OF 6'-6" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7" AND TREADS SHALL BE AT LEAST 10" WITH 1" NOSING, UNLESS LOCAL JURISDICTION REQUIRES OTHERWISE. MAX. RISE AT EXTERIOR DOORS SHALL BE 7".

7. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS & MOISTURE, SITUATING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.

8. TO REPLACE CONCRETE STOPS, PORCHES, WALLS AND GARAGE SLABS 1/8" IN 12" TO GRADE OR AS NOTED ON PLANS.

9. ALL DESIGN FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.

10. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10 FEET, BUT NO LESS THAN 4' AT POINT OF ROOF PENETRATION.

11. FLOOR JOISTS/TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS 4" X 12" OR PROVIDE TRIPLE PLATES.

12. PROVIDE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLING AND ATTIC WITH MINIMUM 1/4" G.P.F. AND ON GARAGE SIDE AND 25 MINUTE SELF-CLOSING DOOR. WHEN BENCHMARK SPACE INSTALL 1/4" RATED G.P.F. ON CEILING & ALL SURROUNDING STRUCTURE.

## SITE WORK

1. PROVIDE HOUSE NUMBERS CLEARLY VISIBLE FROM THE STREET.
2. EROSION CONTROL SHALL BE SUFFICIENT TO PREVENT SOIL EROSION, NO FOOTINGS OR TO ALLOW FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSUITABLE MATERIAL. PROVIDING LESS THAN 100 SF CAPACITY.
3. SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.
4. BASECUT SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE MIN. 1" IN 10'. MIN. 12" FROM EACH SIDE SHALL BE COMPACTED TO 95% DENSITY AS PER ASTM D 1557 METHOD B.
5. PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAIN TILE MAY BE INSTALLED AT THE BUILDERS DISCRETION.
6. PROVIDE BASECUT UNDER SLAB BASED ON MIN. 3" DIA. 10' TYP. RISE. RISE WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPENDIX D OF THE IBC.
7. APPLY TERMITES WITH 2 FEET OF ENTIRE STRUCTURE IN ACCORDANCE WITH LOCAL AND AREA STANDARDS. TREATMENT MUST HAVE A 5 YEAR GUARANTEE.
8. EXTERIOR CORERS AND PROJECTIONS SHALL BE USED WHEN INSTALLING ANCHORS SO AS NOT TO DAMAGE, BULGE, OR CRACK WALL, FOUNDATION, ETC., SHALL BE REPAIRED UNTIL THE FULL LOAD BEARING OF THE BUILDING IS ON THE WALLS.

## CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS, AC 308, AC 309, AC 308.1, & AC 308.2.
2. CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
3. ALL INTERIOR CONCRETE SLABS SHALL BE CAST ON FORMS. HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. FOUNDATION WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. JOINTS IN EXTERIOR WALLS & 3000 PSI FOR INTERIOR WALLS.
5. REINFORCING STEEL SHALL BE SET IN A 3x3x3 WELDED WIRE MESH WITH 1/4" DIA. REINFORCING IN FOOTINGS IS REQUIRED. REINFORCING IN SOIL CONNECTIONS MAY BE SET OR AS NOTED ON CONCRETE SHEET.
6. EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 4" THICK AND ENCASED IN MASONRY MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
7. ALL INTERIOR CONCRETE SLABS SHALL BE SET ON FORMS AND JOINTS SHALL HAVE MIN. COVER, JOINTS, OR FIBER REINFORCEMENT. PROVIDE 1" EXPANSION MATERIAL AT ALL JOINTS AND JOINTS.
8. PROVIDED VAPOR BARRIERS UNDER ALL SLABS. 5 MIL POLYETHYLENE, LAP ALL EDGES 4", LAP OVER 4" JOINTS FULL.
9. THE BOTTOM OF ANY FOOTING SHALL BE PLACED AT MINIMUM 12" DEPTH AS NOTED ON COVER SHEET.
10. FOUNDATION WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED MIN. 3" FROM SOIL FACE.
11. WATERPROOF FOUNDATION WALLS WITH A MEMBRANE EXTENDING FROM THE TOP OF THE FOOTING TO FINISH GRADE. LAY 4" FROM THE FINISH GRADE. 2" GUTTER DRAIN SHALL BE LAYED 1" FROM FINISH GRADE AND 4" ABOVE DRAIN TO DRAINAGE OR A 2" X 4" RAMP PIPER FILL BRICKS OR BRICKS.

## VERTICAL MASONRY

1. ALL MASONRY CONSTRUCTION & MATERIALS SHALL CONFORM TO ACES 9-28 RAC 901.1-1.1.
2. THE MINIMUM VERTICAL DISTANCE OF UNBARRICADED FULL BRICKS FROM THE TOP OF THE FOUNDATION SLAB TO THE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING:

| TYPE OF WALL       | HEIGHT OF FULL |
|--------------------|----------------|
| 8" CMU (BELLWORK)  | 4'-0"          |
| 12" CMU (BELLWORK) | 5'-0"          |
| 12" CMU (SOLID)    | 6'-0"          |

HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL BUILDING DEPT. OR INSPECTOR.
3. CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C 90, GRADE 3 OR 4 OR 5 OR 6 OR 7 OR 8 OR 9 OR 10 OR 11 OR 12 OR 13 OR 14 OR 15 OR 16 OR 17 OR 18 OR 19 OR 20 OR 21 OR 22 OR 23 OR 24 OR 25 OR 26 OR 27 OR 28 OR 29 OR 30 OR 31 OR 32 OR 33 OR 34 OR 35 OR 36 OR 37 OR 38 OR 39 OR 40 OR 41 OR 42 OR 43 OR 44 OR 45 OR 46 OR 47 OR 48 OR 49 OR 50 OR 51 OR 52 OR 53 OR 54 OR 55 OR 56 OR 57 OR 58 OR 59 OR 60 OR 61 OR 62 OR 63 OR 64 OR 65 OR 66 OR 67 OR 68 OR 69 OR 70 OR 71 OR 72 OR 73 OR 74 OR 75 OR 76 OR 77 OR 78 OR 79 OR 80 OR 81 OR 82 OR 83 OR 84 OR 85 OR 86 OR 87 OR 88 OR 89 OR 90 OR 91 OR 92 OR 93 OR 94 OR 95 OR 96 OR 97 OR 98 OR 99 OR 100 OR 101 OR 102 OR 103 OR 104 OR 105 OR 106 OR 107 OR 108 OR 109 OR 110 OR 111 OR 112 OR 113 OR 114 OR 115 OR 116 OR 117 OR 118 OR 119 OR 120 OR 121 OR 122 OR 123 OR 124 OR 125 OR 126 OR 127 OR 128 OR 129 OR 130 OR 131 OR 132 OR 133 OR 134 OR 135 OR 136 OR 137 OR 138 OR 139 OR 140 OR 141 OR 142 OR 143 OR 144 OR 145 OR 146 OR 147 OR 148 OR 149 OR 150 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1757 OR 1758 OR 1759 OR 1760 OR 1761 OR 1762 OR 1763 OR 1764 OR 1765 OR 1766 OR 1767 OR 1768 OR 1769 OR 17





LEFT SIDE ELEVATION 1/8"= 1'-0"  
OPTIONAL CONSERVATORY



REAR ELEVATION 1/8"= 1'-0"  
OPTIONAL WALL OF WINDOWS  
AND CONSERVATORY



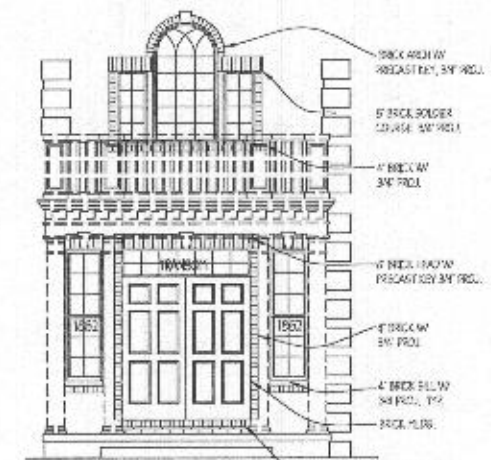
RIGHT SIDE ELEVATION 1/8"= 1'-0"



FRONT ELEVATION 1/4"= 1'-0"  
SHOWN WITH OPTIONAL PORTICO  
PORCH, BRICK VINYL AND CONSERVATORY



SIDE L&S CONDITION - 1/8"= 1'-0"



FRONT ENTRY 1/4"= 1'-0" BRICK DETAILS



FRONT ELEVATION 1/4"= 1'-0"

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

| DATE | REVISION |
|------|----------|
|      |          |
|      |          |
|      |          |
|      |          |

Date: 6/15  
Scale: NOTED  
Drawn: TIM

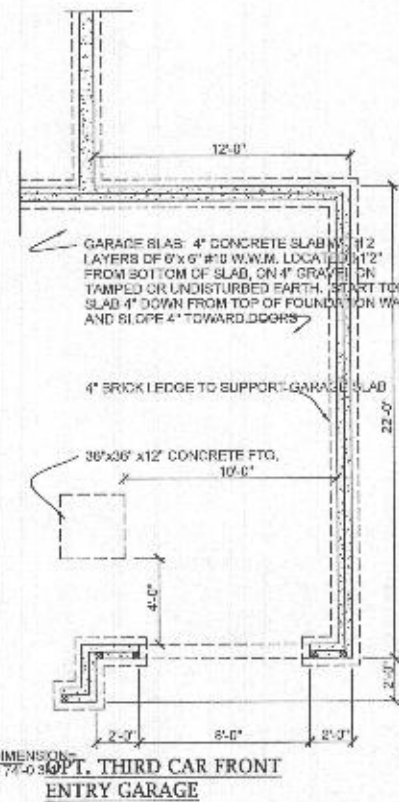
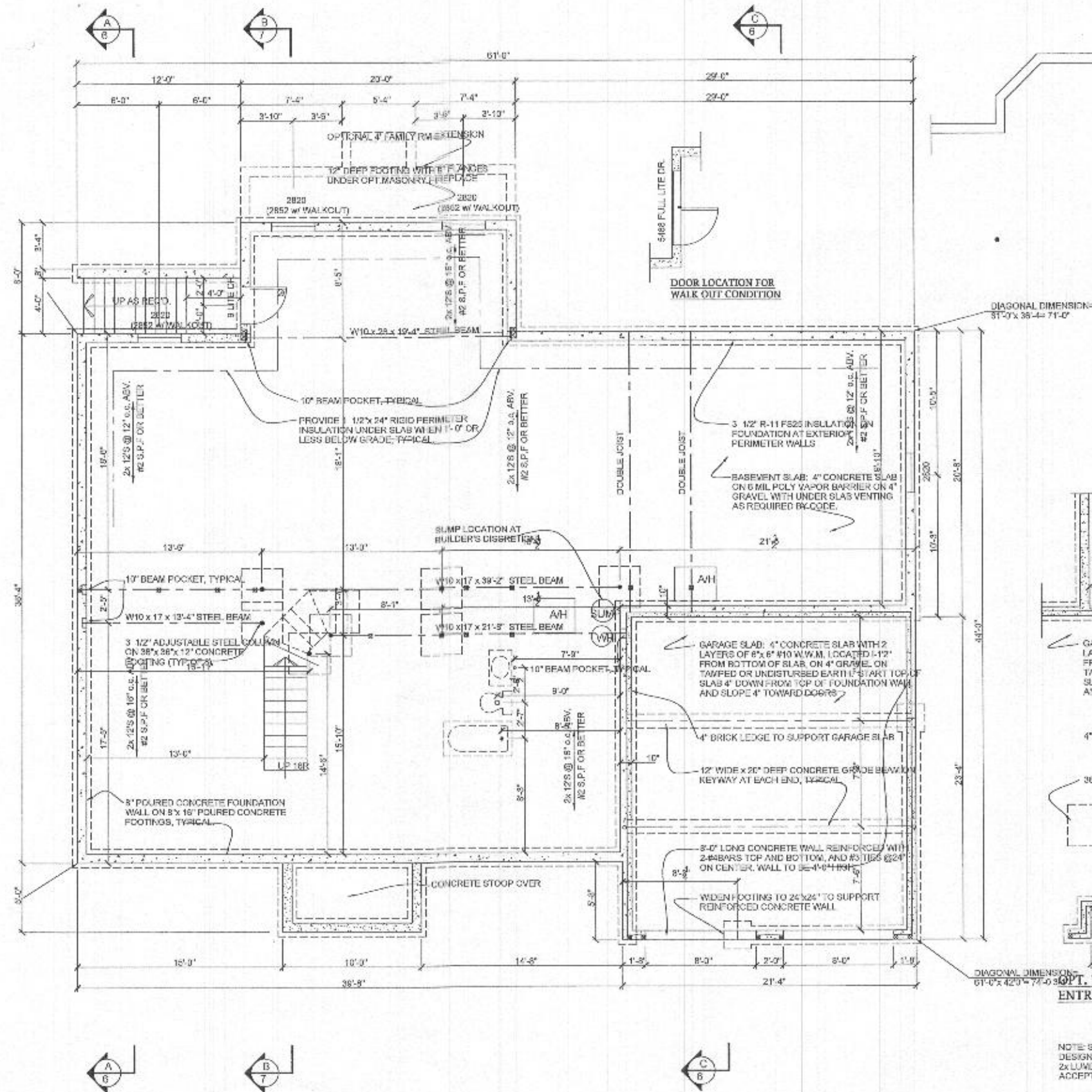
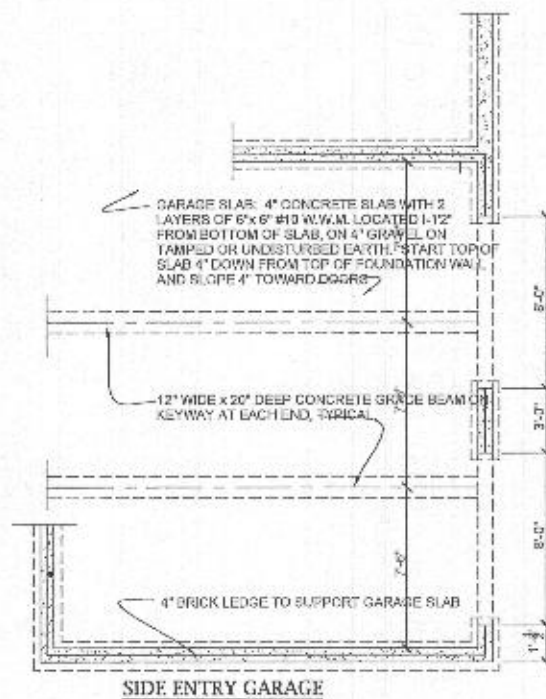
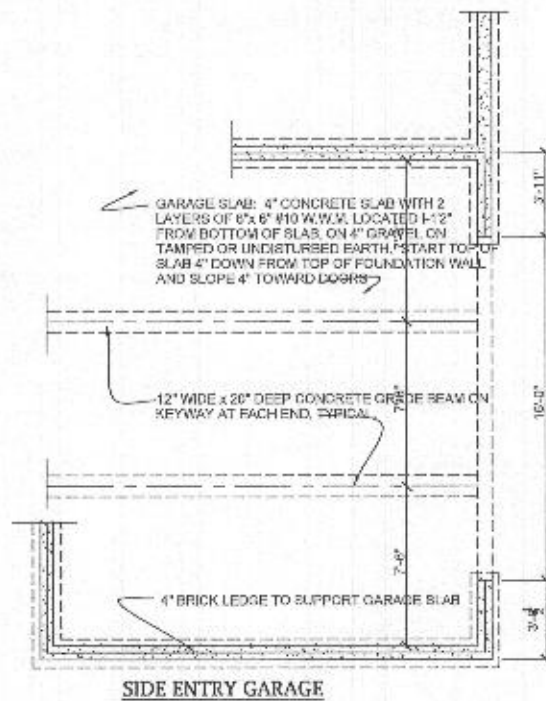
Drawing: ELEVATION 4  
Project: WILLIAMSBURG GROUP  
DORCHESTER  
ESTATE HOME

1067 D4E  
Project No.

1d

REVISED 7/18





NOTE: SUBSTITUTION OF ENGINEERED JOISTS DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS ACCEPTABLE.

NOTE: BASEMENT COLUMNS ARE 24"x24" OR 3" STANDARD STEEL (SCHEDULE 40) PIPE COLUMNS (MAX. 32.4K VERTICAL LOAD W/2500PSI CONCRETE, MAX. 40.0K W/5000PSI CONCRETE) 11 GAUGE STEEL CORNERS W/2500PSI CONCRETE

Future 5<sup>th</sup> Bedroom

REVISED 6/19

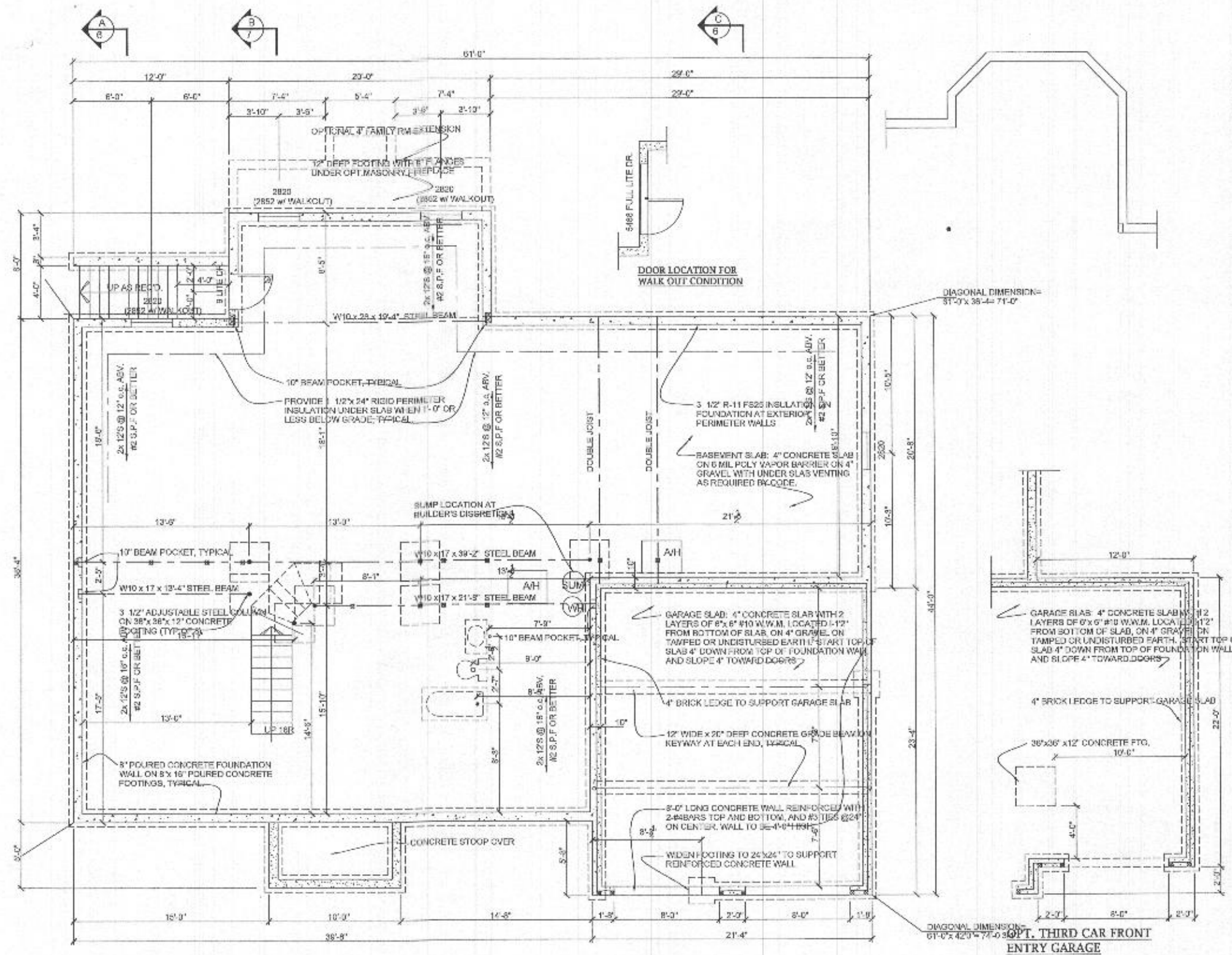
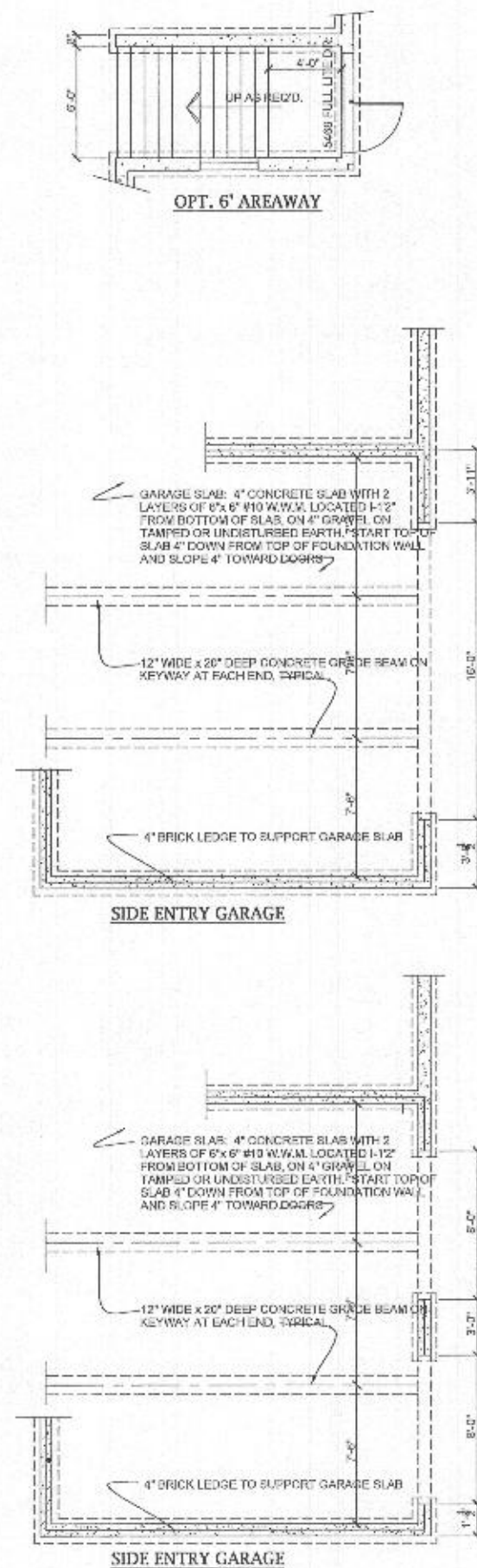
Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

| DATE | REVISION                                |
|------|-----------------------------------------|
| 6/15 | 8/15 changed to 10' steel behind garage |
| 6/15 | Scale: 1/4" = 1'-0"                     |
| 6/15 | Drawn: TIM                              |

Drawing: F5MT/FOUNDATION PLAN  
Project: WILLIAMSBURG GROUP  
DORCHESTER 4  
ESTABLISHED HOME

1067.D4E  
Project No.

2a



NOTE: SUBSTITUTION OF ENGINEERED JOISTS DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS ACCEPTABLE.

NOTE: BASEMENT COLUMNS ARE 24" DIA. 3" STANDARD STEEL (SCHEDULE 40), PIPE COLUMNS (MAX. 32.4 K VERTICAL LOAD W/ 2500 PSI CONCRETE, MAX. 40.0 K W/ 3000 PSI CONCRETE), 11 GAUGE STEEL CORNERS (SCHED