



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 1224 Halcyon Ct
City: Mount Airy State: MD Zip Code: 21771
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Residential Home
Proposed Use: _____

Estimated Construction Cost: \$ 7,000.00

Description of Work: Repair / Re-surface Deck
7' x 10' (Remove + Replace Deck)

Occupant/Tenant Name: _____

Was tenant space previously occupied? ☐ Yes ☐ No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: Joseph Roman
Address: 1224 Halcyon Ct
City: Mount Airy State: MD Zip Code: 21771
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)

Applicant's Name: Mina Enterprises Inc
Address: 6050 Hwy Laytonville Rd
City: Crofton State: MD Zip Code: 21112
Phone: 301 421 0588 Fax: _____
Email: mina.enterprises.inc@gmail.com

Contractor Company: Mina Enterprises Inc
Contact Person: Mark Elias
Address: 6050 Hwy Laytonville Rd
City: Crofton State: MD Zip Code: 21112
License No.: MHC-122515
Phone: 301 921 0588 Fax: _____
Email: mina.enterprises.inc@gmail.com

Engineer/Architect Company: APAC Engineering Inc
Responsible Design Prof.: Robert Wilson
Address: 2110 Seminary Rd
City: Silver Spring State: MD Zip Code: 20910
Phone: 301 565-0543 Fax: 301 563-9477
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input checked="" type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

Email Address

Title/Company

Print Name

Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	3/23/18	Robert Wilson

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 50
Tech Fee	\$ 3
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 53.00
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials

Green: PSZA, Zoning

Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

Freemon, Robert

From: Craig Roman <craig.roman@gmail.com>
Sent: Friday, March 23, 2018 1:27 PM
To: Freemon, Robert
Cc: Mark Elias; Mandy Roman
Subject: Re: Plot plan for 1224 Haleys Court, Mount Airy MD 21771

Spencer,

I'm writing at your request to record that when I do tear down and replace the deck off the sun room, that the new deck will be built to meet the setbacks required (5 feet at this time) or have documentation from a structural engineer that the new deck is not affecting the septic tank. We appreciate the work you and Mike have put into this permit process. A safe deck, sun room and sound septic system are our main goals too.

Joseph (Craig) Roman
441-801-3633

On Feb 22, 2018, at 4:21 PM, Freemon, Robert <rfreemon@howardcountymd.gov> wrote:

Craig,
I have taken a look at the plans you sent and I have a couple of comments. The plans show the existing and proposed footers to the sunroom but not the deck. If your plan is to propose a building permit which includes a teardown & rebuild of the existing deck I need to see those footers (existing and proposed) as well. They need to be five feet from the septic tank and a 1 foot from the septic line. If you are proposing to replace the footers in the exact same space than a structural engineer will need to send us documentation explaining how the construction of these footers will not affect the septic tank. In the past, structural engineers have designed the construction of these footers to be placed deeper in the ground in order to avoid additional pressure over top the septic tank.

Robert "Spencer" Freemon
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health
Well and Septic Program
Phone: 410-313-6357
Email: rfreemon@howardcountymd.gov
Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

From: Craig Roman [<mailto:craig.roman@gmail.com>]
Sent: Friday, February 16, 2018 4:57 PM
To: Freemon, Robert
Cc: Mark Elias; Mandy Roman
Subject: Re: Plot plan for 1224 Haleys Court, Mount Airy MD 21771

Spencer,

Thank you for your reply and the trips you and your office have made out to our home to get us to this point.

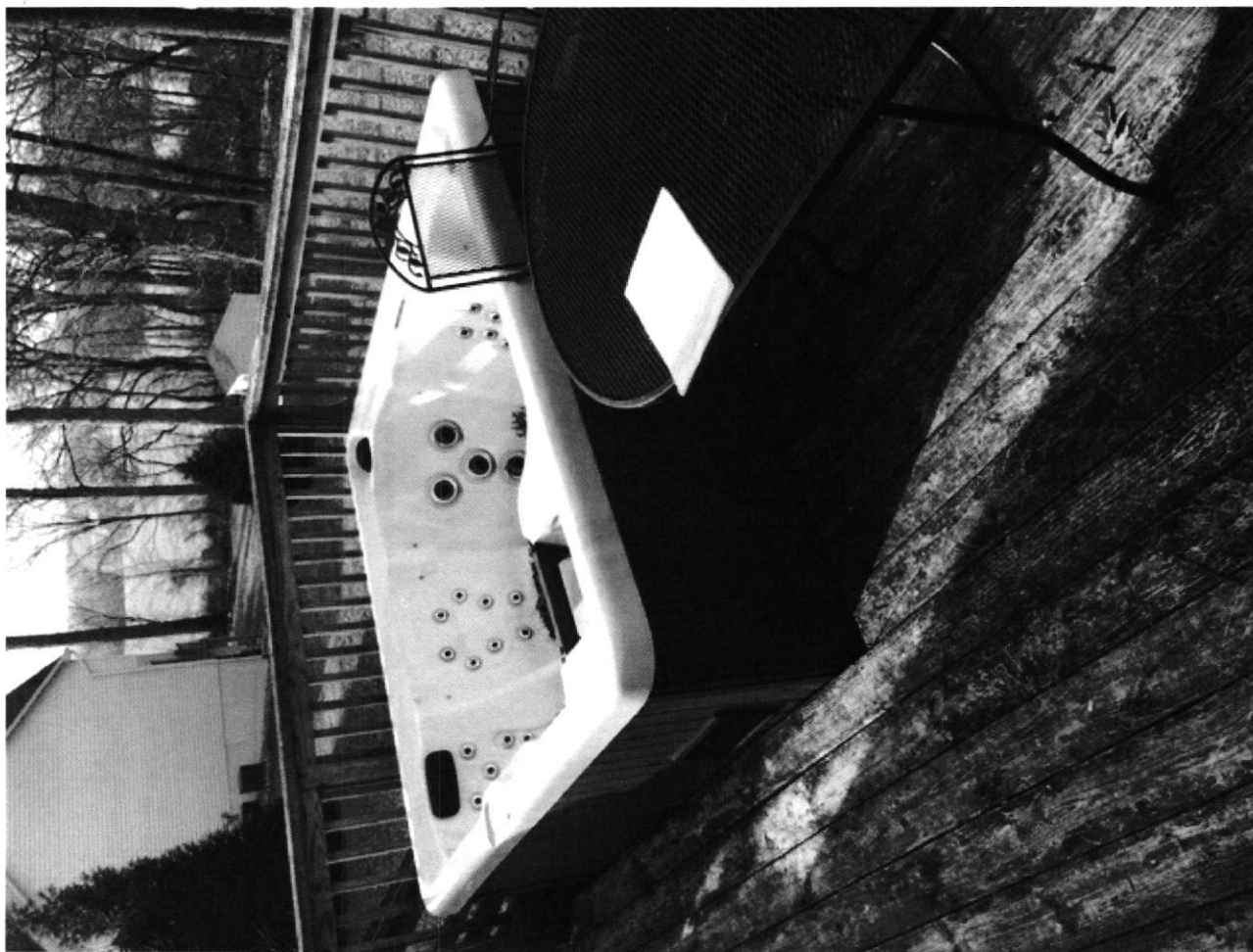
Freemon, Robert

From: Robert Freemon <coastal4life@icloud.com>
Sent: Thursday, February 15, 2018 8:19 AM
To: Freemon, Robert
Subject: Pics



Pump Tank
C/O 3, Manhole

Septic Tank
C/O 3, Manhole



Sent from my iPhone

RE: CRAIG ROMAN
DB. 17670 PG. 62

TITLE BINDER NOT PROVIDED.

WATERS OF THE UNITED STATES ARE NOT
DESIGNATED BY THIS SURVEY.

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD
HAZARD AREA AS DESIGNATED BY THE SECRETARY
OF HOUSING & URBAN DEVELOPMENT. (PREMISES
LOCATED IN ZONE X, PANEL 24027C0030D, 11/6/2013)

REFERENCE IS HEREBY MADE TO ALL EASEMENTS,
RESTRICTIONS, AND CONDITIONS OF RECORD
WHICH MAY LAWFULLY APPLY TO SAID PROPERTY.

THE INFORMATION CONVEYED HEREON IS THE WORK
PRODUCT OF BRUCE LANDES, SURVEYOR PC.
AND IS SOLELY FOR THE EXCLUSIVE USE OF OUR
CLIENTS AND THEIR AGENTS FOR MORTGAGE PURPOSE

I HEREBY CERTIFY THAT THIS PHYSICAL SURVEY, TO
THE BEST OF MY KNOWLEDGE AND BELIEF, IS CORRECT
AND COMPLIES WITH THE MINIMUM PROCEDURES AND
STANDARDS ESTABLISHED BY THE MARYLAND STATE
BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS,
LAND SURVEYORS, AND CERTIFIED ARCHITECTS.

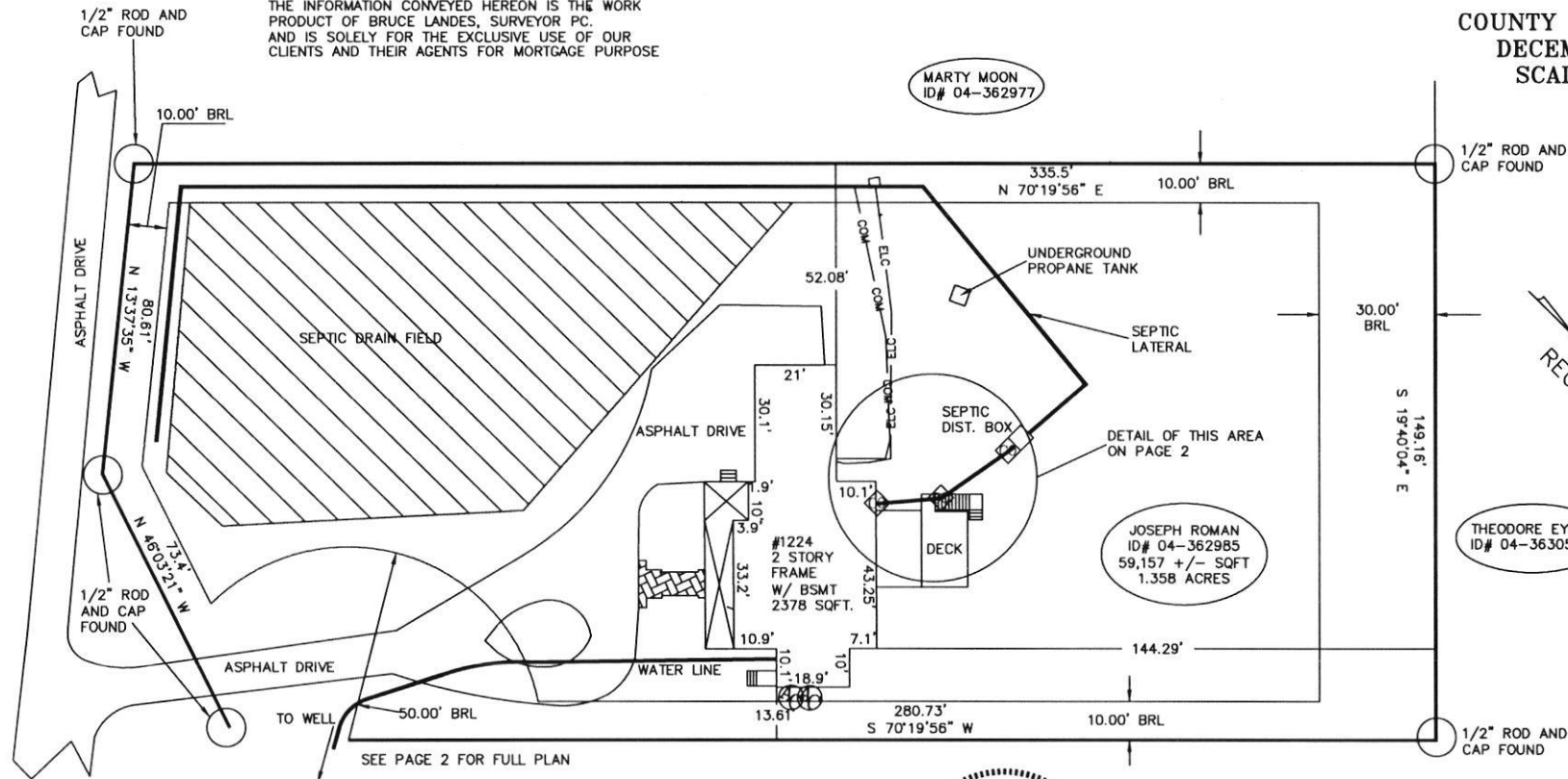
LOCATION/PARTIAL AS-BUILT SURVEY

1224 HALEYS COURT
MOUNT AIRY, MD 21771

COUNTY OF HOWARD, MD

DECEMBER 7, 2017

SCALE 1" = 30'



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PAGE 1 OF 2



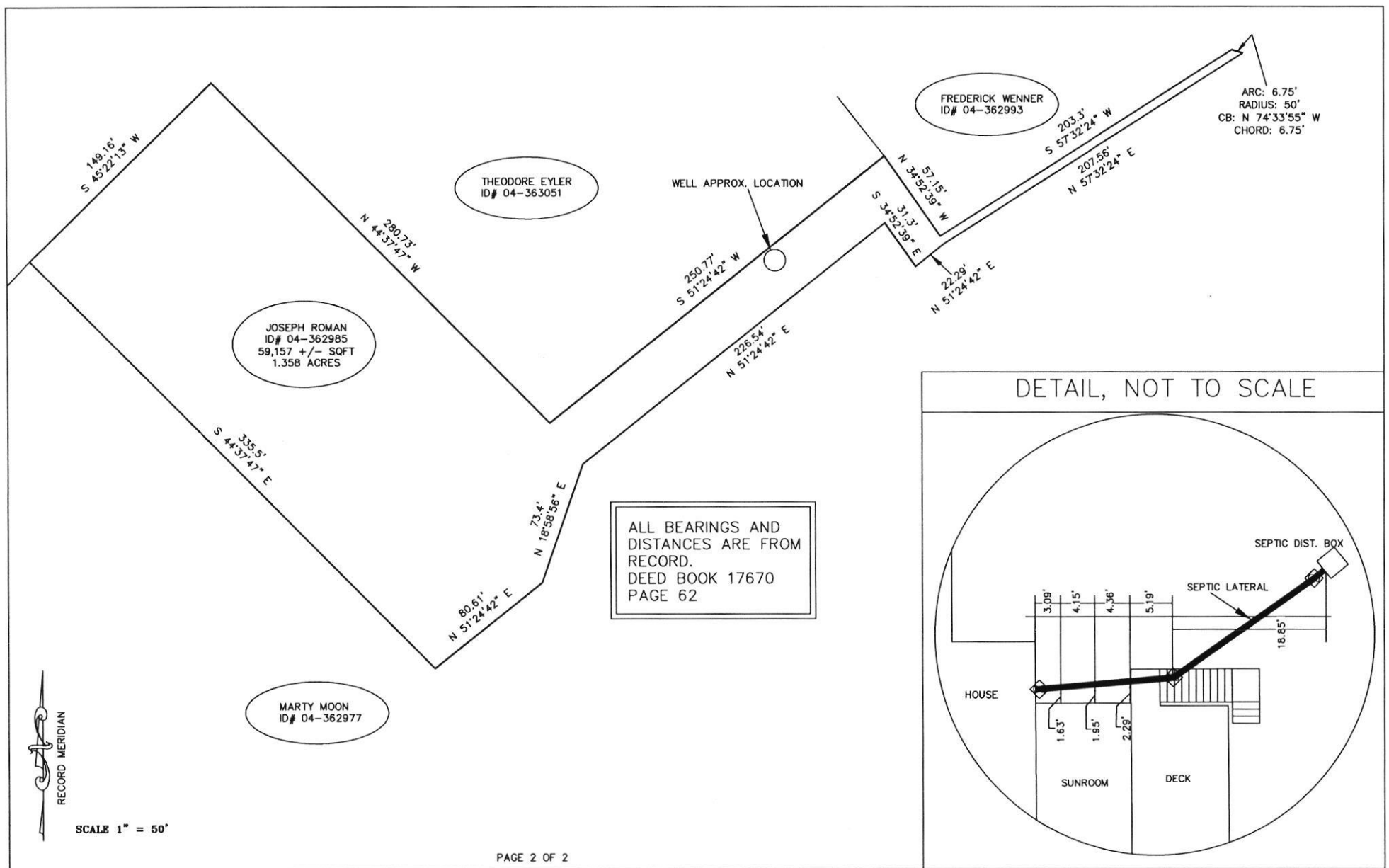
PLAT CHECKED BY: BCL

BRUCE C. LANDES SURVEYOR

LAND SURVEYOR • PLANNER
8014 MIDLOTHIAN TURNPIKE SUITE 103
RICHMOND, VIRGINIA 23235
PHONE (804) 327-0333 FAX 330-5558

DRAFTER JLM

JOB NO. 24008



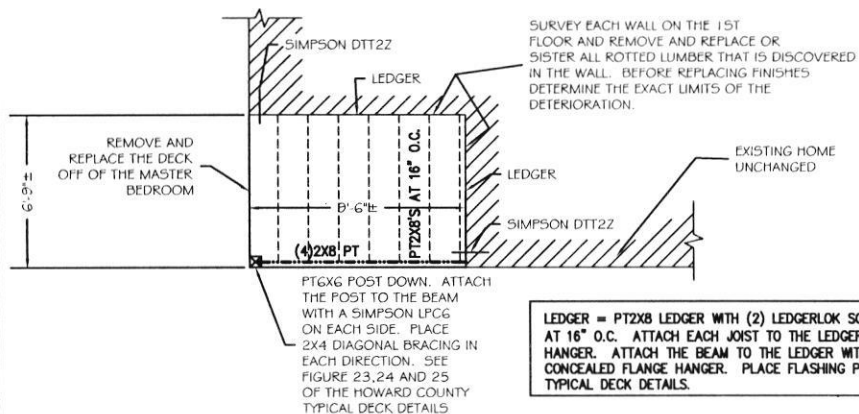
SCALE 1" = 50'

PAGE 2 OF 2

PLAT CHECKED BY: BCL

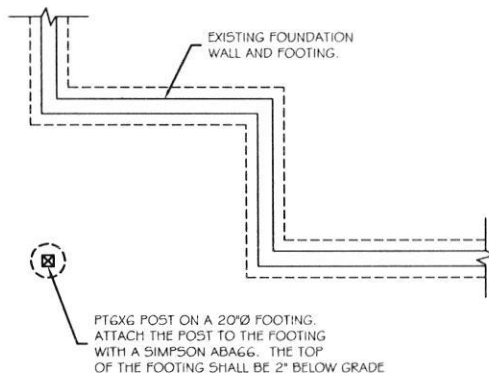
DRAFTER JLM

JOB NO. 24008



2nd Floor Deck Framing Plan

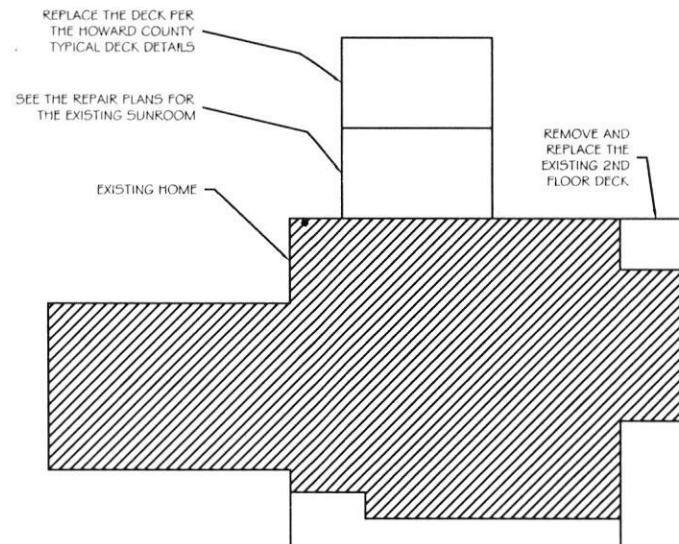
Scale: $\frac{1}{8}" = 1'-0"$



LEDGER = PT2X8 LEDGER WITH (2) LEDGERLOK SCREWS AT 16" O.C. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. ATTACH THE BEAM TO THE LEDGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING PER THE HOWARD COUNTY TYPICAL DECK DETAILS.

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
3. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF $\frac{1}{2}"$ BOLTS AT 16" O.C.
4. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
7. ALL NAILS, HANGERS, BOLTS, AND AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
9. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6X1% AIR ENTRAINMENT.



Location Plan

Scale: $\frac{1}{8}" = 1'-0"$



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/18.



2110 Seminary Road
Silver Spring, MD 20910
301-565-0543
301-563-9477 (f)

Repair Plans

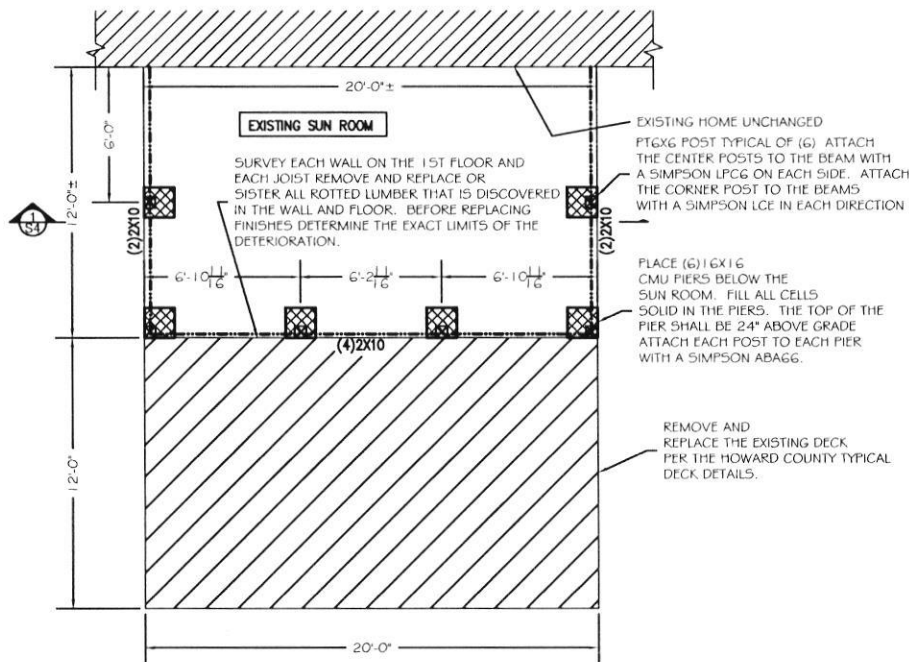
Location: 1224 Haleys Ct. - Mt Airy, MD

By: RAW

Date: 11-10-17

Sheet: S1

Rev:

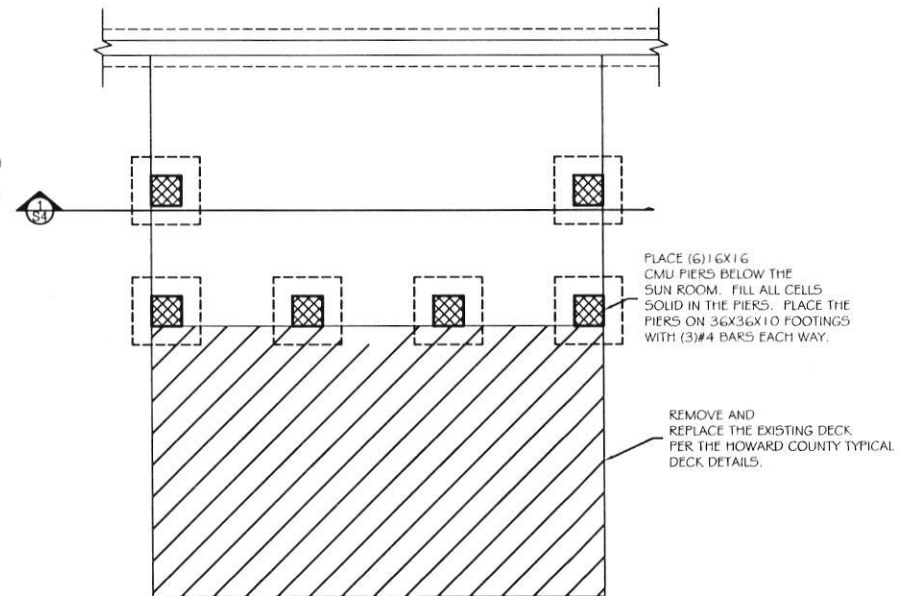


1st Floor Framing Repair Plan at the Sunroom

Scale: 1/8" = 1'-0"

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
3. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C.
4. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
7. ALL NAILS, HANGERS, BOLTS, AND AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
9. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.



Foundation Repair Plan at the Sunroom

Scale: 1/8" = 1'-0"



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Repair Plans

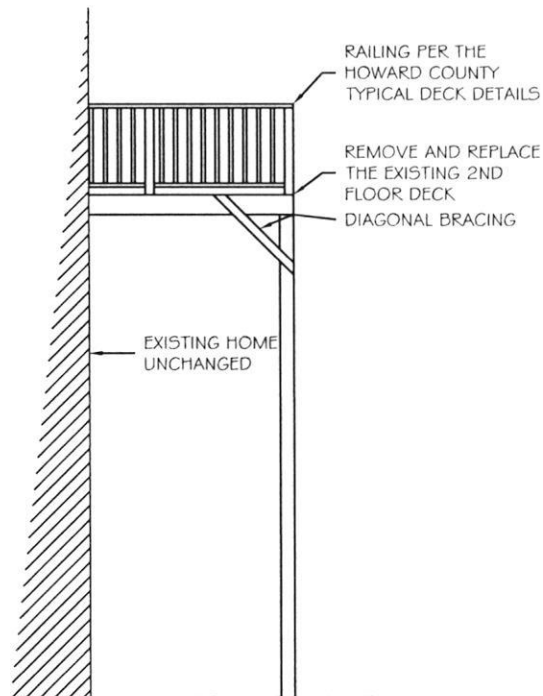
Location: 1224 Haleys Ct. - Mt Airy, MD

By: RAW

Date: 11-10-17

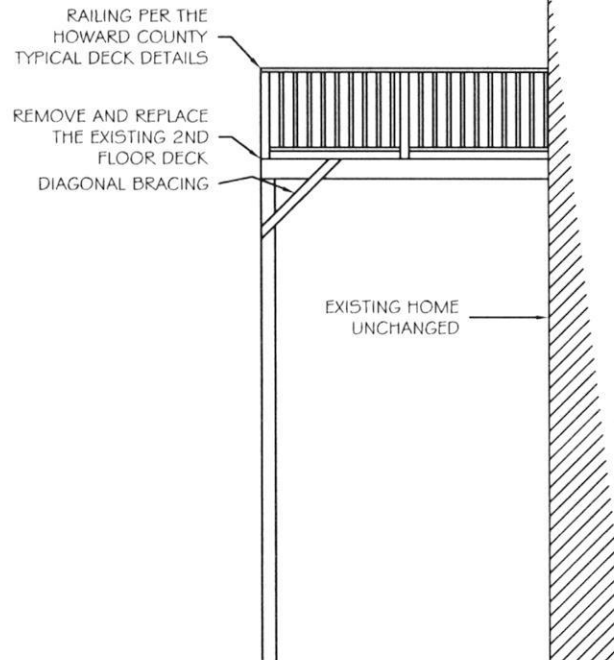
Sheet: S2

Rev:



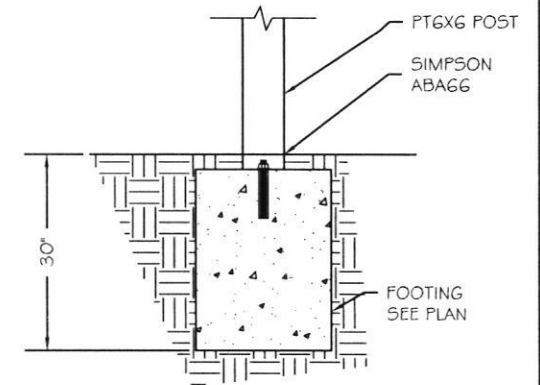
Side Elevation At 2nd Floor Deck

Scale: $\frac{1}{4}" = 1'-0"$



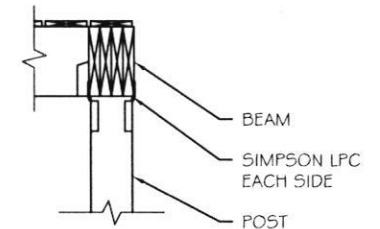
Rear Elevation At 2nd Floor Deck

Scale: $\frac{1}{4}" = 1'-0"$



Typical Deck Post to Footing Detail

Scale: $\frac{1}{4}" = 1'-0"$



Typ. Wood Post To Deck Beam Details

Scale: $\frac{1}{4}" = 1'-0"$

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Repair Plans

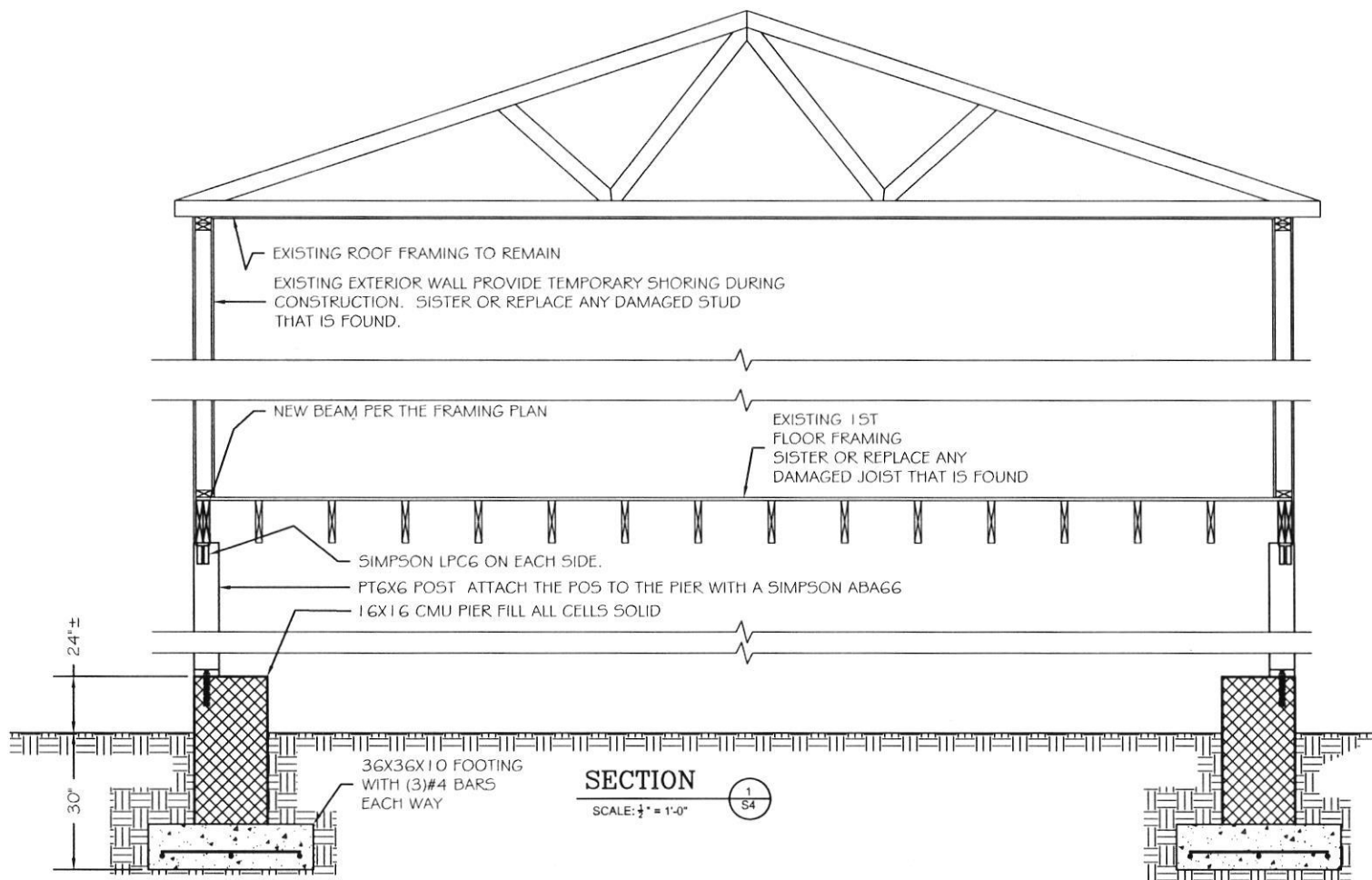
Location: 1224 Haleys Ct. - Mt Airy, MD

By: RAW

Date: 11-10-17

Sheet: S3

Rev:



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Silver Spring, MD 20910
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Repair Plans

Location: 1224 Haleys Ct. - Mt Airy, MD

By: RAW

Date: 11-10-17

Sheet: S4

Rev:

Structural Notes

1. All work and materials to comply with the requirements of the 2015 IBC and IRC codes as revised by Howard County
2. Codes: the following design standards are applicable by reference:
ACI 530-13/ASCE 5-13 Building Code Requirements for Masonry Structures.
AISC - Timber Construction Manual - fifth Ed.
ACI 318-14 Building Code Requirements for Reinforced Concrete
AISC - 360-10 Specifications for Steel Buildings.
3. Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
4. Structural steel:
A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
B. All structural tubing shall conform to ASTM A500, grd.B
C. All steel pipe shall be ASTM A53, type E or S, grade B
D. All welders shop and field, shall be certified. Use E70xx electrodes only.
E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
G. All exterior structural steel shall receive rust preventative paint.
H. Connections:
I. All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
II. Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
5. Lumber:
A. Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
C. Floor decking shall be 3/4" APA rated decking. Roof decking shall be 3/4" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
D. Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
E. Provide double joists under all walls that run parallel to floor framing.
F. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
G. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
H. Provide solid blocking below all wood posts.
I. All posts shall have Simpson Cap and Base Plates typ.
J. All joists shall have Simpson Hangers where applicable.
K. Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
L. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R319 for protection against corrosion and termite damage.
M. All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
N. Wood Lintels shall be as follows:
Opening \leq 3'-0" - 2-2x6
3'-0" < Opening \leq 5'-0" - 2-2x8
5'-0" < Opening \leq 8'-0" - 2-2x10
Greater than 8'-0" - See plans

6. Fasteners:
A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
B. Follow the manufacturer recommendations for setting epoxy bolts.
C. Expansion bolts shall be rawl power studs.
7. Masonry:
A. Masonry construction shall be in conformance with the applicable sections of ACI 530-13/ASCE5-13, "Specifications for Masonry Structures."
B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
C. All joints to be filled solid with mortar.
D. Mortar to comply with ASTM C270 (type M or S).
E. Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
F. Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
G. Lintels shall be as follows:
Opening \leq 3'-0" - L4x3 1/2 x 3/8 LLV/ 4" of wall
3'-0" < Opening \leq 7'-0" - L6x3 1/2 x 3/8 LLV/ 4" of wall.
Opening > 7'-0" - See Plan
8. Cast in place concrete:
A. Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
C. All concrete shall be placed with a slump of 4" (\pm 3")
D. All concrete shall be normal weight, UNO.
E. All concrete exposed to weather shall have 6% \pm 1% entrained air.
F. Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
G. Concrete cover for reinforcement shall be:
Columns and beams 1 1/2"
Slabs 3/4"
Footings 3"
9. Reinforcement:
A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
B. Welded wire fabric (wwf) shall conform to ASTM A185. Lap edges of wire fabric at least 6" in each direction.
10. Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
11. Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:

SPF #2 -	25 PCF
1/2" Decking -	1.7 PSF
1/2" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Skirting -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF

LIVE LOADS:

DECK:	60PSF
ATTIC:	20PSF
FLOOR:	40PSF
GARAGE:	50PSF
BEDROOM:	40PSF
ROOF:	30PSF

WIND LOADS:

WIND SPEED:	Vult = 115mph; Vasd = 89mph
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11PSF

SNOW LOADS:

GROUND SNOW LOAD (PG):	30PSF
FLAT ROOF SNOW LOAD(PF):	30PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0

Deflection Limitations:

Rafters:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. walls - Wind Loads with Flexible Finishes:	L/120

SEISMIC DESIGN DATA:

SEISMIC IMPORTANCE FACTOR (I _s):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(S _s):	20.0%
(S ₁):	8.0%
SPECTRAL RESPONSE COEFFICIENTS:	
(S _{ds}):	33%
(S _{d1}):	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	D
SEISMIC COEFFICIENT (C _s):	0.22
SEISMIC MODIFICATION FACTOR (R):	1.5
BASE SHEAR:	5.5k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	ORDINARY MASONRY WALLS



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/18.



2110 Seminary Road
Silver Spring, MD 20910
301-565-0543
301-563-9477 (f)

Repair Plans

Location: 1224 Haleys Ct. - Mt Airy, MD

By: RAW

Date: 11-10-17

Sheet: S5

Rev:

149.16'
S 45°22'13" W

280.73'
N 44°37'47" W

335.5'
S 44°37'47" E

80.61'
N 51°24'42" E

73.4'
N 18°58'56" E

250.77'
S 51°24'42" W

226.54'
N 51°24'42" E

57.15'
N 34°52'39" W

22.29'
N 51°24'42" E

203.3'
S 57°32'24" W

207.58'
N 57°32'24" E

ARC: 6.75'
RADIUS: 50'
CB: N 74°33'55" W
CHORD: 6.75'

THEODORE EYLER
ID# 04-363051

JOSEPH ROMAN
ID# 04-362985
59,157 +/- SQFT
1.358 ACRES

MARTY MOON
ID# 04-362977

FREDERICK WENNER
ID# 04-362993

WELL APPROX. LOCATION

ALL BEARINGS AND
DISTANCES ARE FROM
RECORD.
DEED BOOK 17670
PAGE 62

APPROVED

WALK-THRU BUILDING PERMIT

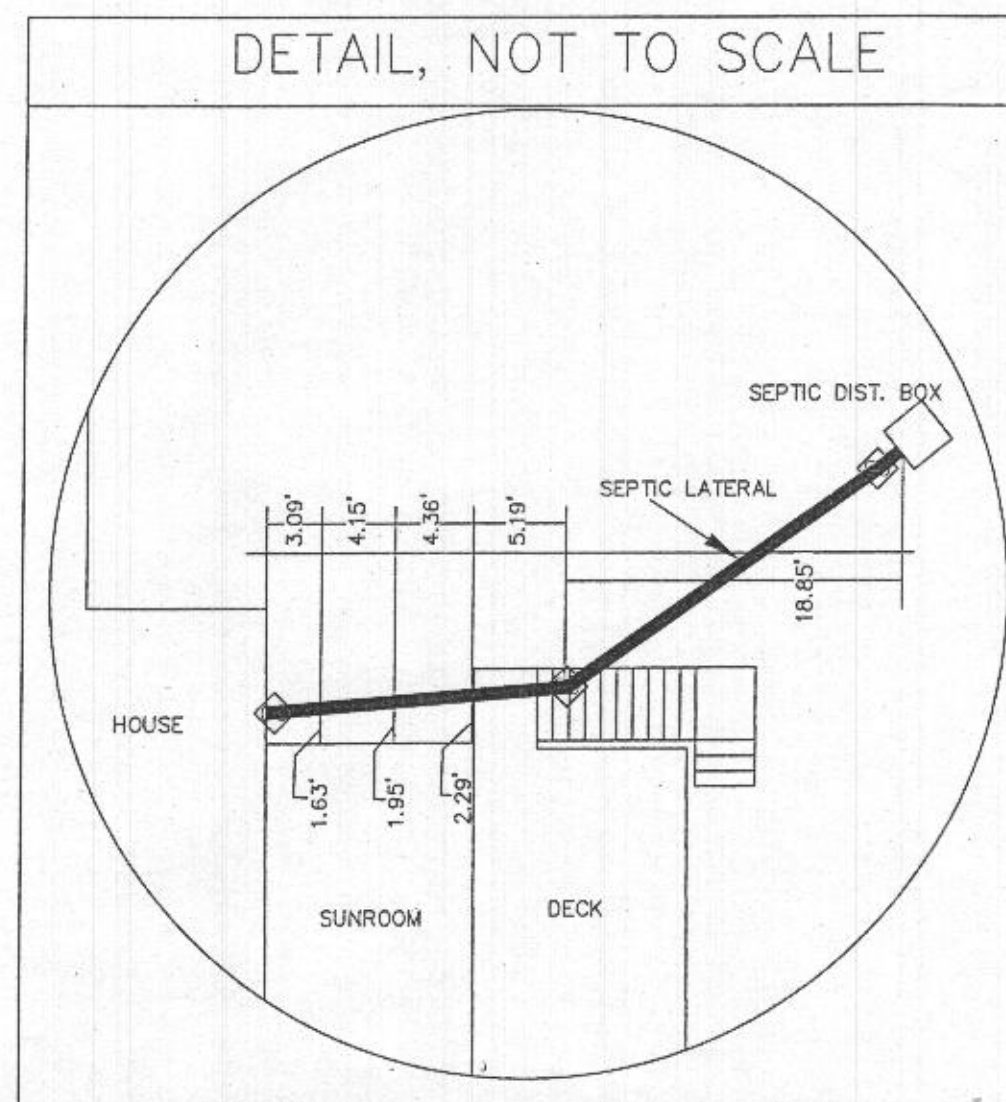
BP#

AS

APP SAN Robert Freeman DATE: 5/25/18

DESC OF WORK: Repair and Reconnect
sewer and deck

DETAIL, NOT TO SCALE



SCALE 1" = 50'

RE: CRAIG ROMAN
DB. 17670 PG. 62

TITLE BINDER NOT PROVIDED.
WATERS OF THE UNITED STATES ARE NOT
DESIGNATED BY THIS SURVEY.
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD
HAZARD AREA AS DESIGNATED BY THE SECRETARY
OF HOUSING & URBAN DEVELOPMENT. (PREMISES
LOCATED IN ZONE X, PANEL 24027C0030D, 11/6/2013)

REFERENCE IS HEREBY MADE TO ALL EASEMENTS,
RESTRICTIONS, AND CONDITIONS OF RECORD
WHICH MAY LAWFULLY APPLY TO SAID PROPERTY.
THE INFORMATION CONVEYED HEREON IS THE WORK
PRODUCT OF BRUCE LANDES, SURVEYOR PC.
AND IS SOLELY FOR THE EXCLUSIVE USE OF OUR
CLIENTS AND THEIR AGENTS FOR MORTGAGE PURPOSE

I HEREBY CERTIFY THAT THIS PHYSICAL SURVEY, TO
THE BEST OF MY KNOWLEDGE AND BELIEF, IS CORRECT
AND COMPLIES WITH THE MINIMUM PROCEDURES AND
STANDARDS ESTABLISHED BY THE MARYLAND STATE
BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS,
LAND SURVEYORS, AND CERTIFIED ARCHITECTS.

LOCATION/PARTIAL AS-BUILT SURVEY

1224 HALEYS COURT
MOUNT AIRY, MD 21771

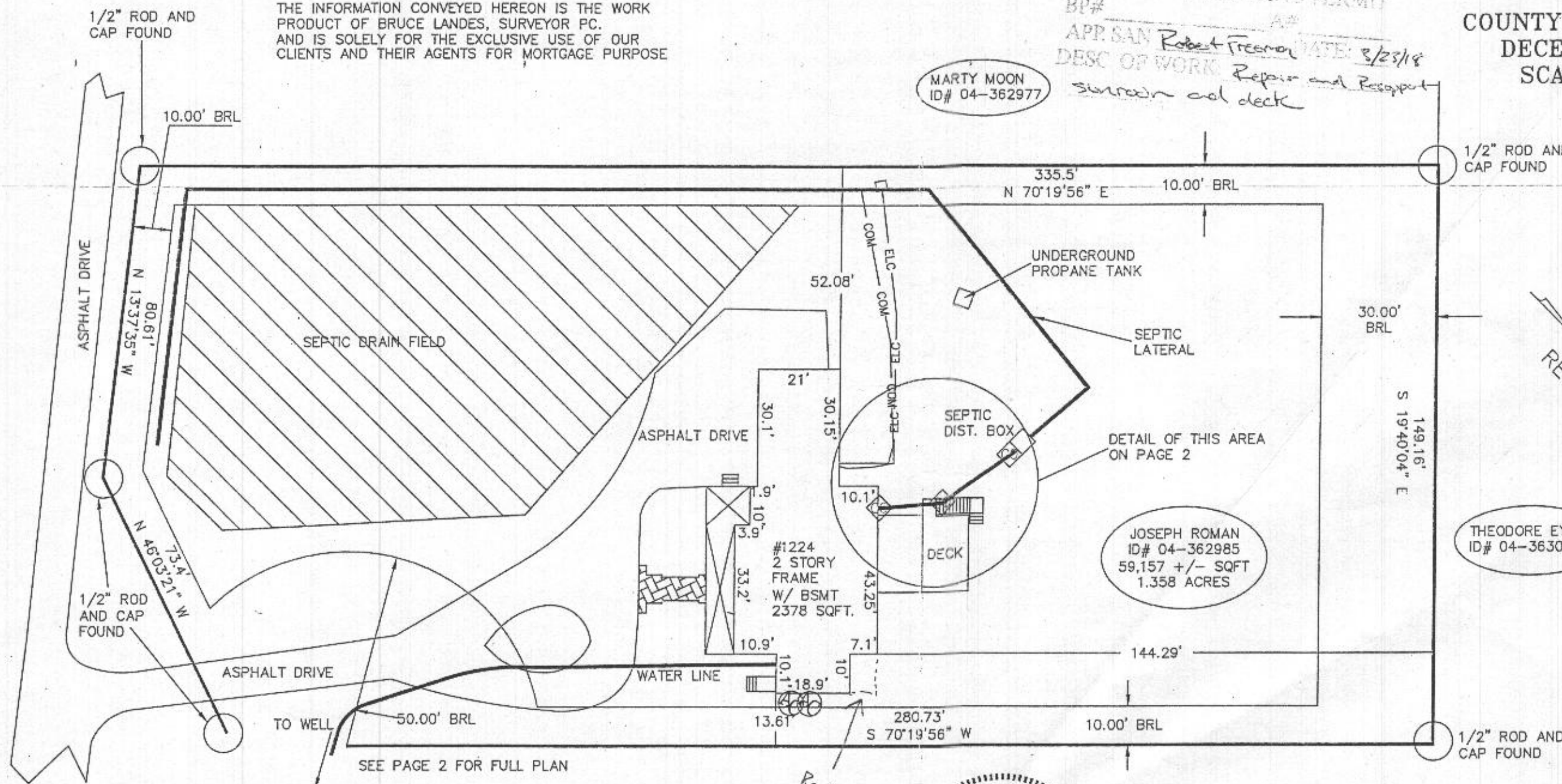
COUNTY OF HOWARD, MD
DECEMBER 7, 2017
SCALE 1" = 30'

APPROVED
WALKTHRU BUILDING PERMIT
BP#
APP. SAN Robert Freeman DATE: 3/23/18
DESC OF WORK Repair and Replace
Surround and deck

MARTY MOON
ID# 04-362977

1/2" ROD AND
CAP FOUND

THEODORE EYLER
ID# 04-363051



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C. Landes Surveyor.



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