

OCT 20 2020

PERMIT NUMBER: B 20003733

DATE ACCEPTED:

LICENSES & PERMITS DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 1421 UNDERWOOD ROAD, City: SYKESVILLE, State: MD, Zip Code: 21784, Subdivision/Village/Complex Name: GOOD NEIGHBORHOOD, Lot: 1, Tax Map: 9, Parcel: 34, Grading Permit # GP-28-61

DESCRIPTION OF WORK REQUIRED

Existing Use: VACANT, Proposed Use: SINGLE FAMILY DWELLING, Estimated Cost: \$800,000, Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing, None

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): MICHAEL F. SMITH AND HANNA K. ARNOLD, Primary Residence: Yes, Owner's Street Address: 14586 MCCLINTOCK DRIVE, City: GLENWOOD, State: MD, Zip Code: 21738

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: [Blank], Contact Name: MICHAEL F. SMITH, Street Address: 14586 MCCLINTOCK DRIVE, City: GLENWOOD, State: MD, Zip Code: 21738

CONTRACTOR INFORMATION REQUIRED

Business Name: LUNDBERG BUILDERS INC., Licensee's Name: BRAD LUNDBERG, License #: MHBR #749 - MHBR #748 (SEE OAG), Street Address: 314 MAIN STREET, City: STEVENSVILLE, State: MD, Zip Code: 21226

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: ROBERTS ARCHITECTS, Name: BERT C. ROBERTS III, Street Address: 8630 GUILFORD ROAD, SUITE 143, City: COLUMBIA, State: MD, Zip Code: 21046

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Utilities: Electric, Gas, Water Supply: Private (Well), Sewage Disposal: Private (Septic), Heating System: Electric, Propane, Fire Alarm System: Yes

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: CUSTOM, # of Bedrooms (SF): 5, # of efficiency units (MF*):, # of 1 BR (MF*):, # of 2 BR (MF*):, # of 3 BR (MF*):, # Rooms: 7, # Full Baths: 3, # Half Baths: 1, # Fireplaces: 1

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE [Signature], DATE SIGNED: 10/20/2020

RECEIVED OCT 20 2020

FOR OFFICE USE ONLY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, PED, Health, SHA, CID, SUBMITTAL FEES: \$150.00, PAYMENT: No check, ACCEPTED BY: [Signature]

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21004302	11/10/2021
Description of Work		
SFD///INSTALL ((1)) 1000 GAL UNDERGROUND PROPANE TANK		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
1421	UNDERWOOD	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.98298	39.33591
City	State	Zip Code	Primary
SYKESVILLE	MD	21784	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
926488	34	9.1	4500	4500	0	RURAL
Legal Description						
LOT 1 9 1093 A[]1421 UNDERWOOD RD[]GOOD NEIGHBORHOOD						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	1	603000	5				
Plan Area	State Tax Id	Subdivision Name					
	1403294137	Good Neighborhood					
Section	Area	Tax Map					
		9					
Grid	Zoning District	ADC Map					
9-8	RC-DEO	4693-C7					
SDP No.	Final Plan No.	WP File No.					
	F-08-058			Primary			
Record Plat No.	WS Contract No.	FDP No.		Yes			
19999							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *	MICHAEL SMITH	
Address Line 1	1421 UNDERWOOD RD	
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
SYKESVILLE	MD	21784
Phone	Primary	
301-725-3232	Yes	
E-mail		
Cell Number	Fax Number	

APPROVED
WALK-THRU BUILDING PERMIT
 BP# B21004302 A# _____
 APP. SAN CABANUG 0997 DATE: 12/02/2021
 DESC. OF WORK: 1 x 1K UPT

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
103851	HJ POIST		
License Type *	First Name	Middle Name	Last Name
Propane Gs	SEAN		UNDERWOOD
Primary	Address Line 1		
Yes	360 MAIN STREET		
	Address Line 2		
	City	State	ZIP Code
	LAUREL	MD	20707
	Phone 1	Phone 2	Fax
	301-725-3232		
	E-mail		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
2000	0	0	No
Construction Type	--Select--		

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

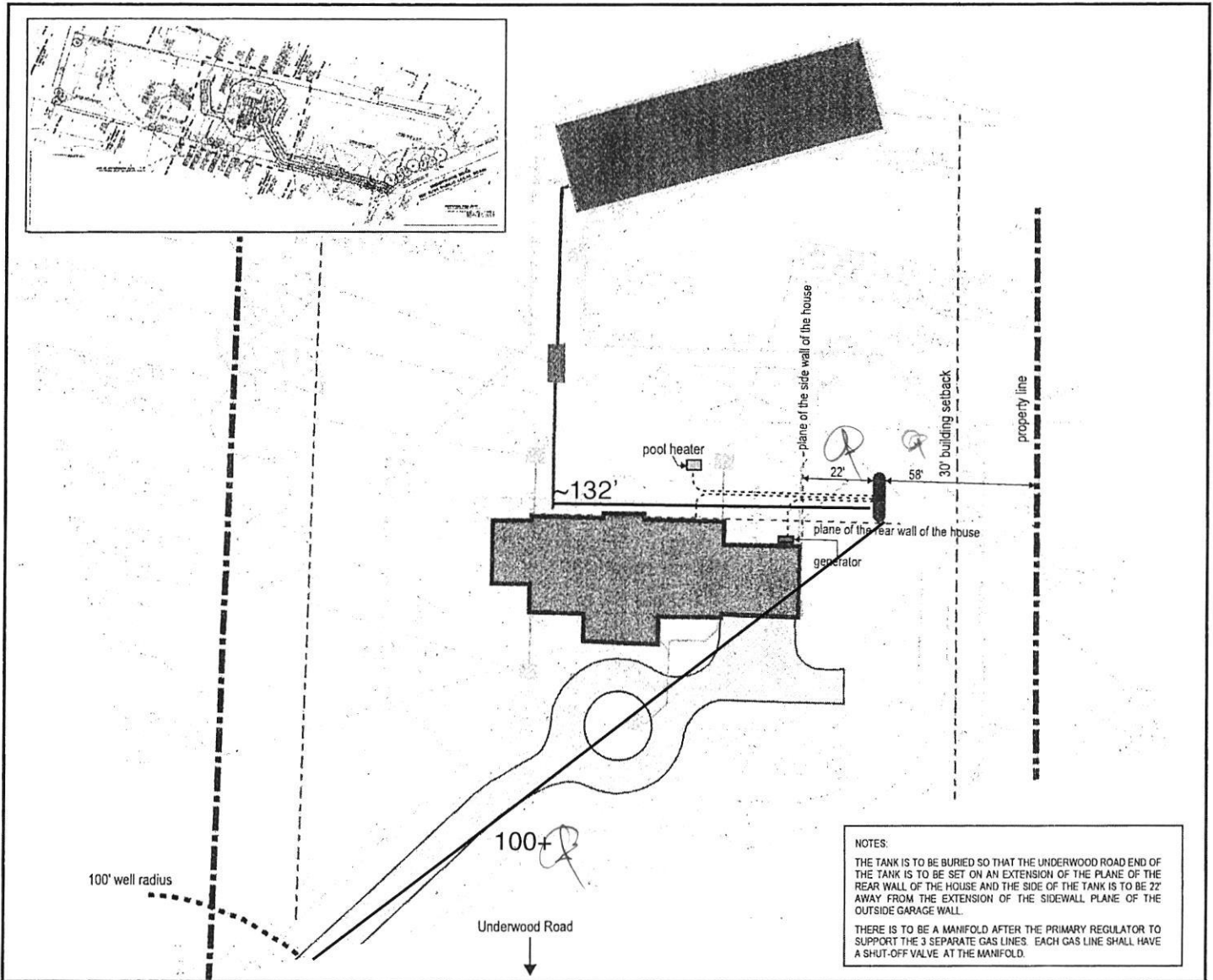
Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
--Select--	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	5/31/2022	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel

EXHIBIT C



NOTES:
 THE TANK IS TO BE BURIED SO THAT THE UNDERWOOD ROAD END OF THE TANK IS TO BE SET ON AN EXTENSION OF THE PLANE OF THE REAR WALL OF THE HOUSE AND THE SIDE OF THE TANK IS TO BE 22' AWAY FROM THE EXTENSION OF THE SIDEWALL PLANE OF THE OUTSIDE GARAGE WALL.
 THERE IS TO BE A MANIFOLD AFTER THE PRIMARY REGULATOR TO SUPPORT THE 3 SEPARATE GAS LINES. EACH GAS LINE SHALL HAVE A SHUT-OFF VALVE AT THE MANIFOLD.

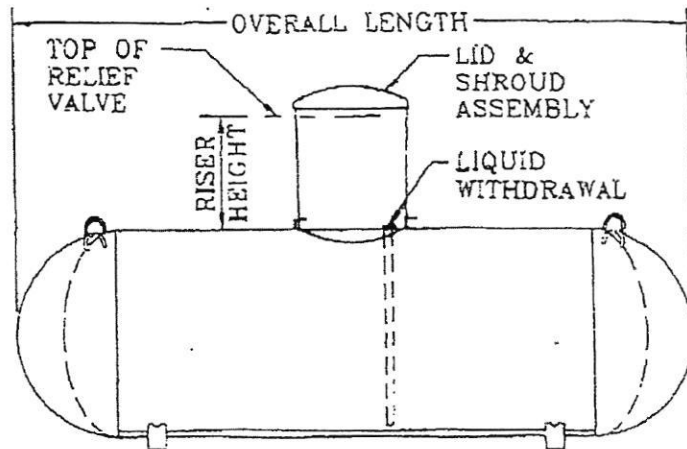
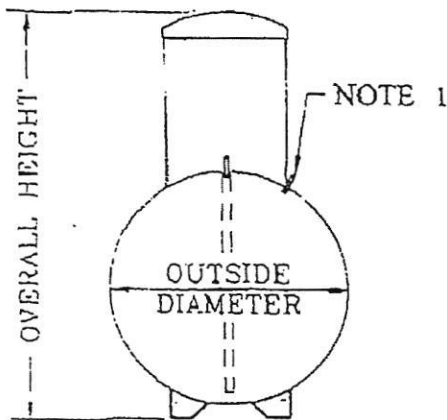


proposed underground propane storage tank location for the
MICHAEL & HANNA SMITH RESIDENCE
 1421 Underwood Road, Sykesville, Howard County, MD 21784

The H.J. Poist Gas Co., Inc. 360 Main Street, Laurel, MD 20707 - 301-725-3232

TRINITY INDUSTRIES, INC.

Underground Vessel



General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT		WEIGHT	QUANTITY IN FULL LOAD
				14" Riser Height	28" Riser Height		
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.6 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7' - 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2997.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
* 1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15 * * *
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 4/6/21
To: Permit Center
(Person's Name and Division)
From: Tyler Marola (Lundberg Builders) (410) 643-3334
(Your Name, Company Name and Telephone Number)
Subject: Project name Smith Residence
Project site address 1421 Underwood RD Sykesville, MD 21764
Permit Number BZ0003733 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to Howard County plan review code letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Structural steel certification
- Energy conservation calculations
- Certification for _____ (be specific).
- Copies of Building Plans (3 sets) (be specific).
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other letter explaining adjustments to plans

Is there anyone else that should be contacted regarding this project if there are questions?

If so, please list that person's name and telephone number below:

James Smith (Person's name) (410) 643-3334 (Telephone number)

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by _____

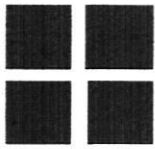
white: Plan Review Division
yellow: Applicant
pink: Permit Division

t:\Updated forms\transmit.frm - Rev. 5/08

RECEIVED

APR 07 2021

INSPECTIONS & PERMITS
DIVISION



LUNDBERG BUILDERS, INC.

DESIGN · BUILD · REMODEL · MAINTAIN

314 MAIN STREET, STEVENSVILLE, MD 21666 (410) 643-3334 FAX (410) 643-8329

To whom this may concern:

Revisions made to existing Permit.

Smith Residence
1421 Underwood Road
Sykesville, MD 21764

Permit Number: B20003733

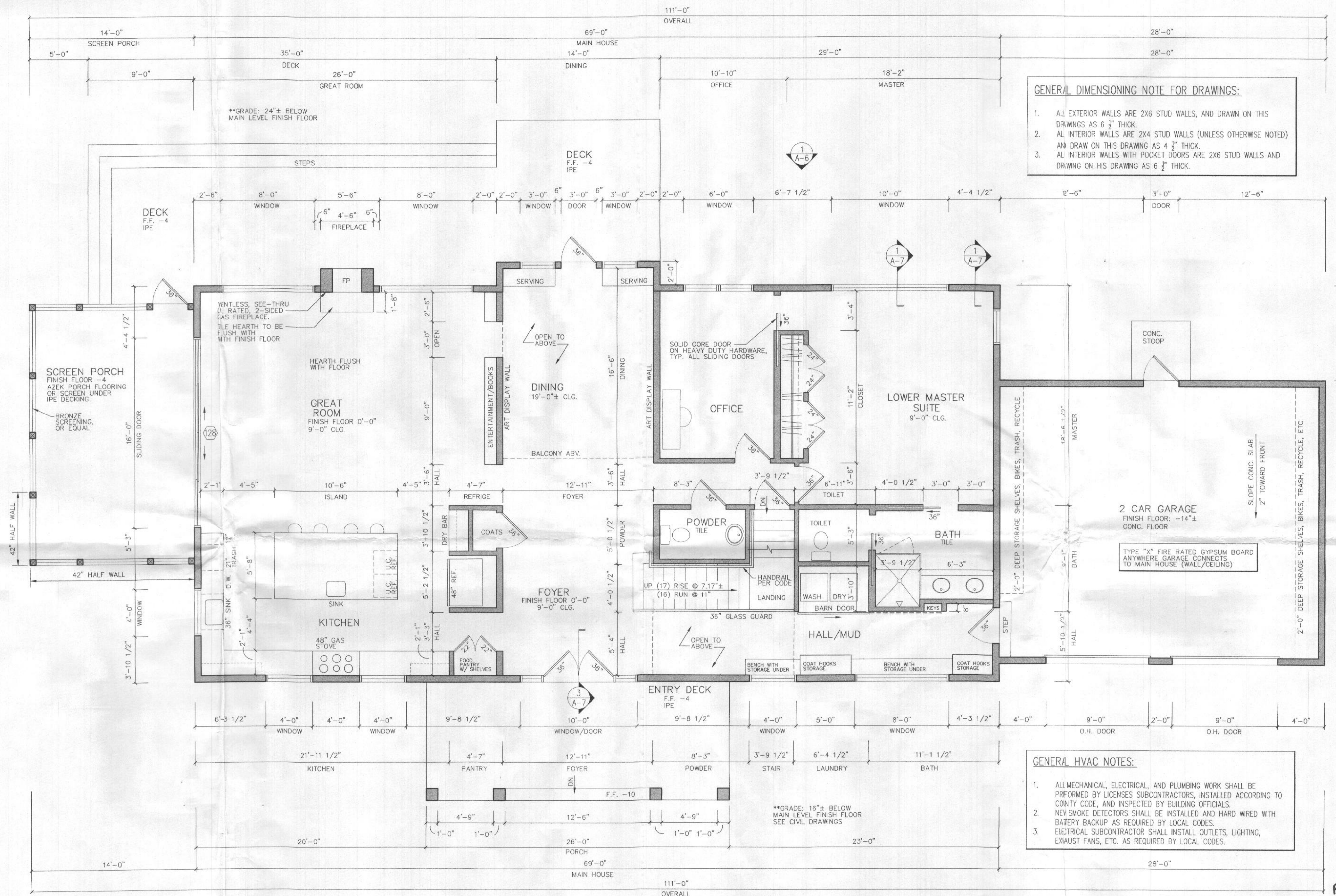
Attached are revised drawings for the above job.

Previously submitted on the drawings was a half basement & half crawl, which has now become a full unfinished basement.

If there are any questions, please contact Tyler Marold at (410) 643-3334 or tyler@lundbergbuilders.com

Thank you,

Ms. Tyler Marold



GENERAL DIMENSIONING NOTE FOR DRAWINGS:

1. ALL EXTERIOR WALLS ARE 2X6 STUD WALLS, AND DRAWN ON THIS DRAWING AS 6 1/2" THICK.
2. ALL INTERIOR WALLS ARE 2X4 STUD WALLS (UNLESS OTHERWISE NOTED) AND DRAWN ON THIS DRAWING AS 4 1/2" THICK.
3. ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 STUD WALLS AND DRAWING ON THIS DRAWING AS 6 1/2" THICK.

GENERAL HVAC NOTES:

1. ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED SUBCONTRACTORS, INSTALLED ACCORDING TO COUNTY CODE, AND INSPECTED BY BUILDING OFFICIALS.
2. NEW SMOKE DETECTORS SHALL BE INSTALLED AND HARD WIRED WITH BATTERY BACKUP AS REQUIRED BY LOCAL CODES.
3. ELECTRICAL SUBCONTRACTOR SHALL INSTALL OUTLETS, LIGHTING, EXHAUST FANS, ETC. AS REQUIRED BY LOCAL CODES.

1 MAIN FLOOR PLAN
1/4"=1'-0"

FLOORING NOTES:
ENTIRE HOUSE TO BE HARDWOOD FLOORING EXCEPT:
1) ALL BATHROOMS TO BE TILE.
2) UPPER WESTERN BEDROOM TO BE CARPET
3) ENTIRE BASEMENT TO BE CONCRETE FLOOR
4) GARAGE TO BE CONCRETE FLOOR
5) SCREEN PORCH, FRONT PORCH, FRONT BALCONY, AND ALL DECKS TO BE IPE

STRUCTURAL NOTES:

1. FOR ALL FOOTERS/FLOOR FRAMING, WALL FRAMING, HEADERS, COLUMNS, WALL BRACING DETAILS & CALCULATIONS, STRUCTURAL NOTES, ETC., PLEASE SEE STRUCTURAL DRAWINGS BY MULHERN+KULP, ATTACHED TO THIS ARCHITECTURAL BUILDING SET.
2. FOR ANY STRUCTURAL QUESTIONS PLEASE CALL JOSEPH RICKER, P.E. AT MULHERN+KULP; 215-646-8001 X 113

PROJECT TO BE IN FULL COMPLIANCE WITH:

1. 2018 INTERNATIONAL RESIDENTIAL CODE
2. 2018 INTERNATIONAL ENERGY CONSERVATION CODE (PROJECT IS TO BE CONSTRUCTED WITH THE PRESCRIPTIVE METHOD)
3. 2018 INTERNATIONAL MECHANICAL CODE
4. 2018 INTERNATIONAL PLUMBING CODE
5. NFPA 101 LIFE SAFETY CODE

PROJECT DESCRIPTION:

1. PROPERTY ADDRESS: 1421 UNDERWOOD ROAD, SYKESVILLE, MD 21784
2. DESCRIPTION OF WORK: BUILD A NEW TWO STORY FRAME HOUSE. THE HOUSE WILL HAVE 5 BEDROOMS, 3 FULL BATHS, 1 HALF BATH. THE HOUSE WILL INCLUDE A 2 CAR GARAGE, ENTRY PORCH, SCREEN PORCH, AND DECK. THE OVERALL DIMENSIONS OF THE MAIN HOUSE ARE 111'-0" X 33'-6" (SEE DRAWINGS). THE HOUSE WILL HAVE 4,300 SF OF LIVING SPACE.
3. THE HOUSE WILL HAVE A WELL AND SEPTIC SYSTEM.
4. THE ENERGY METHOD OF THE HOUSE IS ELECTRIC.

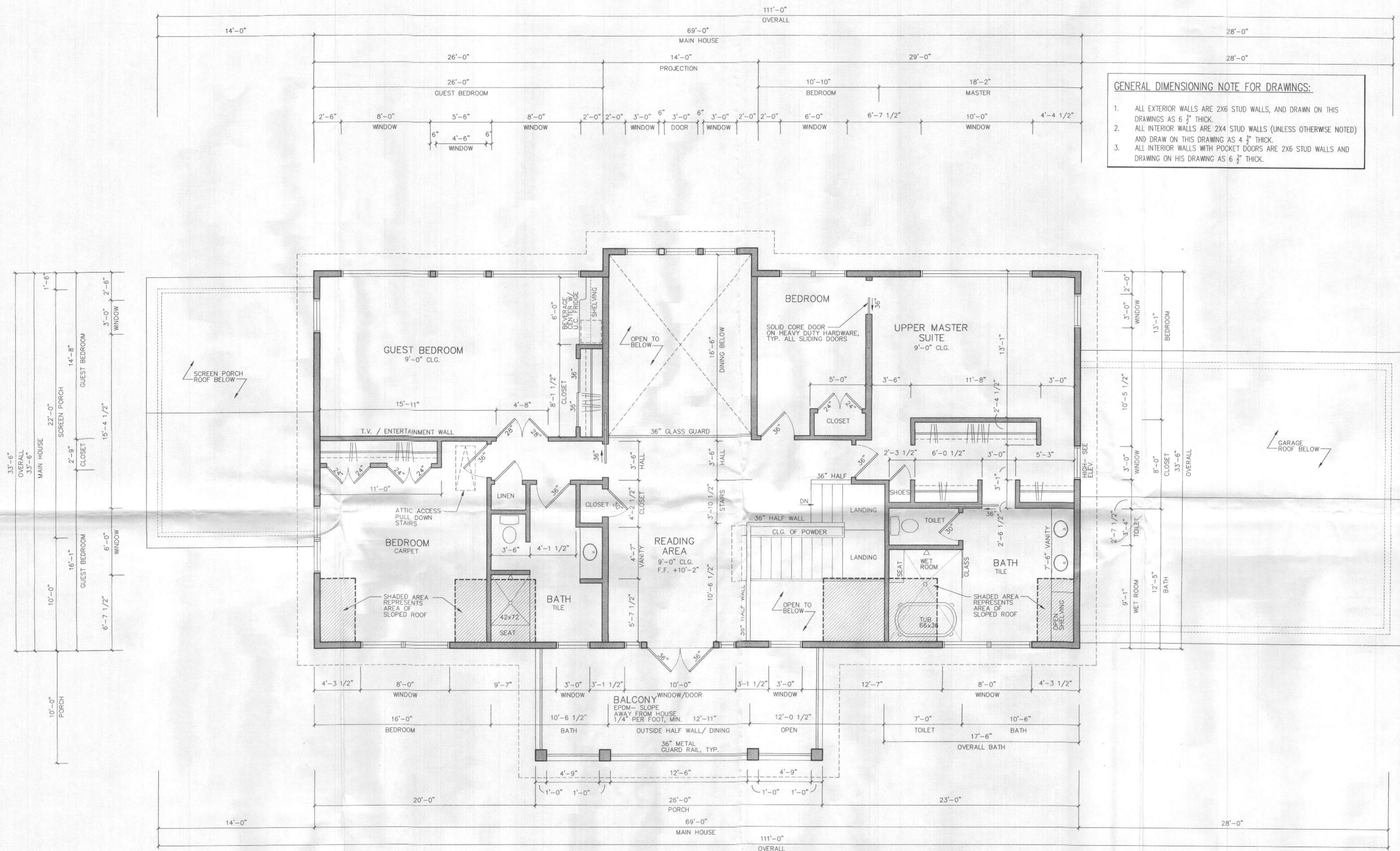
ROBERTS ARCHITECTS
8630M Guilford Road
Suite 143
Columbia, MD 21046
410.971.6809
www.RobertsArchitects.com

SMITH RESIDENCE
1421 UNDERWOOD ROAD
SYKESVILLE, MARYLAND 21784

MAIN FLOOR PLAN

PHASE:	DATE:
PERMIT SET	10 MARCH, 2020
CAUTION - THESE DRAWINGS ARE PRELIMINARY:	
NOTE: The General Contractor shall be responsible for construction to be in full compliance with the current editions of the International Building Code and International Residential Code, and all County requirements. The General Contractor shall be responsible for completing all building inspections required by the County and shall obtain the Certificate of Occupancy. At the conclusion of the project, the General Contractor shall also deliver Release of Liens from each major subcontractor and material supplier prior to final payment. All mechanical, electrical, and plumbing work shall be performed by licensed subcontractors, installed according to County codes, and inspected by building officials with Certificate of Inspection provided to the Owner.	
A-1	
1 OF 9	

B20003733



GENERAL DIMENSIONING NOTE FOR DRAWINGS:

1. ALL EXTERIOR WALLS ARE 2X6 STUD WALLS, AND DRAWN ON THIS DRAWINGS AS 6 3/4" THICK.
2. ALL INTERIOR WALLS ARE 2X4 STUD WALLS (UNLESS OTHERWISE NOTED) AND DRAW ON THIS DRAWING AS 4 3/4" THICK.
3. ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 STUD WALLS AND DRAWING ON HIS DRAWING AS 6 3/4" THICK.

1 UPPER FLOOR PLAN
1/4"=1'-0"

FLOORING NOTES:
ENTIRE HOUSE TO BE HARDWOOD FLOORING EXCEPT:
1) ALL BATHROOMS TO BE TILE.
2) UPPER WESTERN BEDROOM TO BE CARPET
3) ENTIRE BASEMENT TO BE CONCRETE FLOOR
4) GARAGE TO BE CONCRETE FLOOR
5) SCREEN PORCH, FRONT PORCH, FRONT BALCONY, AND ALL DECKS TO BE IPE

STRUCTURAL NOTES:

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GENERAL HVAC NOTES:

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2. NEW SMOKE DETECTORS SHALL BE INSTALLED AND HARD WIRED WITH BATTERY BACKUP AS REQUIRED BY LOCAL CODES.
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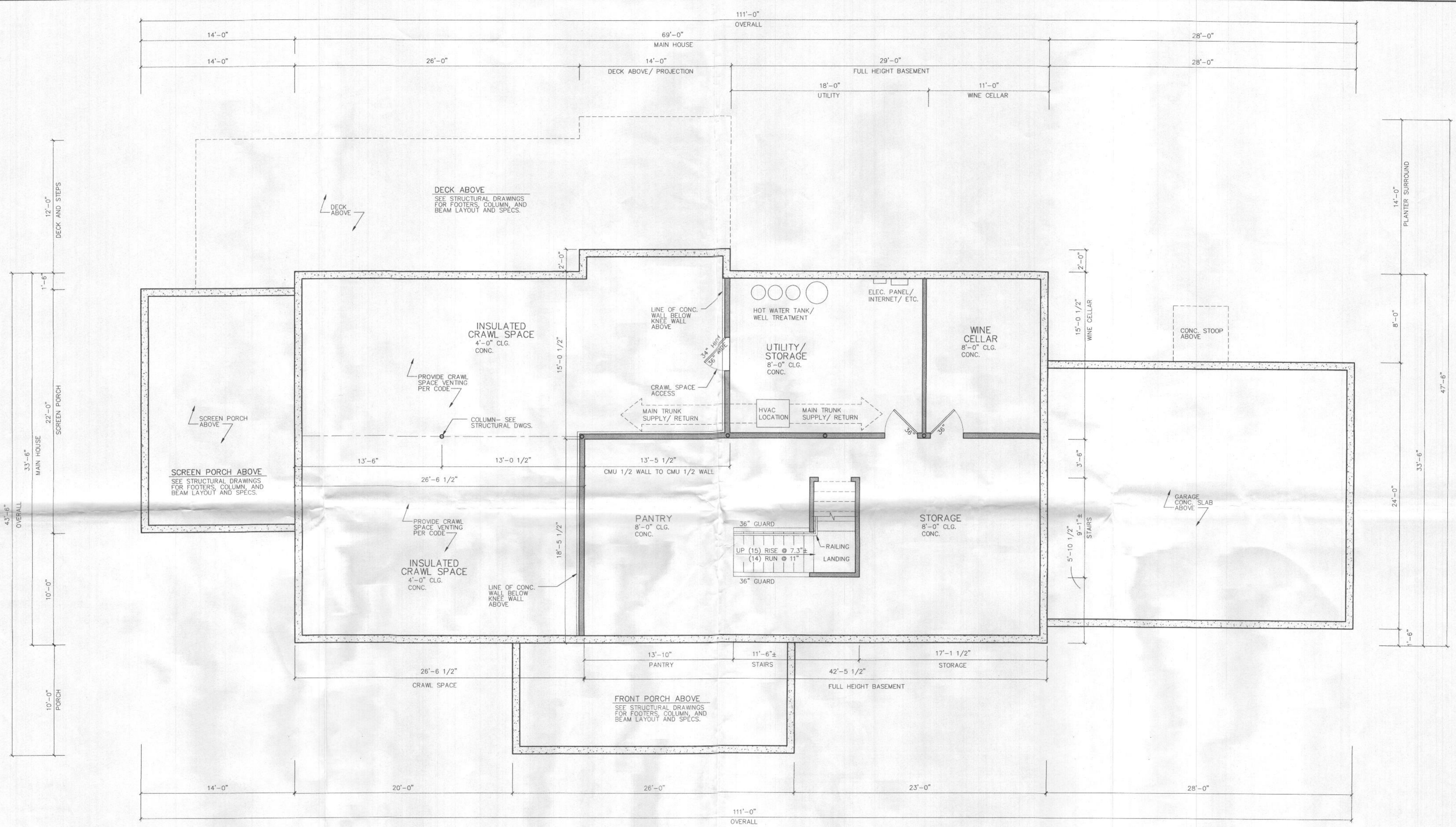
UPPER FLOOR PLAN

PHASE: PERMIT SET
DATE: 10 MARCH, 2020

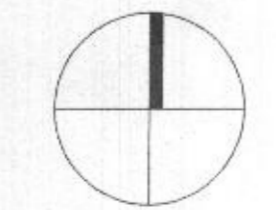
CAUTION - THESE DRAWINGS ARE PRELIMINARY:
CAUTION- This drawing may not be complete and may not accurately describe all work. The information in this drawing may not be fully integrated with other building information or Owner requirements. The Contractor shall be responsible for modifying the information in these drawings as necessary to respond to specific site conditions and/or requirements. The Contractor shall be responsible for all dimensions and verifying field measurements before ordering materials and prefabricated items. All work shall be done according to local building codes unless the drawing requirements exceed minimum code requirements.

NOTE:
NOTE- The General Contractor shall be responsible for construction to be in full compliance with the current editions of the International Building Code and International Residential Code, and all County requirements. The General Contractor shall be responsible for completing all building inspections required by the County and shall obtain the Certificate of Occupancy. At the conclusion of the project, the General Contractor shall also deliver Release of Liens from each major subcontractor and material supplier prior to final payment. All mechanical, electrical, and plumbing work shall be performed by licensed subcontractors, installed according to County codes, and inspected by building officials with Certificate of Inspection provided to the Owner.

A-2
2 OF 9



1 BASEMENT FLOOR PLAN
1/4"=1'-0"



STRUCTURAL NOTES:

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<p>8630M Guilford Road Suite 143 Columbia, MD 21046 410.971.6809 www.RobertsArchitects.com</p>	PHASE:	DATE:
	PERMIT SET	10 MARCH, 2020
<p>SMITH RESIDENCE 1421 UNDERWOOD ROAD SYKESVILLE, MARYLAND 21784</p>		
<p>BASEMENT FLOOR PLAN</p>		<p>NOTE: - The General Contractor shall be responsible for construction to be in full compliance with the current editions of the International Building Code and International Residential Code, and all County requirements. The General Contractor shall be responsible for completing all building inspections required by the County and shall obtain the Certificate of Occupancy. At the conclusion of the project, the General Contractor shall also deliver Release of Liens from each major subcontractor and material supplier prior to final payment. All mechanical, electrical, and plumbing work shall be performed by licensed subcontractors, installed according to County codes, and inspected by building officials with Certificate of Inspection provided to the Owner.</p>
		<p>A-3</p> <p>3 OF 9</p>