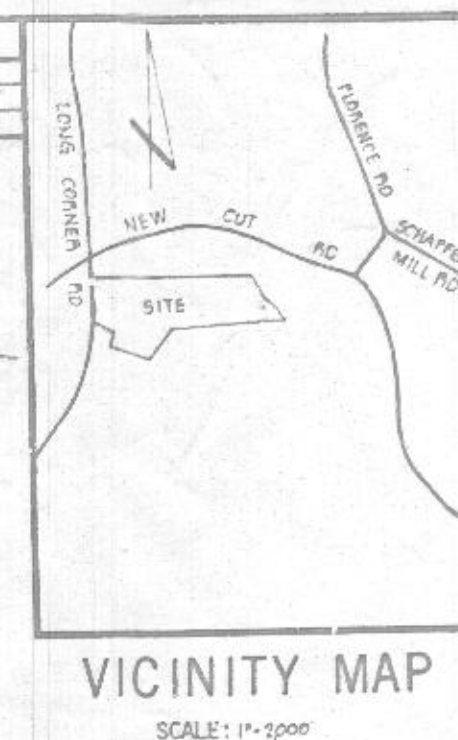


COORDINATE SCHEDULE		
NO.	NORTH	EAST
1	6365 545	1183 261
2	6314 425	1215 478
3	6294 546	1243 643
4	6203 208	1258 828
5	6204 227	1253 851
6	6241 216	1242 181
7	6244 115	1246 614
8	6255 012	1251 144
9	6256 289	1267 259
10	6425 664	1252 646
11	6406 896	1259 556
12	6219 151	1281 459
13	6203 546	1242 126
14	6036 675	1413 817
15	6212 493	1464 844
16	6352 598	1216 862
17	6509 297	1247 481
18	6256 683	1208 581

CURVE DATA TABLE					
CURVE	RADIUS	LENGTH	Δ	TAN	CHD BRG. & DIST.
1-10	1240.10	328.73	15°11'17"	165.35	S 52°35'31"W 321.77
1-3	1219.10	321.10	15°11'17"	162.70	N 62°36'31"E 321.10



GENERAL NOTES

1. TAX MAP: G, PARCEL NO. 53
2. DEED REFERENCE: 998/283
3. COORDINATES SHOWN HEREON ARE BASED ON ASSUMED DATUM
4. SUBJECT PROPERTY ZONED S, PER 10-3-77 COMPREHENSIVE ZONING PLAN
5. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE
6. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ FT AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVICING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM
7. ALL PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND ARE SHOWN THUS (o)
8. FOR FLAG OR FIRE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR FIRE STEM AND THE ROAD RIGHT OF WAY AND NOT ONTO THE FLAG OR FIRE STEM DRIVEWAY.
9. SUBJECT TO V.P. 90-85

OWNER / DEVELOPER

SANDRA L. KATZ
18720 THORNBERRY LANE
OLNEY, MD 20832
FILED DEC 17 1980

AREA TABULATIONS

TOTAL NUMBER OF LOTS: 4
TOTAL AREA OF LOTS: 37,267 AC
TOTAL AREA OF RIGHT-OF-WAY DEDICATION: 0.313 AC
TOTAL AREA OF FLOOD PLAIN EASEMENT: 2.443 AC
TOTAL AREA OF PLAT: 37,580 AC

OWNERS STATEMENT

I, SANDRA L. KATZ, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT-OF-WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY, TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS.

WITNESS OUR HANDS THIS 30TH DAY OF APRIL, 1980.

OWNER

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY LEONARD LEWIS KOGAN AND NANCY DORRIS KOGAN, HIS WIFE, TO SANDRA L. KATZ BY DEED DATED APRIL 29, 1980 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 998 AT FOLIO 283 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

WILLIAM G. HARTL, PLS NO 5436 DATE

RECORDED AS PLAT _____ ON _____
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

KATZ PROPERTY

LOTS 1, 2, 3 AND 4

4TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

SCALE: 1"=250'

DATE: MARCH, 1980

boender associates

engineers
surveyors
planners

SUITE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING
ELLCOTT CITY, MARYLAND 21043
BALTIMORE 301-466-7777 SALISBURY 301-740-1200

F-80-153

TD16B

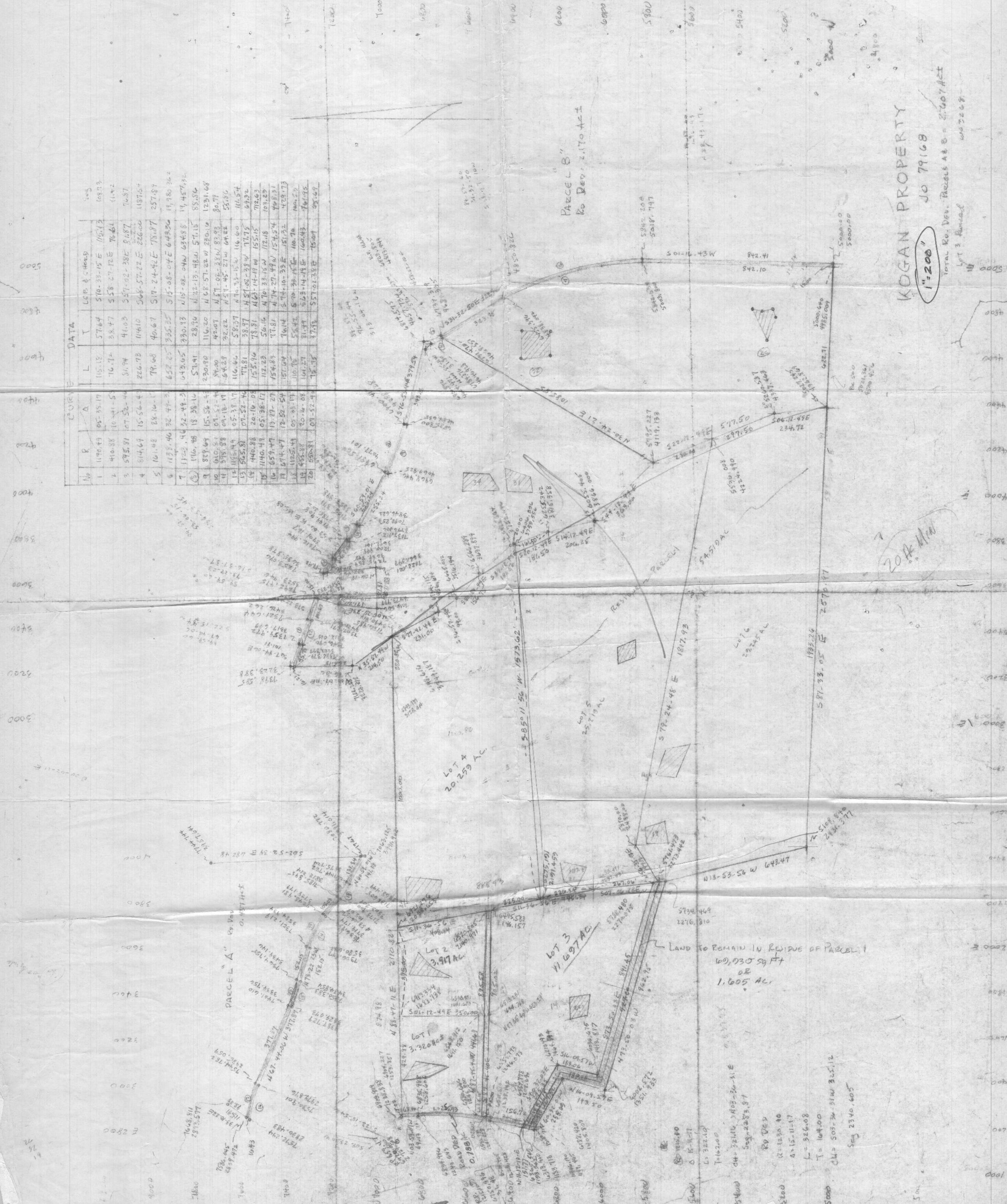
CURVE DATA

No	R	Δ	L	T	CEB. & CHORD	Tag
1	1176.43	65.35.17	115.18	57.64	S70.33-15 E 115.13	108.73
2	410.88	10.41.53	76.71	38.47	S58.27-12 E 76.61	11.42
3	575.81	07.52.44	51.94	41.03	S57.02-38 E 51.87	76.87
4	614.69	15.56.4	226.73	114.10	S68.57-22 E 226.60	1187.64
5	161.48	28.16.1	79.68	40.67	S17.24-42 E 79.87	257.89
6	1135.46	32.47.3	652.25	335.25	S15.08-04 E 643.24	11,980.36
7	1122.46	32.44.3	643.05	330.93	N15.08-04 W 634.88	19,457.32
8	116.48	18.38.16	57.41	28.94	N22.13-48 W 57.15	85.86
9	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
10	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
11	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
12	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
13	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
14	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
15	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
16	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
17	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
18	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
19	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
20	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
21	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
22	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
23	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
24	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
25	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
26	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
27	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
28	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
29	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
30	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
31	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
32	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
33	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
34	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
35	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
36	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
37	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
38	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
39	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
40	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
41	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
42	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
43	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
44	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
45	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
46	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
47	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
48	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
49	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
50	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
51	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
52	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
53	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
54	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
55	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
56	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
57	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
58	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
59	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
60	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
61	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
62	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
63	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
64	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
65	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
66	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
67	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
68	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
69	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
70	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
71	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
72	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
73	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
74	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
75	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
76	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
77	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
78	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
79	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
80	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
81	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
82	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
83	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
84	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
85	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
86	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
87	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
88	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
89	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
90	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
91	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
92	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
93	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
94	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
95	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
96	575.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77
97	1135.46	32.47.3	652.25	335.25	N15.08-04 W 634.88	19,457.32
98	1122.46	32.44.3	643.05	330.93	N22.13-48 W 57.15	85.86
99	859.69	15.56.4	230.10	116.20	N68.57-22 W 230.10	1231.68
100	610.81	07.52.44	51.94	41.03	N57.02-38 W 82.83	30.77

"PARCEL B"
Co. Dev. 2.1704±

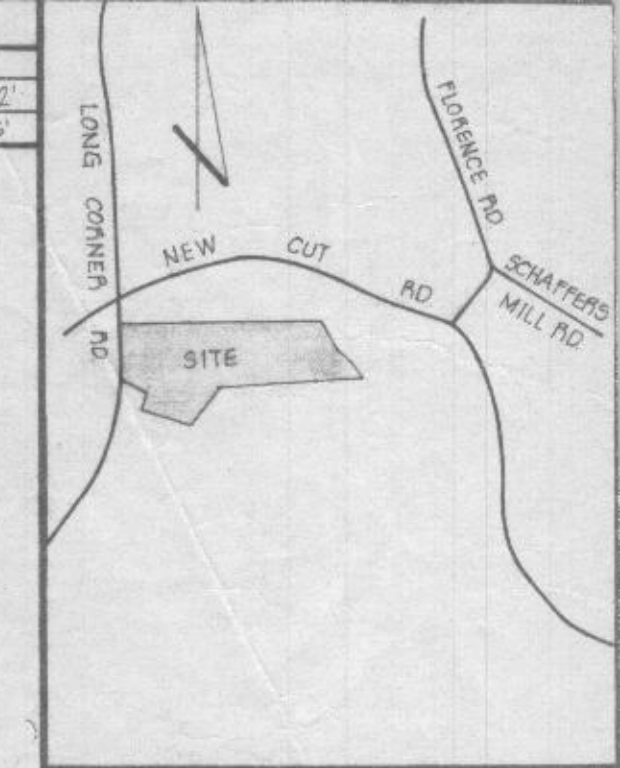
KOGAN PROPERTY
JO 79168
1"=200'

Total Co. Dev. Parcel A & B = 2.607 AC
Lot 3 Parcel A = 0.0008



COORDINATE SCHEDULE		
NO.	NORTH	EAST
1	G3G5 540	1133.542
2	G514.425	1223.428
3	G834 546	1243.643
4	G003 500	1258.838
5	G504.227	1253.851
6	G048.616	3340.187
7	G744.115	3456.614
8	G665.012	3516.144
9	G566.280	3621.890
10	G425.664	3752.046
11	G406.896	3759.556
12	G275.191	2191.459
13	G883.546	1942.126
14	G036.675	1413.877
15	G212.493	1464.844
16	G357.778	1207.624
17	G511.510	1238.142
18	G835.988	1258.606

CURVE DATA TABLE						
CURVE	RADIUS	LENGTH	Δ	TAN	CHD BRG & DIST	
17-18	1230.10'	326.08'	15°11'17"	164.00'	50°36'31"W 325.12'	
2-3	1215.10'	322.10'	15°11'17"	162.00'	N09°30'31"E 321.16'	



VICINITY MAP

SCALE: 1"=200'

GENERAL NOTES

1. TAX MAP: G, PARCEL NO.
2. DEED REFERENCE: 998 / 283
3. COORDINATES SHOWN HEREON ARE BASED ON ASSUMED DATUM.
4. SUBJECT PROPERTY ZONED R, PER 10-3-77 COMPREHENSIVE ZONING PLAN.
5. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
6. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
7. ALL PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND ARE SHOWN THUS (o).
8. FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT OF WAY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.

OWNER / DEVELOPER

SANDRA L. KATZ
18720 THORNBERY LANE
OLNEY, MD 20832

AREA TABULATIONS

TOTAL NUMBER OF LOTS: 4
TOTAL AREA OF LOTS: 37.392 AC.
TOTAL AREA OF RIGHT-OF-WAY DEDICATION: 0.188 AC.
TOTAL AREA OF FLOOD PLAIN EASEMENT: 2.443 AC.
TOTAL AREA OF PLAT: 37.580 AC.

OWNERS STATEMENT

I, SANDRA L. KATZ, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT-OF-WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY, TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS.

WITNESS OUR HANDS THIS 30TH DAY OF APRIL, 1980.

Sandra L. Katz
OWNER

OWNER

WITNESS

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY LEONARD LEWIS KOGAN AND NANCY DORRIS KOGAN, HIS WIFE, TO SANDRA L. KATZ BY DEED DATED APRIL 29, 1980 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 998 AT FOLIO 283 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

William G. Hartel 5-2-80
WILLIAM G. HARTEL, PLS NO. 9436 DATE

RECORDED AS PLAT _____ ON _____
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

FINAL UNSIGNED
KATZ PROPERTY

LOTS 1, 2, 3 AND 4

3/27/80 - This Copy of Final is same as prelim plat taken by J.B. to his office for a few changes

4TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
9/11/80 for time & Mary Dept
SCALE: 1"=200' DATE: MARCH, 1980
Write on Katz Prop

boender associates engineers
surveyors
planners

SUITE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING
ELLICOTT CITY, MARYLAND 21043
BALTIMORE 301-465-7777 SALISBURY 301-249-1286
MAY 2 1980

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

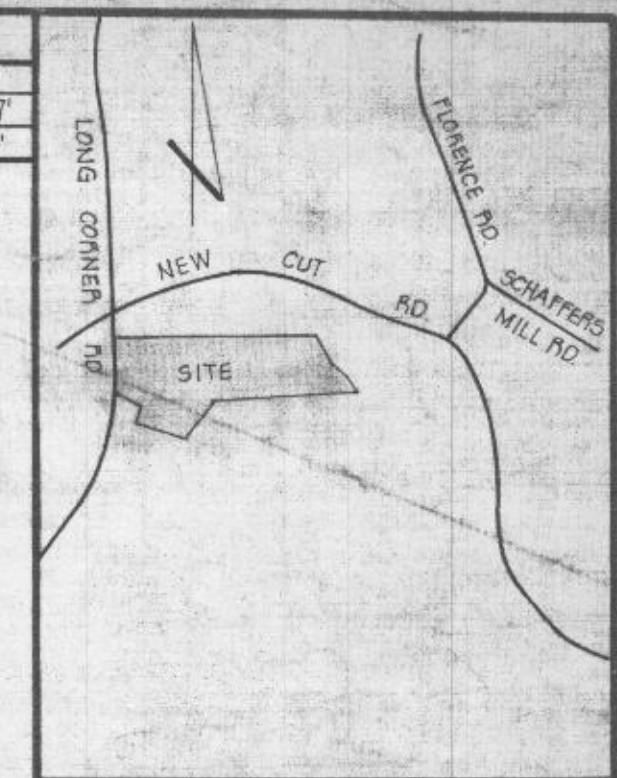
PLANNING DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

DIRECTOR DATE

COORDINATE SCHEDULE		
NO.	NORTH	EAST
1	6365.540	1133.342
2	6514.425	1223.428
3	6894.546	1243.643
4	6903.900	1258.836
5	6504.277	1253.851
6	6948.616	3349.187
7	6744.115	3456.614
8	6665.012	3916.144
9	6566.289	3687.899
10	6425.664	3752.646
11	6400.896	3759.556
12	6275.191	2191.459
13	5883.546	1942.126
14	6036.675	1413.877
15	6212.403	1464.844
16	6352.598	1216.862
17	6509.867	1247.951
18	6836.683	1268.581

CURVE DATA TABLE						
CURVE	RADIUS	LENGTH	Δ	TAN	CHD BRG & DIST	
17-18	1240.10'	325.73'	15°11'17"	165.35'	S 03°36'31"W 327.77'	
2-3	1215.10'	322.10'	15°11'17"	162.00'	N 03°36'31"E 321.16'	



VICINITY MAP

SCALE: 1" = 200'

GENERAL NOTES

- TAX MAP: G, PARCEL NO. G3
- DEED REFERENCE: 988 / 283
- COORDINATES SHOWN HEREON ARE BASED ON ASSUMED DATUM.
- SUBJECT PROPERTY ZONED R, PER 10-3-77 COMPREHENSIVE ZONING PLAN.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVICING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
- ALL PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND ARE SHOWN THUS (o)
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT OF WAY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- SUBJECT TO V.P. 80-85

OWNER / DEVELOPER

SANDRA L. KATZ
18720 THORNBERRY LANE
OLNEY, MD. 20832

AREA TABULATIONS

TOTAL NUMBER OF LOTS: 4
TOTAL AREA OF LOTS: 37.267 AC.
TOTAL AREA OF RIGHT-OF-WAY DEDICATION: 0.313 AC.
TOTAL AREA OF FLOOD PLAIN EASEMENT: 2.443 AC.
TOTAL AREA OF PLAT: 37.580 AC.

OWNERS STATEMENT

I, SANDRA L. KATZ, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT-OF-WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY, TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS.

WITNESS OUR HANDS THIS 30TH DAY OF APRIL, 1980

OWNER

Sandra L. Katz
Julia L. Wolf
WITNESS

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY LEONARD LEWIS KOGAN AND NANCY DORRIS KOGAN, HIS WIFE, TO SANDRA L. KATZ BY DEED DATED APRIL 29, 1980 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 988 AT FOLIO 283 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED

William G. Hartel 5-2-80
WILLIAM G. HARTEL, P.L.S. NO. 9436 DATE

RECORDED AS PLAT 4772 ON 12-17-80
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

SIGNED FILE COPY

KATZ PROPERTY
LOTS 1, 2, 3 AND 4

4TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

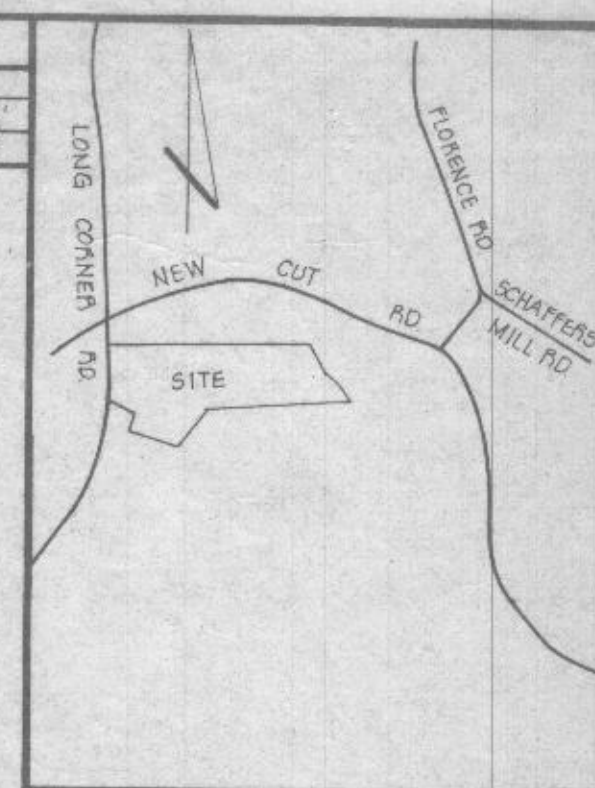
SCALE: 1" = 200'

DATE: MARCH, 1980

boender associates engineers
surveyors
planners
SUITE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING
ELLCOTT CITY, MARYLAND 21043
BALTIMORE 301-465-7777 SALISBURY 301-749-1288

COORDINATE SCHEDULE		
NO.	NORTH	EAST
1	6365.540	1193.242
2	6514.425	1225.428
3	6834.546	1243.643
4	6903.909	1238.836
5	6904.227	1293.851
6	6948.616	3349.187
7	6744.115	3456.614
8	6669.012	3516.144
9	6566.289	3637.899
10	6425.664	3792.646
11	6406.896	3799.556
12	6275.191	2191.459
13	5883.546	1942.126
14	6036.675	1413.877
15	6212.423	1464.844
16	6357.778	1207.654
17	6511.510	1238.142
18	6835.588	1258.606

CURVE DATA TABLE						
CURVE	RADIUS	LENGTH	Δ	TAN	CHORD	BRG. & DIST.
17-18	1230.10'	326.08'	15°11'17"	164.00'	503'36"31"W	325.12'
2-3	1215.10'	322.10'	15°11'17"	162.00'	N03°30'31"E	321.16'



VICINITY MAP
SCALE: 1"=200'

GENERAL NOTES

- TAX MAP: G, PARCEL NO. 988/277
- DEED REFERENCE: 988/283 Kogan to Katz
- COORDINATES SHOWN HEREON ARE BASED ON ASSUMED DATUM.
- SUBJECT PROPERTY ZONED R, PER 10-3-77 COMPREHENSIVE ZONING PLAN
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVICING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
- ALL PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND ARE SHOWN THUS (o).
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT OF WAY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.

OWNER / DEVELOPER

SANDRA L. KATZ
18720 THORNBERY LANE
OLNEY, MD. 20832

AREA TABULATIONS

TOTAL NUMBER OF LOTS: 4
TOTAL AREA OF LOTS: 37.392 AC.
TOTAL AREA OF RIGHT-OF-WAY DEDICATION: 0.188 AC.
TOTAL AREA OF FLOOD PLAIN EASEMENT: 2.443 AC.
TOTAL AREA OF PLAT: 37.580 AC.

OWNERS STATEMENT

I, SANDRA L. KATZ, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT-OF-WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY, TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS.

WITNESS OUR HANDS THIS 30TH DAY OF APRIL, 1980.

OWNER

Sandra L. Katz
WITNESS

WITNESS

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY LEONARD LEWIS KOGAN AND NANCY DORRIS KOGAN, HIS WIFE, TO SANDRA L. KATZ BY DEED DATED APRIL 29, 1980 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 996 AT FOLIO 283 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED

WILLIAM G. HARTEL, PLS. NO. 0436

DATE

RECORDED AS PLAT ON
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

CONVERSION PLAT

KATZ PROPERTY
LOTS 1, 2, 3 AND 4

4TH ELECTION DISTRICT

HOWARD COUNTY

SCALE: 1"=200'

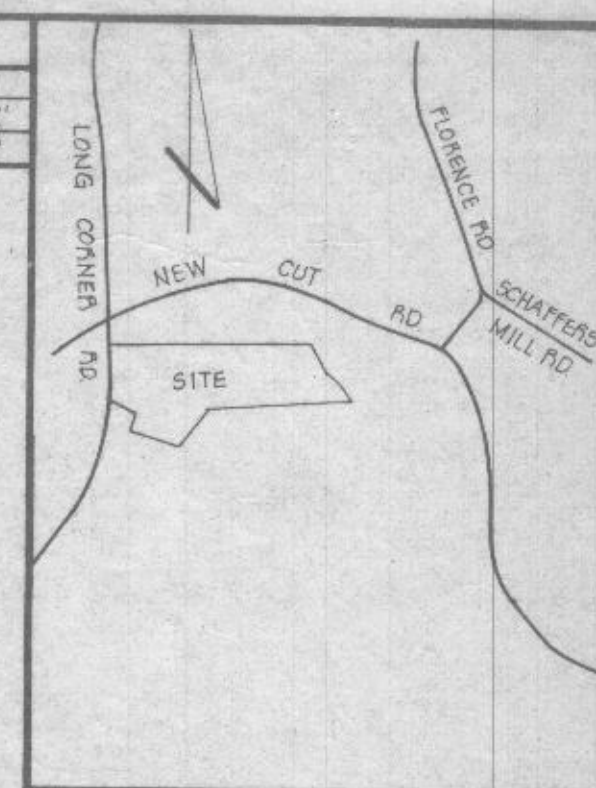
DATE: M

boender associates

SUITE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING
ELLCOTT CITY, MARYLAND 21043
BALTIMORE 301-465-7777 SALISBURY 301-749-1286

COORDINATE SCHEDULE		
NO.	NORTH	EAST
1	6365.540	1193.242
2	6514.425	1225.428
3	6894.546	1243.643
4	6903.909	1238.836
5	6904.227	1293.891
6	6948.616	3349.187
7	6744.115	3456.614
8	6669.012	3516.144
9	6566.289	3637.809
10	6425.664	3792.646
11	6406.896	3799.556
12	6275.191	2191.459
13	5883.546	1942.126
14	6036.675	1413.877
15	6212.423	1464.844
16	6367.778	1207.694
17	6511.510	1238.142
18	6835.288	1258.606

CURVE DATA TABLE					
CURVE	RADIUS	LENGTH	Δ	TAN	CHORD & DIST
17-18	1230.10'	326.08'	15°11'17"	164.00'	50°36'31"W 325.12'
2-3	1215.10'	322.10'	15°11'17"	162.00'	N09°30'31"E 321.16'



VICINITY MAP
SCALE: 1"=200'

GENERAL NOTES

- TAX MAP: G, PARCEL NO.
- DEED REFERENCE: 998/283 Kogan to Katz
- COORDINATES SHOWN HEREON ARE BASED ON ASSUMED DATUM.
- SUBJECT PROPERTY ZONED R, PER 10-3-77 COMPREHENSIVE ZONING PLAN
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVICING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
- ALL PERCOLATION TEST HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED AND ARE SHOWN THUS (o).
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT OF WAY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.

OWNER / DEVELOPER

SANDRA L. KATZ
18720 THORNBERY LANE
OLNEY, MD 20832

AREA TABULATIONS

TOTAL NUMBER OF LOTS: 4
TOTAL AREA OF LOTS: 37.392 AC.
TOTAL AREA OF RIGHT-OF-WAY DEDICATION: 0.188 AC.
TOTAL AREA OF FLOOD PLAIN EASEMENT: 2.443 AC.
TOTAL AREA OF PLAT: 37.580 AC.

OWNERS STATEMENT

I, SANDRA L. KATZ, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT-OF-WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY, TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS.

WITNESS OUR HANDS THIS 30TH DAY OF APRIL, 1980.

OWNER

Sandra L. Katz
WITNESS

WITNESS

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY LEONARD LEWIS KOGAN AND NANCY DORRIS KOGAN, HIS WIFE, TO SANDRA L. KATZ BY DEED DATED APRIL 20, 1980 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 998 AT FOLIO 283 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED

WILLIAM G. HARTL, PLS. NO. 9436

DATE

RECORDED AS PLAT ON
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

CONVERSION PLAT
KATZ PROPERTY
LOTS 1, 2, 3 AND 4

4TH ELECTION DISTRICT

HOWARD COUNTY

SCALE: 1"=200'

DATE: M

boender associates

SUITE 102-107 TOWN & COUNTRY PROFESSIONAL BUILDING
ELLCOTT CITY, MARYLAND 21043
BALTIMORE 301-469-7777 SALISBURY 301-749-1286

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

HOWARD COUNTY HEALTH OFFICER DATE

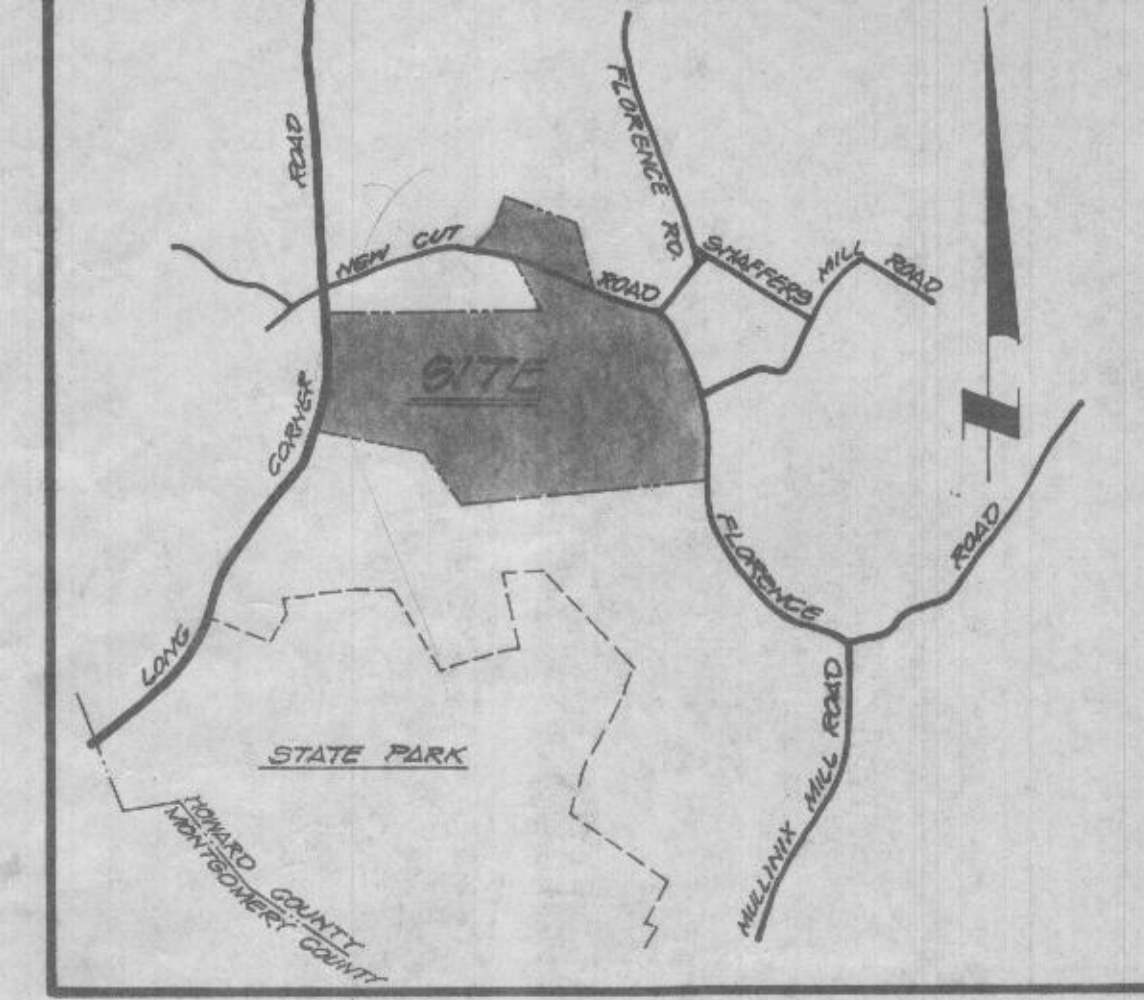
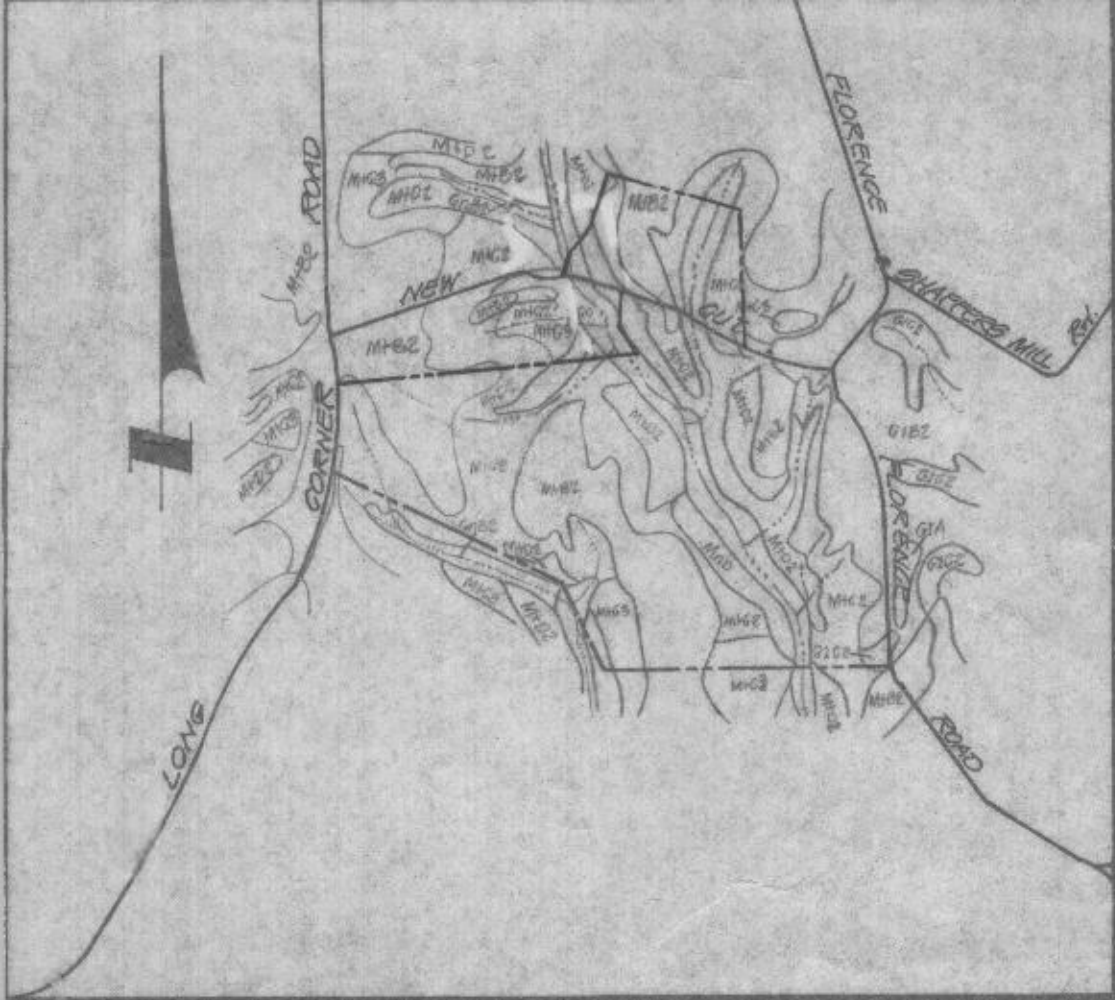
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

PLANNING DIRECTOR DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

DIRECTOR

DATE



SOILS MAP (Soil Survey Howard County Sh. 5)
SCALE: 1" = 15,840'

VICINITY MAP
SCALE: 1" = 2,000'

SOIL TYPES

Map Symbol	Description
GIC2	Glenh form, 8 to 15 % slopes moderately eroded.
MH2	Mt. Airy channery loam, 3 to 8 % slopes, moderately eroded.
MHC2	Mt. Airy channery loam, 8 to 15 % slopes, moderately eroded.
MHC3	Mt. Airy channery loam, 8 to 15 % slopes severely eroded.
MH2	Mt. Airy channery loam, 15 to 25 % slopes moderately eroded.

GENERAL NOTES

1. Property shown is on Tax Map G Parcel G3, Tax Map 12 Parcel 2.
2. Present Zoning - R.
3. Minimum allowable lot size is 3.00 Acres.
4. Number of proposed lots shown: 42.
5. Total area of parcel is: 153.84 Acres.
6. Private Water and Sewer System to be utilized.
7. Proposed Subdivision name: KOGAN PROPERTY.
8. Topography shown was obtained from Potomac Aerial Survey.

LEGEND

1. This area designates a private sewage easement of approximately 10,000 Sq. Ft. as required by the Maryland State Health Dept. for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available and servicing any residential structure constructed on these building sites. This easement shall become null and void upon connection to a public sewerage system.
2. (Symbol) Denotes Location of Percolation Test Holes.
3. (Symbol) Approximate Location of Dwellings.
4. (Symbol) Denotes Approximate Location of Wells.

Percolation Test Legend

- Shelf & Bottom Pass (4 1/2)
- Shelf Failed, Bottom Passed (4 1/2)
- Shelf Passed, Bottom Failed (4 1/2)
- Shelf Failed Bottom Failed (4 1/2)
- Shelf & Bottom Pass (6 1/4)
- 8' Test Pass
- Shallow test (4' 6" or 5' 9") - pass
- Shallow test (4' 6" or 5' 9") - fail

OWNER: LEONARD KOGAN & NANCY KOGAN
8630 Fenton Street
Silver Spring, Maryland 20910
565-0222

NO.	REVISION	DATE	BY
1			
2			
3			
4			

UNI-VERSAL ENGINEERING MANAGEMENT INC.
10 OLD POST OFFICE ROAD
SILVER SPRING, MARYLAND 20910
538-0611

PRELIMINARY PLAN		D.W.J. DESIGN	SCALE: 1" = 200'
KOGAN PROPERTY		D.W.T. DRAWN	
4TH ELECTION DISTRICT	DEED 1	S.T.B. CHECKED	SHEET NO. 1 of
HOWARD COUNTY, MARYLAND		OCT. 1977 DATE	77-8-362 JOB NO. 77-8-362 FILE NO.