

The Wellington

Williamsburg Group, LLC
 5485 Harpers Farm Rd. #200
 Columbia, MD 21044
 (410) 997- 8800

S BR (including library)
 unfinished basement

Plymouth Road Architects
 640 Plymouth Road, Catonsville, MD 21229 410-788-0281

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PROJECT DATA		
CONSTRUCTION:		
GROUND FLOOR	CONCRETE	
FIRST FLOOR	WOOD	
SECOND FLOOR	WOOD	
ROOF	WOOD	
WALLS	WOOD	
BUILDING AREA: SQ. FT. INCLUDED:		
WELLINGTON ELEVATION 1		
FIRST FLOOR CONDITIONED	2945	
SECOND FLOOR CONDITIONED	2795	
UNFINISHED BASEMENT	2945	
OPT. FIN. BASEMENT	1665	
OPT. FIN. BASEMENT W/ GAME RM	2115	
GARAGE	800	
PORCH	72	
WELLINGTON ELEVATION 2		
FIRST FLOOR CONDITIONED	2860	
SECOND FLOOR CONDITIONED	2810	
UNFINISHED BASEMENT	2860	
OPT. FIN. BASEMENT	1665	
OPT. FIN. BASEMENT W/ GAME RM	2085	
GARAGE	800	
PORCH	210	
WELLINGTON ELEVATION 3		
FIRST FLOOR CONDITIONED	2860	
SECOND FLOOR CONDITIONED	2845	
UNFINISHED BASEMENT	2860	
OPT. FIN. BASEMENT	1665	
OPT. FIN. BASEMENT W/ GAME RM	2085	
GARAGE	824	
PORCH	540	
OPTIONS		
SECOND FLOOR FAMILY RM.	420	
TWO STORY CONSERVATORY:		
BASEMENT	525	
FIRST FL.	525	
SECOND FL.	525	
MORNING RM.:		
BASEMENT	288	
FIRST FL.	288	
CONSERVATORY:		
BASEMENT	340	
FIRST FL.	340	
DETACHED GARAGE		
BREEZEWAY	48	
SIDE PORCH	56	
TOTAL CONDITIONED SPACE		
TOTAL GROSS SPACE		

PROJECT DESIGN CRITERIA		
THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION FOR ONE AND TWO FAMILY DWELLINGS ALL STATE AND LOCAL AMENDMENTS. CONSTRUCTION CLASSIFICATION TYPE: 5B (UNPROTECTED) USE GROUP: R3		
2018 IECC CODE COMPLIANCE		BUILDING DATA
CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
R301.1 CLIMATE ZONE	4A	FLOOR LIVE LOAD 40 PSF
RA01.2 COMPLIANCE METHOD	MANDATORY AND PRESCRIPTIVE PROVISIONS	ROOF LIVE LOAD 40 PSF
RA02.1.1 VAPOR RETARDER:	WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE IRC 2018	WIND SPEED ULTIMATE 115 MPH, EXPOSE C
RA02.1.2 ATTIC INSULATION-	R-49, R-38 WILL SATISFY THE REQUIREMENT IF FULL OVER THE TOP PLATE @ EAVES (REQUIRES RAISED HEEL TRUSS).	ATTICS W/O STORAGE 10 PSF
RA02.1.2 WOOD FRAME WALL	R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HGT. R-13 IN CAVITY IF FINISHED.	ATTICS W/ STORAGE 20 PSF
RA02.1.2 BASEMENT WALL INSULATION:	R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HGT. R-13 IN CAVITY IF FINISHED.	HABITABLE ATTICS 30 PSF
RA02.1.2 CRAWL SPACE WALL INSULATION:	R-10 FOIL FACED CONTINUOUS BATTS FULL HGT. EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".	STAIRS 40 PSF
RA02.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:	R-30 BATT INSULATION	DECKS & BALCONIES (EXT) 40 PSF
RA02.1.2 WINDOW U-VALUE/ SHGC	0.32 (U-VALUE) & 0.40 (SHGC)	GUARDHANDRAILS 200# (CONT.)
RA02.1.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:	R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZANTALLY OR VERTICALLY.	SEISMIC CATEGORY B LIGHT FRAME STRUCTURAL W/ SHEAR WALLS
RA02.2.4 ATTIC ACCESS:	ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49.	CONCRETE WEATHERING SEVERE
RA02.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IECC WITH CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL.	TERMITE MODERATE TO HEAVY
RA02.4.1.2 BUILDING ENVELOPE TEST OPTION:	BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.	DECAY PROBABILITY MODERATE
RA02.4.2 FIREPLACES	NEW WOODBURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.	ICE UNDERLAYMENT YES
RA02.4.4 FUEL-BURNING APPLIANCES	ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.	FROST DEPTH 32"
RA02.4.5 RECESSED LIGHTING	RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.	NOTE: MINIMUM VALUES SHOWN- CONFIRM WITH LOCAL CODE OFFICIAL PRIOR TO CONSTRUCTION.
RA03.1 THERMOSTAT	ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.	
RA03.1.2 HEAT PUMP SUPPLEMENTARY HEAT	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.	
RA03.3.1 MECHANICAL DUCT INSULATION	SUPPLY & RETURN DUCTS IN ATTIC R-8 MIN. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED INSIDE THE BUILDING THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN.	
RA03.3.2 DUCT SEALING	ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4.1 OF THE IRC.	
RA03.6 MECHANICAL VENTILATION	A DUCT TIGHTNESS TEST (DUCT BLASTER LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONS. TEST OR A ROUGH IN TEST. DUCT TIGHTNESS TEST IS NOT REQD. IF AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE.	
403.6.1 WHOLE HOUSE MECH VENT SYSTEM FAN EFFICIENCY	OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER. TO COMPLY WITH TABLE R403.6.1.	
RA03.7 EQUIPMENT SIZING	SHALL COMPLY WITH R403.7	
RA04.1 LIGHTING EQUIPMENT	A MIN. OF 90% OF ALL LAMPS MUST BE HIGH-EFFICIENCY LAMPS. MIN. EFFICIENCY ESTABLISHED BY NAECA.	
RA04.1 WATER HEATER	ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.	
RA04.1 MECHANICAL TESTING		

GENERAL NOTES

GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION

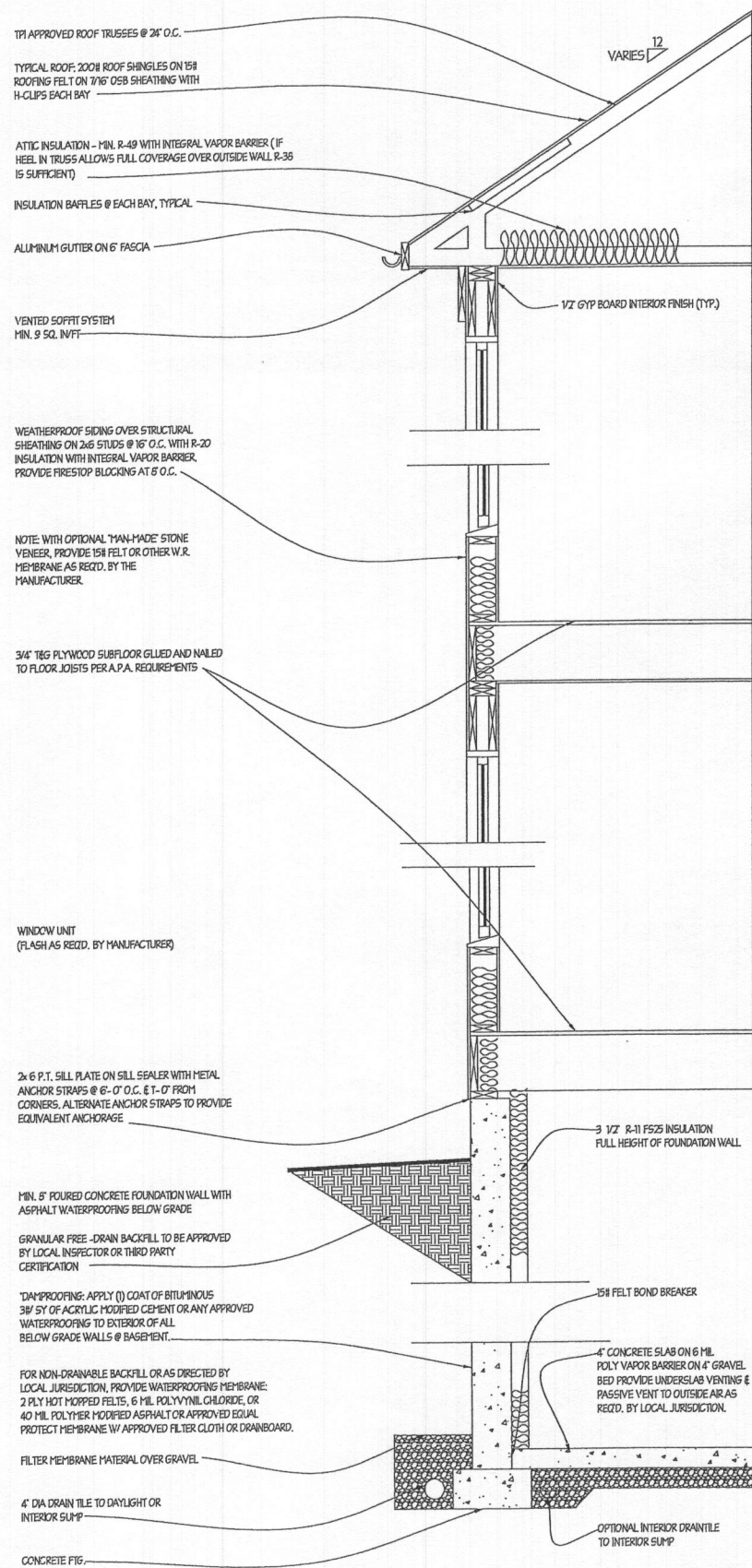
MISC. NOTES:

1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.
3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FIXTURES, AND ETC. SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS.
4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO FABRICATION.

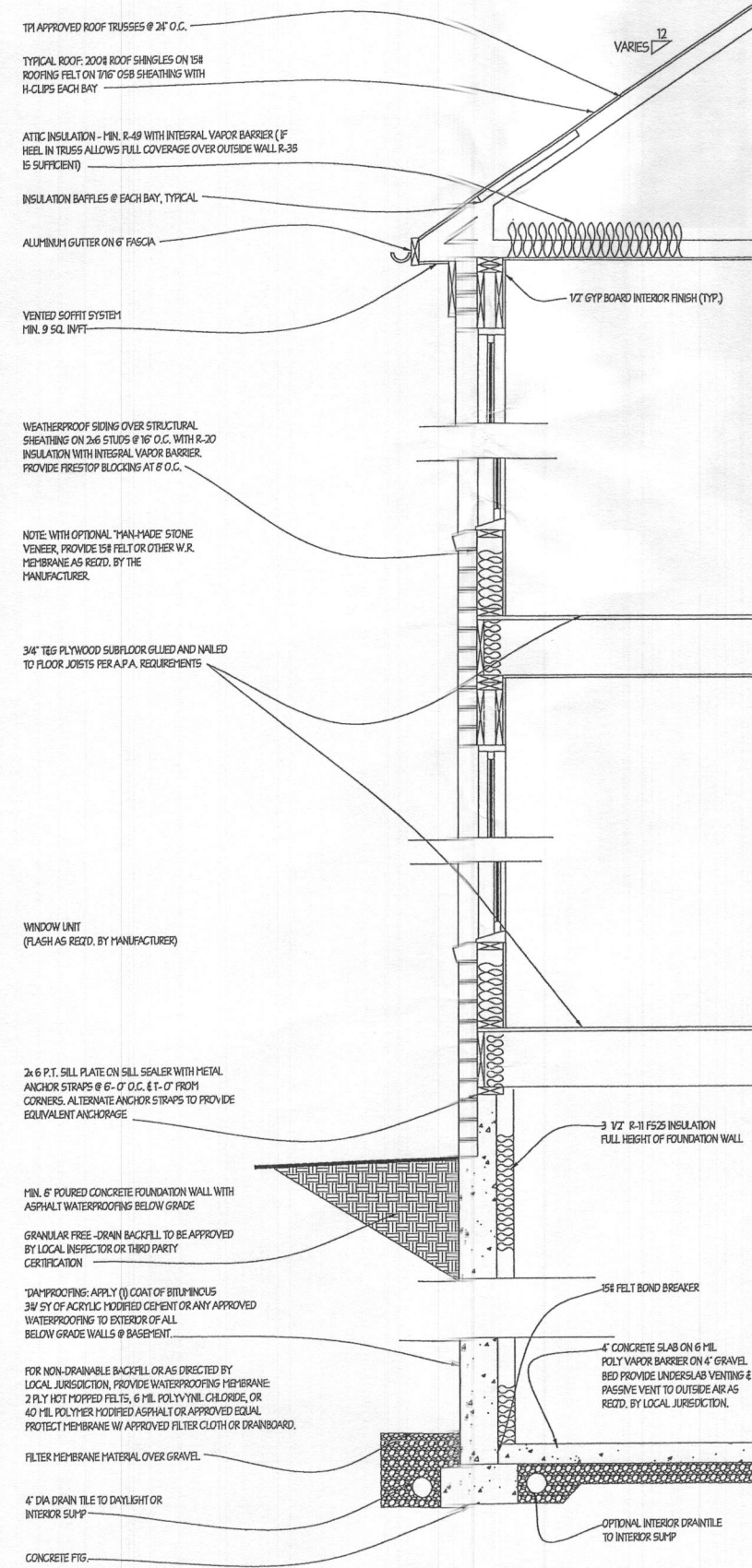
REVISED 6/21

Drawing: COVER PAGE
 Project: WILLIAMSBURG GROUP THE WELLINGTON ESTATE HOME
 Date: 10/15
 Scale:
 Drawn: TIM
 1067 WEH
 Project No.

McCann
 Estates Lot 1 West
 mcnw 01



WALL SECTION W/ SIDING
SCALE: 3/4"=1'-0"



WALL SECTION W/ BRICK VENEER
SCALE: 3/4"=1'-0"

FOUNDATION DESIGN SCHEDULES

PLAIN CONCRETE WALLS BASED ON GROUP 1 SOILS (GW, GP, SW, SP)			
WALL THICKNESS	WALL HGT	MAX. UNBALANCED FILL	
6"	6 OR 8'	7	
10"	6 OR 8'	5	

PLAIN CONCRETE WALLS BASED ON GROUP 2 OR 3 SOILS.			
WALL THICKNESS	WALL HGT	MAX. UNBALANCED FILL	
6" W/ #6@40" O.C.	6'	7	
8" W/ #6@24" O.C.	9'	7	
10" W/ #6@20" O.C.	9'	7	
12" W/ #6@15" O.C.	9'	7	
12" W/ #6@32" O.C.	9'	7	
12" W/ #6@48" O.C.	9'	8	

* MIN. 12" WALL THICKNESS W/ BRICK VENEER
NOTE: PLACE REBAR MIN. 1 1/2" FROM INSIDE WALL FACE

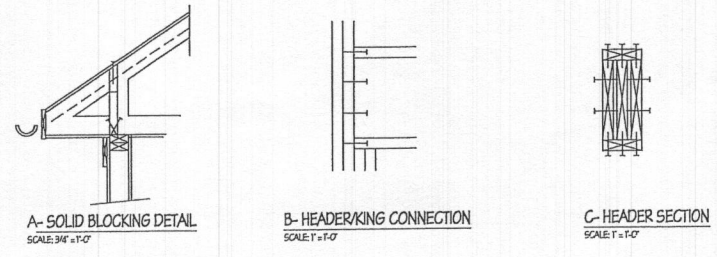
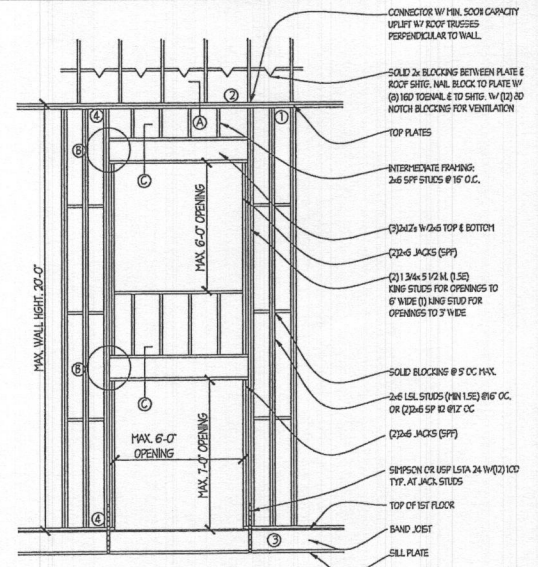
PERIMETER SPREAD FOOTINGS:
MIN. WIDTHS BASED ON SOIL BEARING CAPACITY NOTED, MIN. THICKNESS IS 8".

SUPPORTING	1500# PSF SOIL	2000# PSF SOIL
1 FLOOR AND ROOF	16"	16"
2 FLOORS AND ROOF	20"	16"
3 FLOORS AND ROOF	24"	16"
1 FLOOR AND ROOF W/ BRICK	20"	20"
2 FLOORS AND ROOF W/ BRICK	26"	20"
3 FLOORS AND ROOF W/ BRICK	32"	24"

PIER FOOTINGS AND COLUMNS:
MIN. PLAIN CONCRETE FOOTING SIZES BASED ON COLUMN DESIGN LOADS AND SOIL BEARING CAPACITY NOTED.

KEY	MAX. VERT. LOAD	MAX. COLUMN HGT.	COLUMN SIZE	1500# PSF SOIL FIG.	2000# PSF SOIL FIG.
A	13,400#	100'	3'11" dia.	36"x36"x16"	32"x32"x14"
B	17,500#	100'	3'5 1/2" dia.	42"x42"x20"	36"x36"x16"
C	21,500#	100'	4'11" dia.	48"x48"x22"	40"x40"x18"
D	32,400#	100'	5'5 1/2" dia.	56"x56"x26"	50"x50"x24"

NOTE: FIG. DEPTHS MAYBE REDUCED TO MIN. 12" THICKNESS W/ REIN. : @ 8" BARS @ 6" O.C. EACH WAY, 3" FROM BOTTOM



TYP. 2 STORY WALL CONSTRUCTION DETAIL
SCALE: 1/4"=1'-0"

DATE:	REVISION:

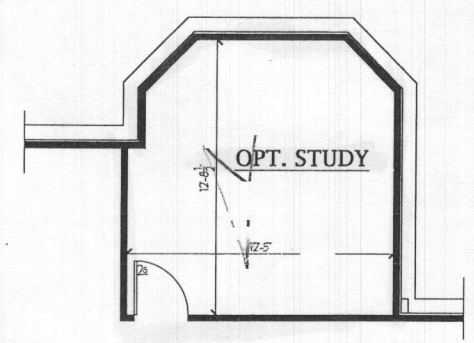
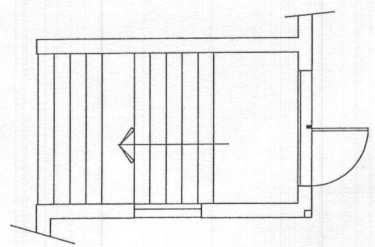
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Scale: NOTED
Drawn: TIM

Drawing: WALL SECTIONS
Project: WILLIAMSBURG GROUP
THE WELLINGTON
ESTATE HOME

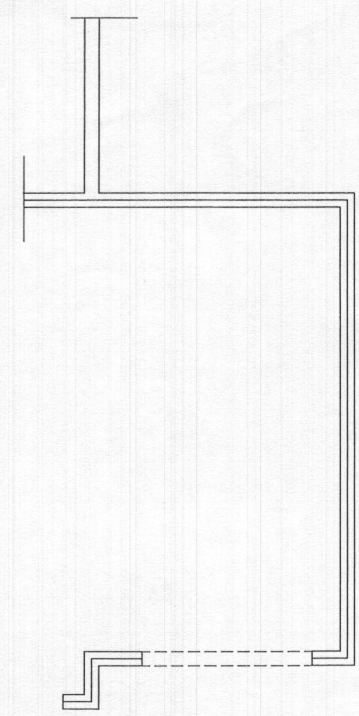
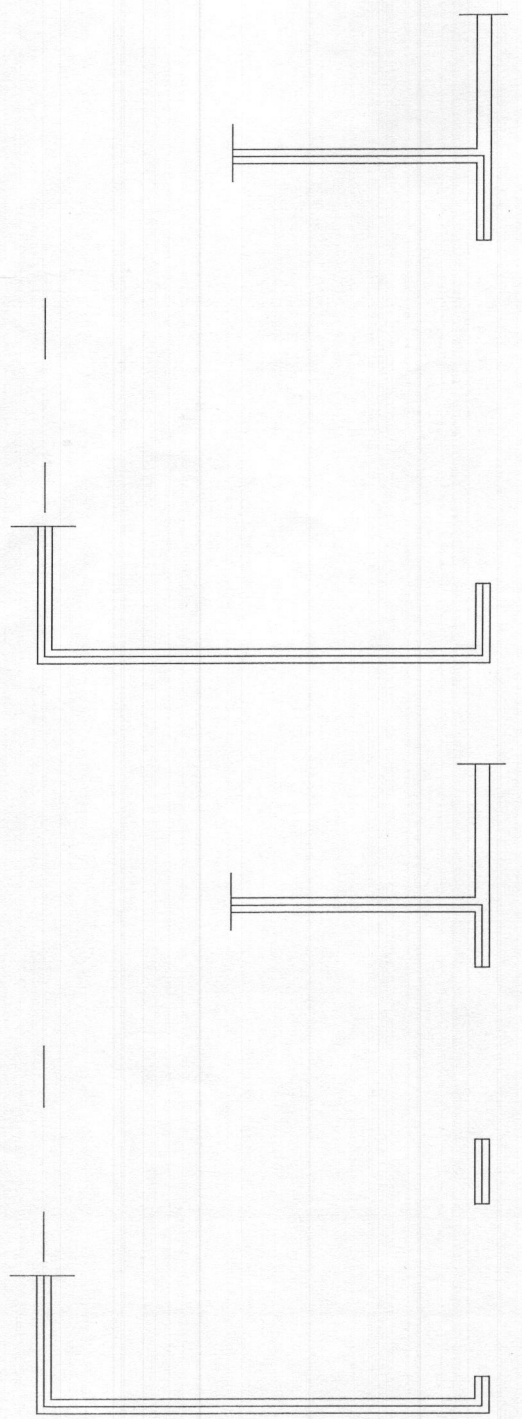
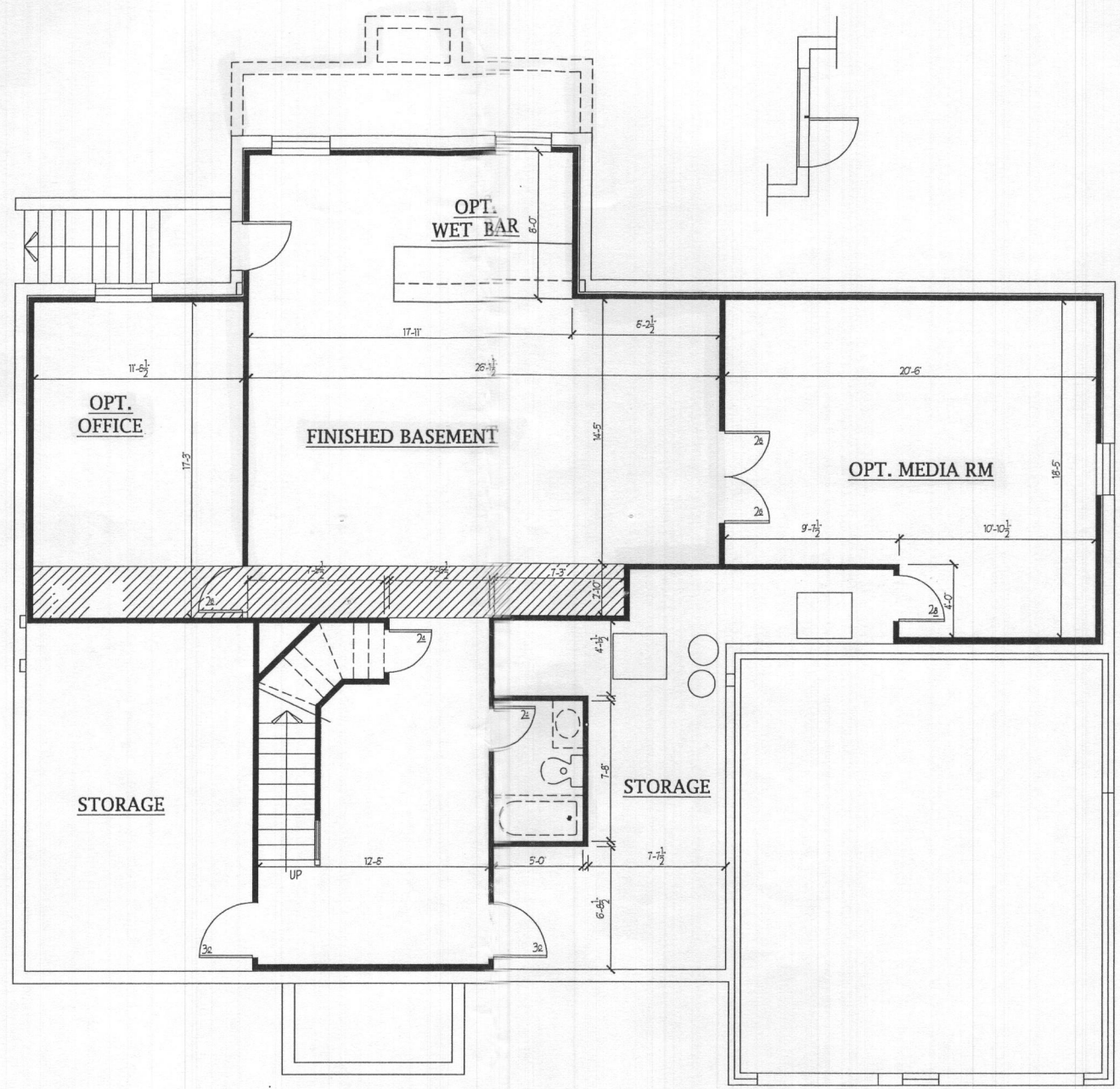
1067 WEH
Project No.

D1

2 BR



add finished area



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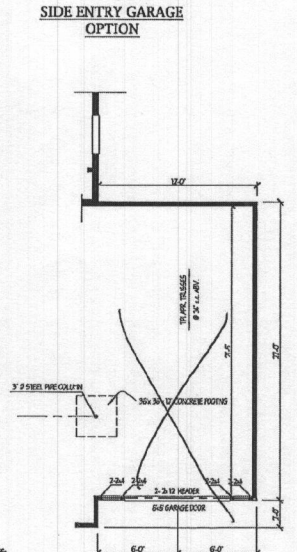
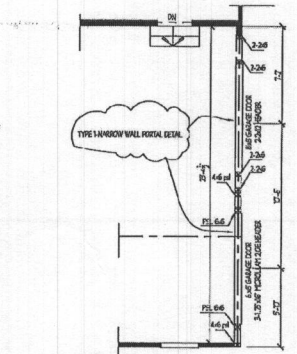
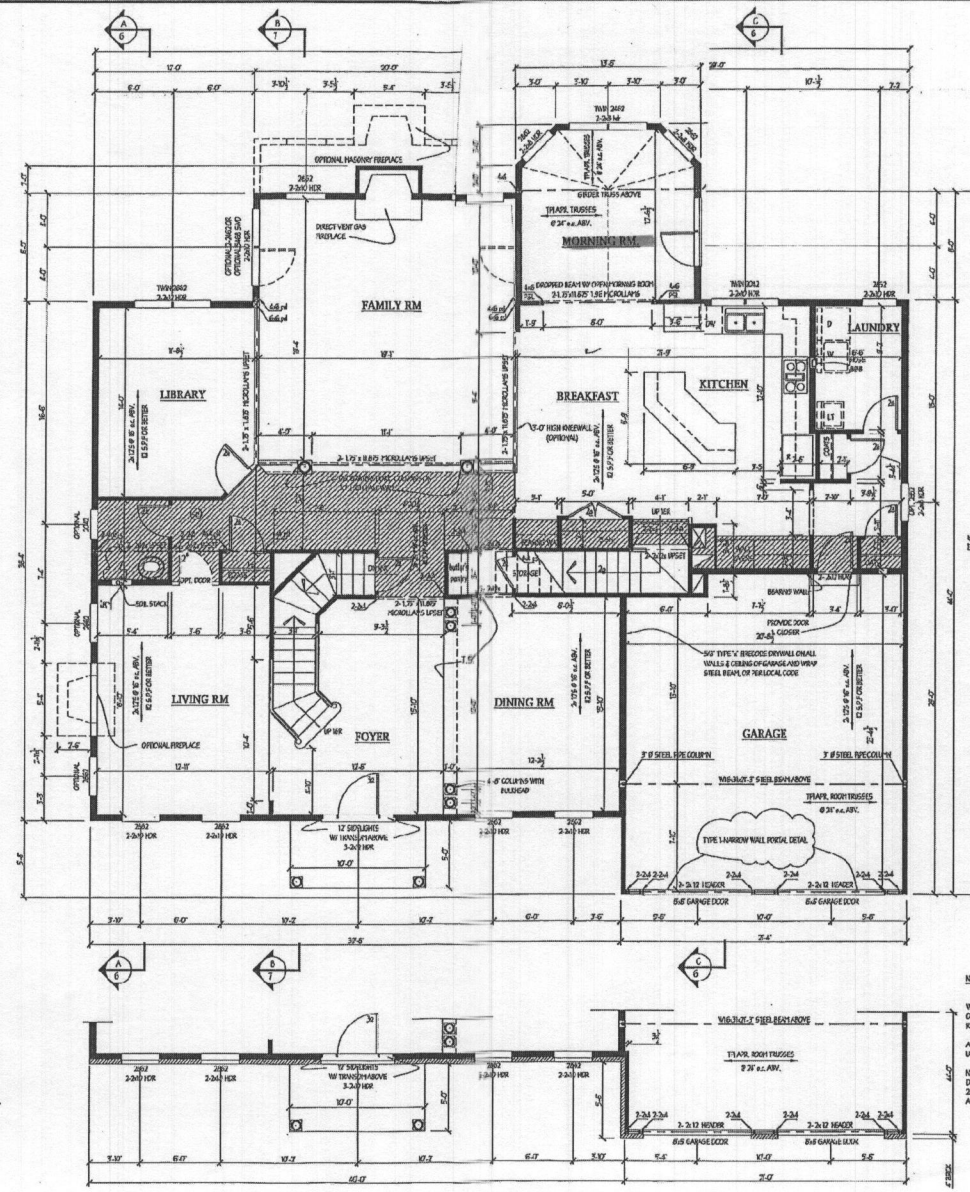
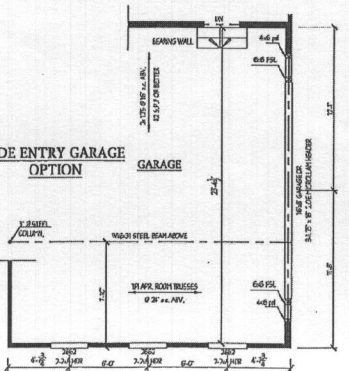
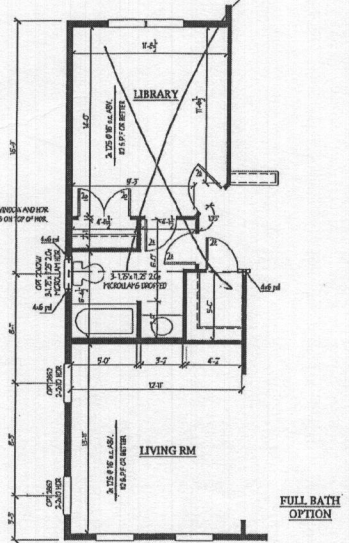
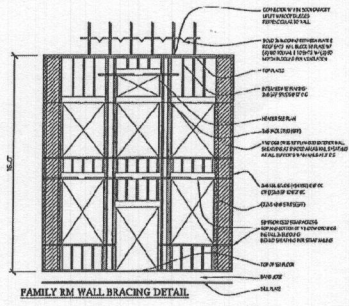
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Drawing: FINISHED BSMT PLAN
Project: WILLIAMSBURG GROUP
DORCHESTER 4
ESTATE HOME

1067.D4E
Project No.

2b

REVISED 4/21



NOTES:
 WOOD COLLARS CHECKED FOR THE BUILT UP OF 2x4 JOISTS, ANCHORED TO BRICKS & KICKERS.
 ALL EXTERIOR WALLS TO BE 3-4\"/>

ADDITIONAL FRONT ENTRY GARAGE OPTION

NOTE: SUBSTITUTION OF ENGINEERED LAMBS DESIGNED BY OTHERS IN LIEU OF CONCRETE 2x LAMBS SPECIFIED FOR FLOOR RAISING IS ACCEPTABLE.

NOTE: SEE SHEET SA, SB FOR PARTIAL PLANS ON ELEVATIONS 1A

OPTIONAL BRICK

REVISED 4/21

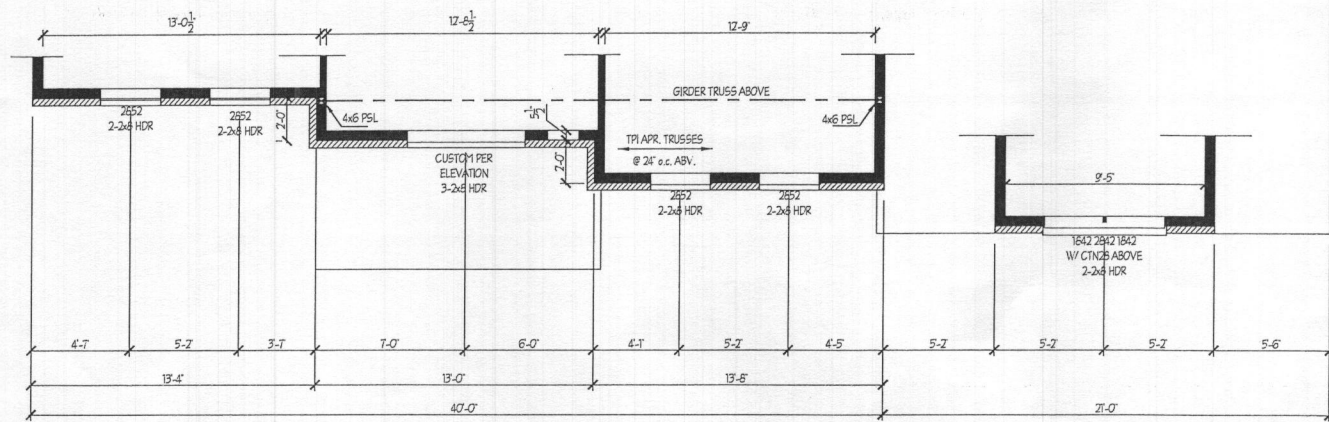
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DATE:	REVISION:
6/15	3/15
PROJECT:	DESCRIPTION:
Williamsburg Group	Change to 1st
DATE:	REVISION:
6/15	3/15
PROJECT:	DESCRIPTION:
Williamsburg Group	Change to 1st
DATE:	REVISION:
6/15	3/15
PROJECT:	DESCRIPTION:
Williamsburg Group	Change to 1st

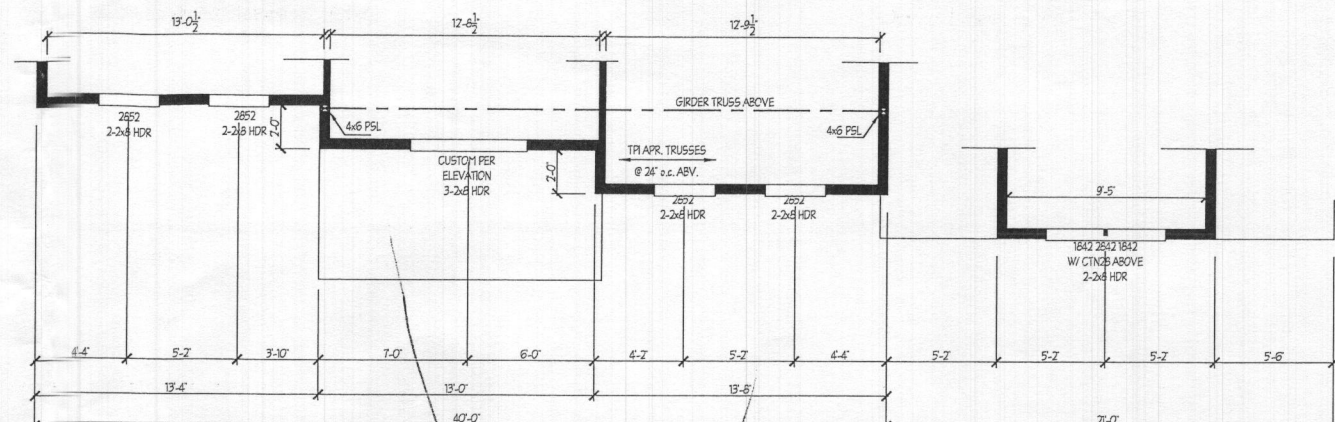
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 Project: WILLIAMSBURG GROUP
 DORCHESTER
 ESTATE HOME

1067.D4E
 Project No.

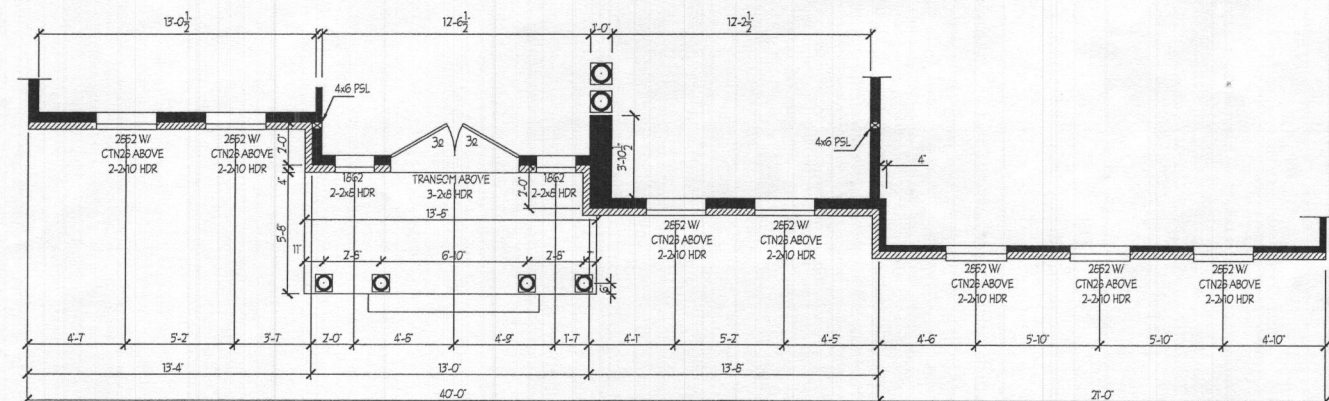
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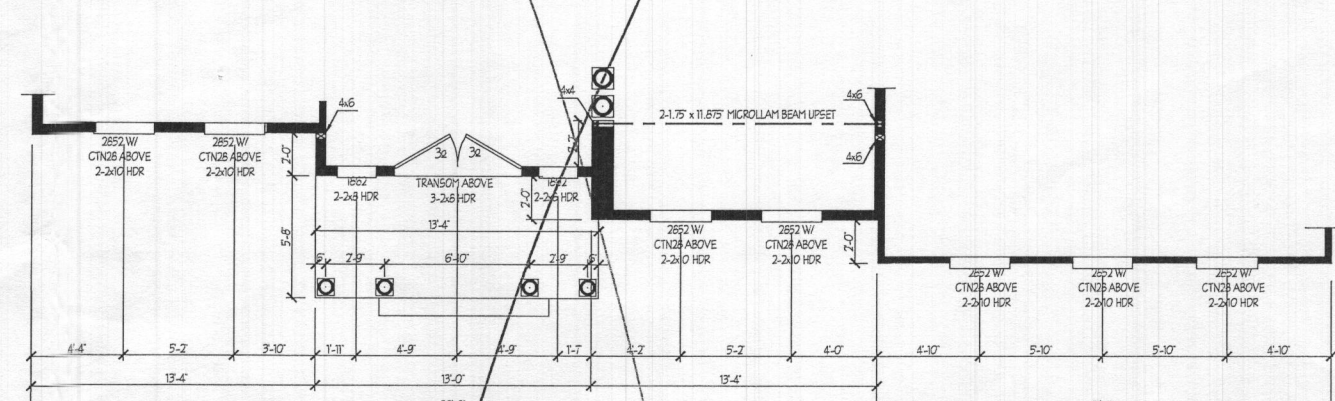
PARTIAL SECOND FLOOR PLAN
ELEVATION 4- BRICK



PARTIAL SECOND FLOOR PLAN
ELEVATION 4- SIDING

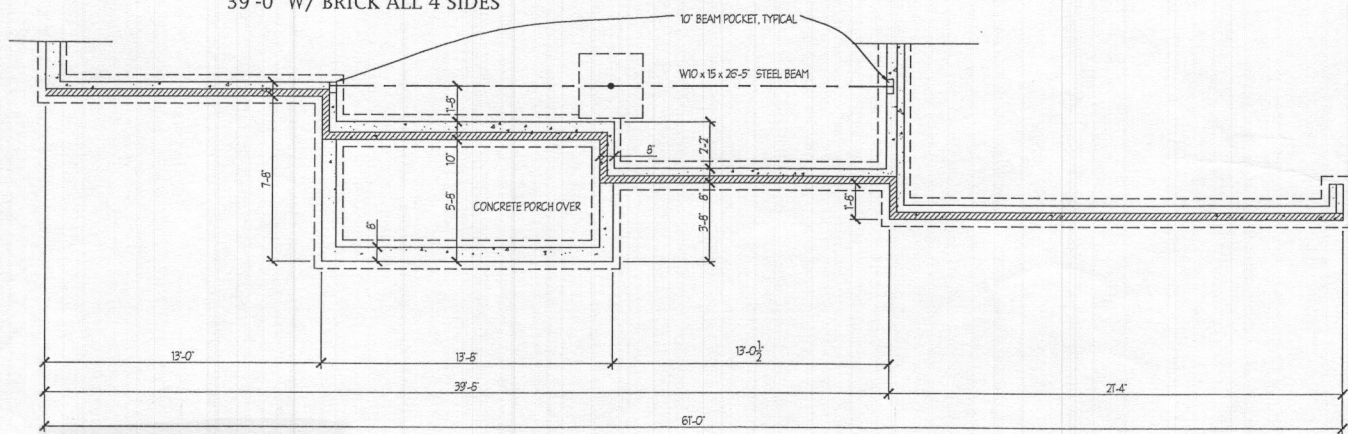


PARTIAL FIRST FLOOR PLAN
ELEVATION 4- BRICK

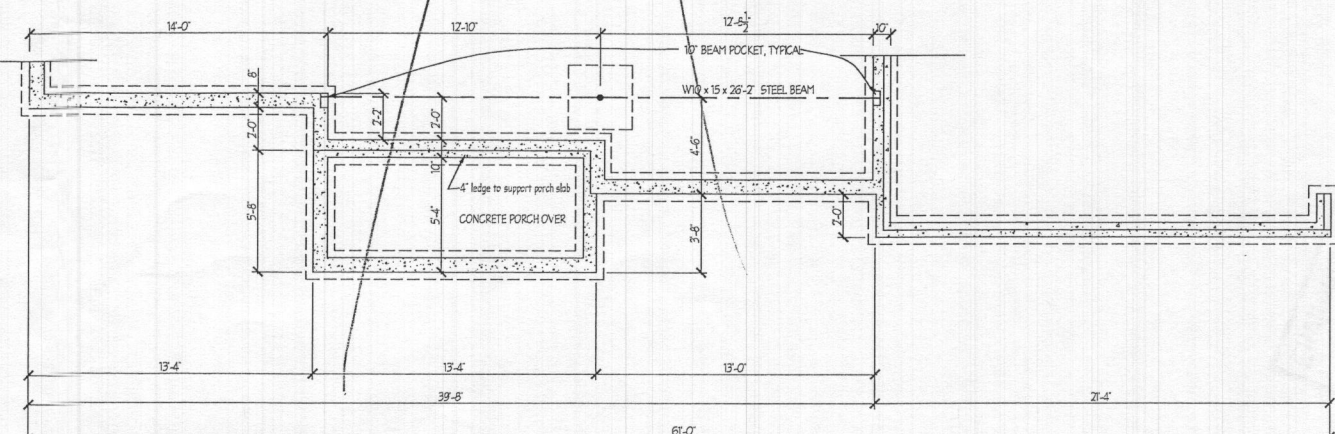


PARTIAL FIRST FLOOR PLAN
ELEVATION 4- SIDING

OVERALL DEPTH - 38'-4"
38'-8" W/ BRICK FRONT
39'-0" W/ BRICK ALL 4 SIDES



PARTIAL FOUNDATION PLAN
ELEVATION 4- BRICK



PARTIAL FOUNDATION PLAN
ELEVATION 4- SIDING

DATE	REVISION

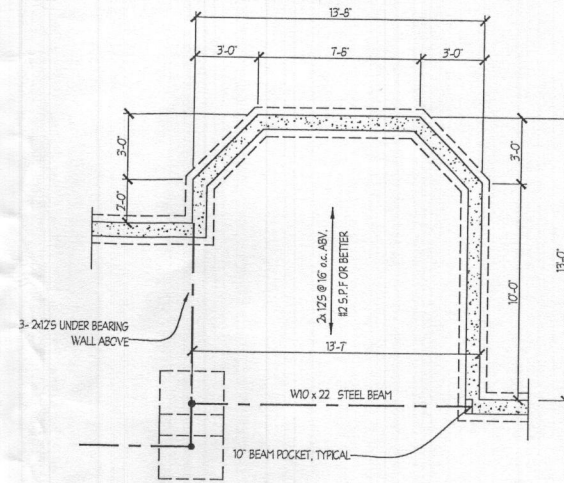
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Drawing: PARTIAL PLANS- ELEVATION 4
Project: WILLIAMSBURG GROUP
DORCHESTER 4
ESTATE HOME

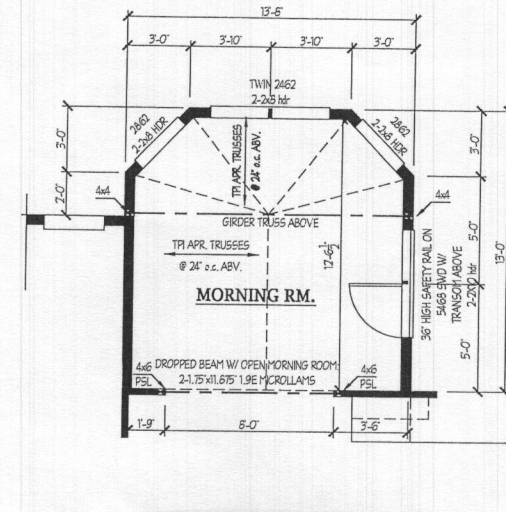
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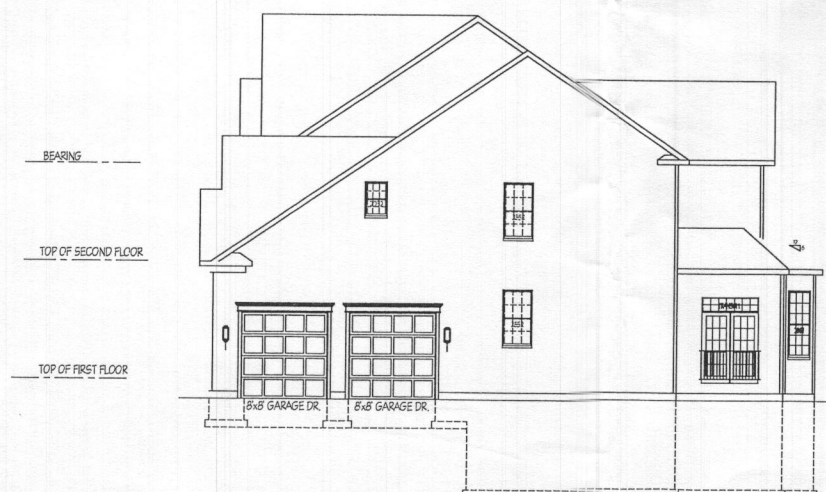
SMALL MORNING RM. FOUNDATION PLAN
 1/4" = 1'-0"



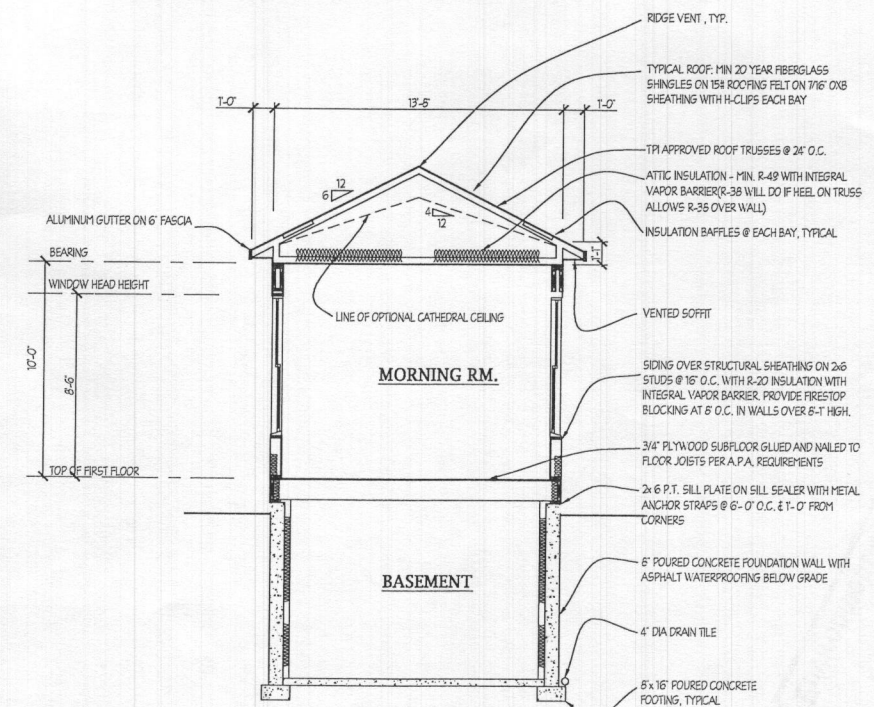
SMALL MORNING RM. PLAN
 1/4" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"
 OPTIONAL MORNING RM.



RIGHT SIDE ELEVATION 1/8" = 1'-0"
 OPTIONAL MORNING RM.



SECTION
 1/4" = 1'-0"

REVISED 7/19

DATE	REVISION

Date: 6/15
 Scale: 1/4" = 1'-0"
 Drawn: TIM

Drawing: MORNING RM PLANS & ELEVATIONS
 Project: WILLIAMSBURG GROUP
 DORCHESTER ESTATE HOME

1067 D4E
 Project No.

8c



SIDE ELEVATION 1/8" = 1'-0"
 OPTIONAL CONSERVATORY



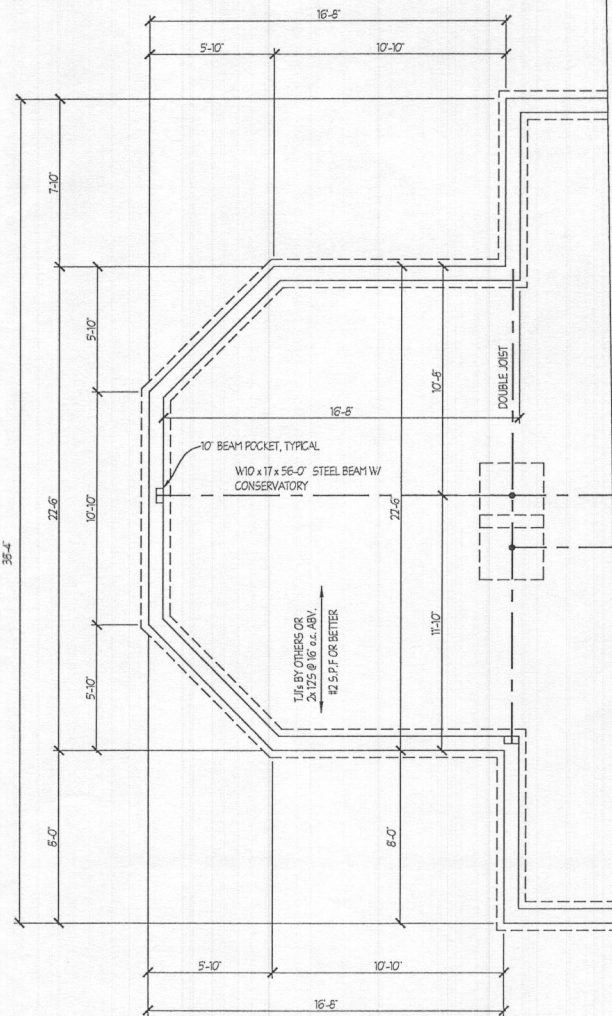
FRONT ELEVATION 1/8" = 1'-0"
 OPTIONAL CONSERVATORY



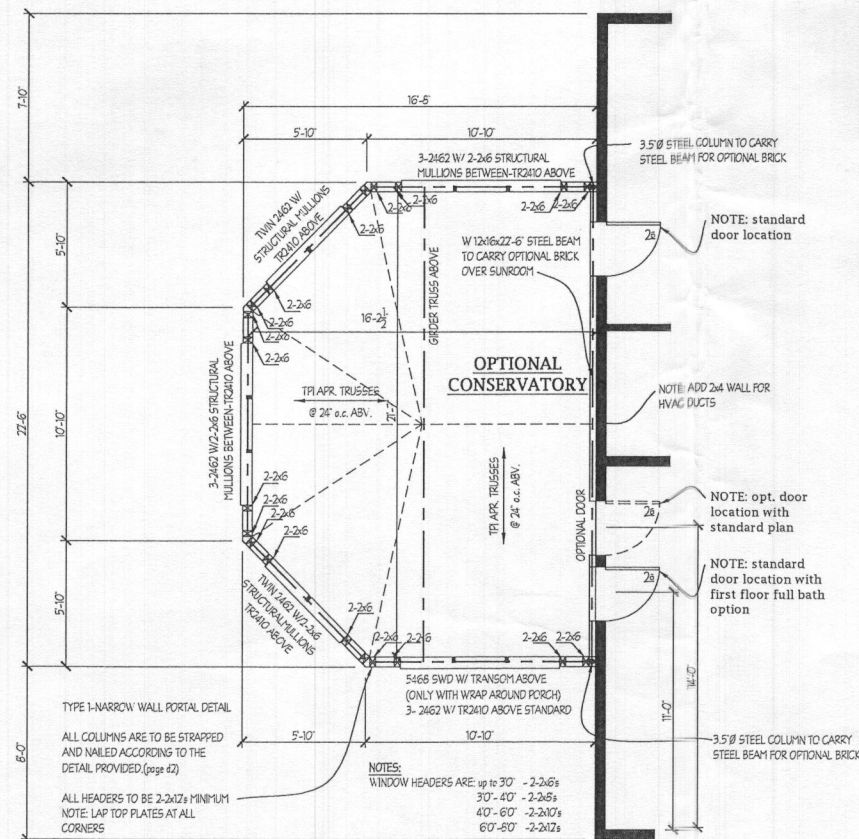
SIDE ELEVATION 1/8" = 1'-0"
 OPTIONAL CONSERVATORY-W/ BRICK



FRONT ELEVATION 1/8" = 1'-0"
 OPTIONAL CONSERVATORY-W/ BRICK

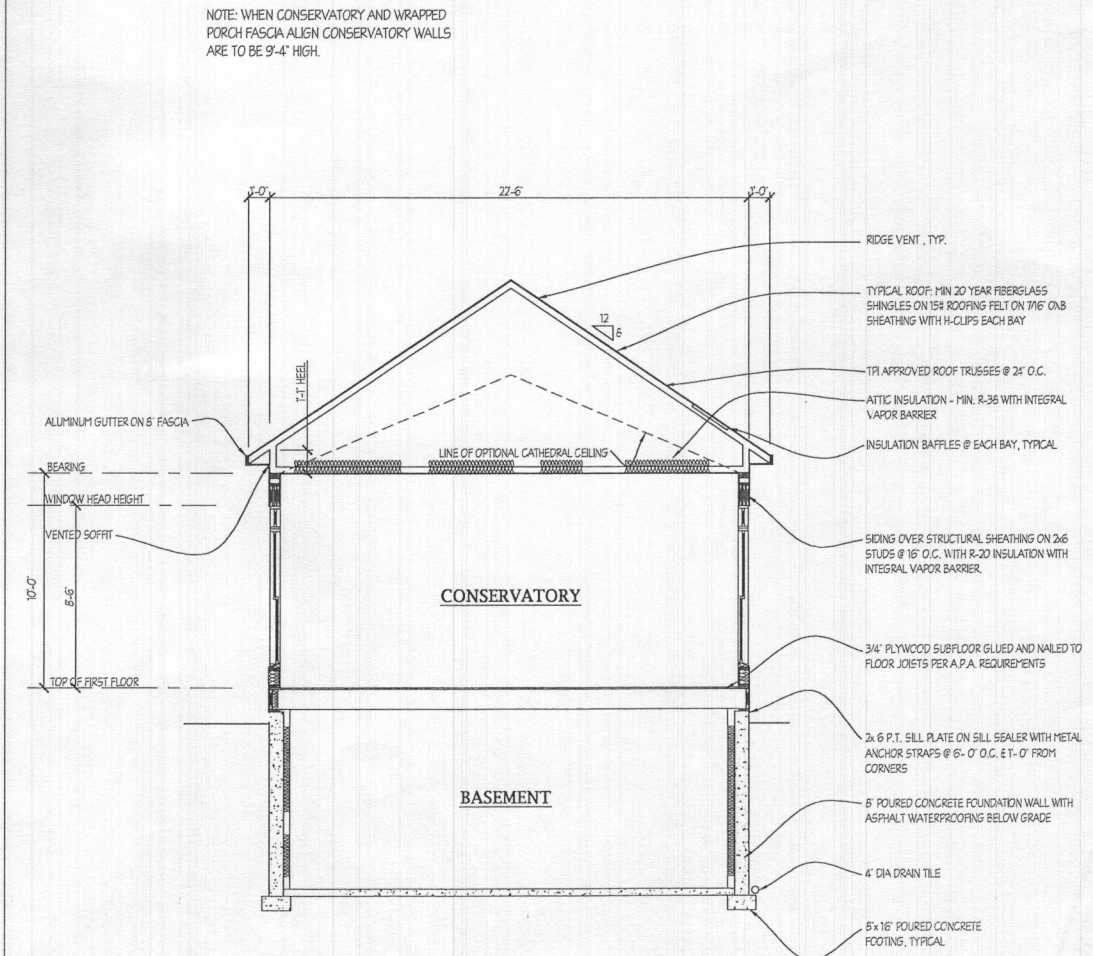


FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WOOD COLLUMNS SPECIFIED MAY BE BUILT UP OF 2x MEMBERS, FASTENED TOGETHER AS REQUIRED.
 ALL EXTERIOR WALLS TO BE 2x6 @ 16"oc UNLESS OTHERWISE NOTED
 NOTE: SUBSTITUTION OF ENGINEERED I-JOISTS DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL 2x LUMBER SPECIFIED FOR FLOOR FRAMING IS ACCEPTABLE.



SECTION
 SCALE: 1/4" = 1'-0"

REVISED 3/22

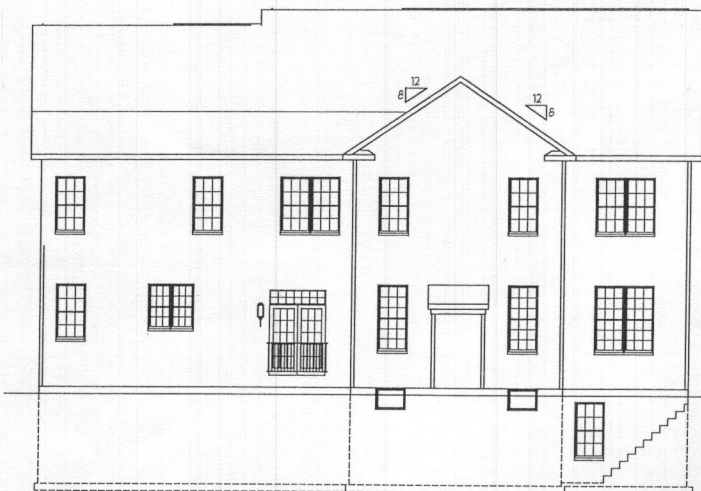
DATE	REVISION

Date: 6/15
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 Drawn: TIM

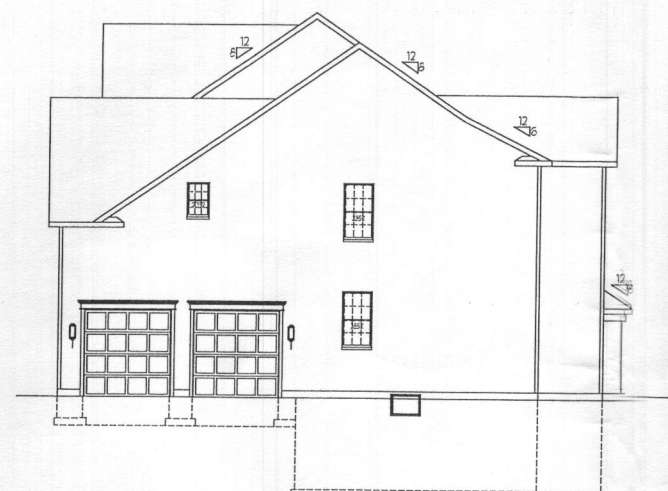
Drawing: CONSERVATORY PLANS & ELEVATIONS
 Project: WILLIAMSBURG GROUP
 DORCHESTER ESTATE HOME

1067 D4E
 Project No.

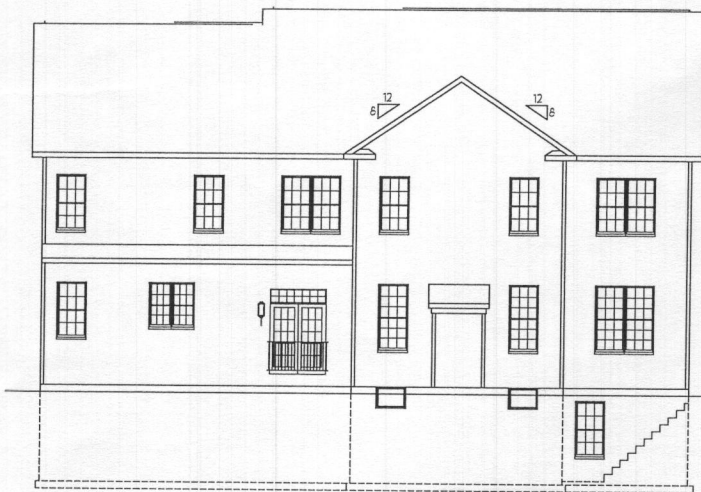
8d



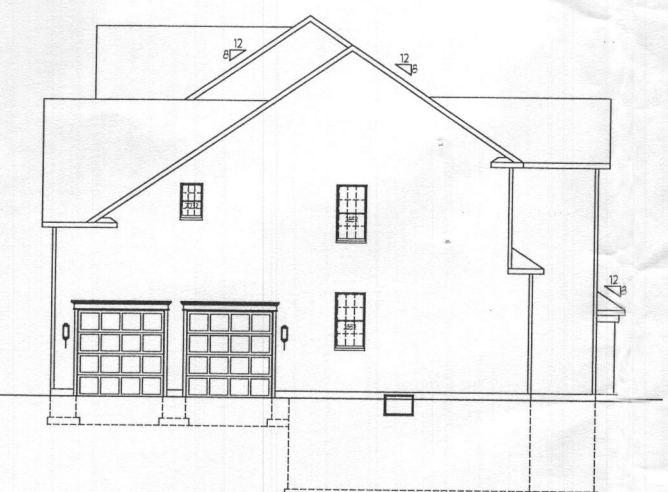
REAR ELEVATION 1/8" = 1'-0"
FULL 2' EXTENSION



RIGHT SIDE ELEVATION 1/8" = 1'-0"
FULL 2' EXTENSION



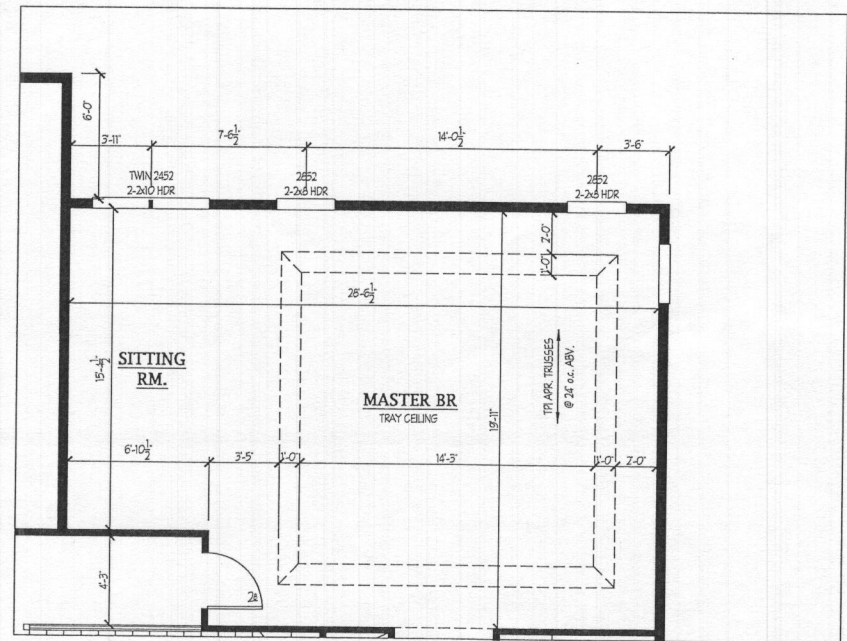
REAR ELEVATION 1/8" = 1'-0"
BSMT AND FIRST FL. EXTENSION



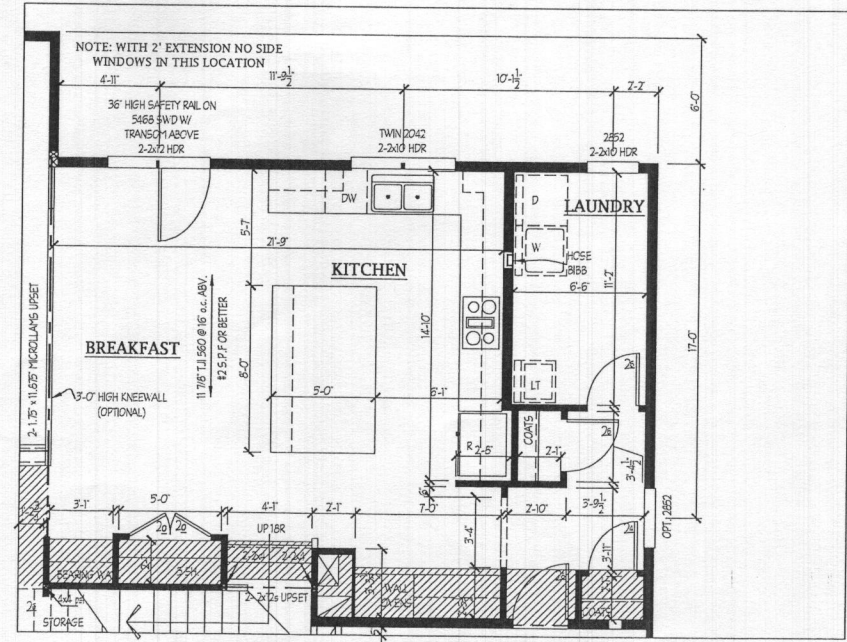
RIGHT SIDE ELEVATION 1/8" = 1'-0"
BSMT AND FIRST FL. EXTENSION



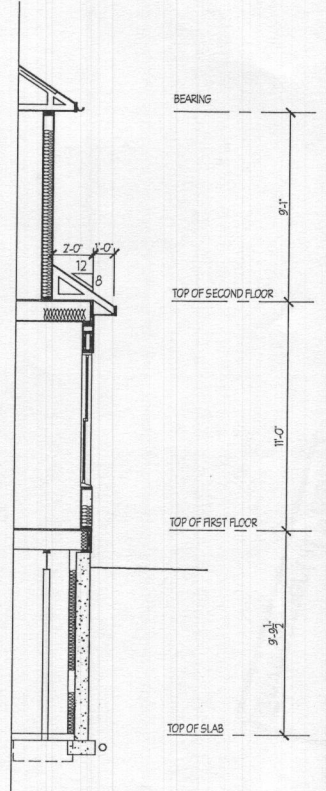
FOUNDATION PLAN 1/4" = 1'-0"
W/ 2' EXTENSION



SECOND FLOOR PLAN 1/4" = 1'-0"
W/ 2' EXTENSION



FIRST FLOOR PLAN 1/4" = 1'-0"
W/ 2' EXTENSION



SECTION

REVISED 4/21

Plymouth Road Architects
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	REVISION

Date: 2/18
Scale: NOTED
Drawn: TIM

Drawing: KITCHEN, BREAKFAST, MBRDM + 2'
Project: WILLIAMSBURG GROUP
DORCHESTER 4
ESTATE HOME

1067 D4E
Project No.

8m

