

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B22003781	10/05/2022
Description of Work		
SFD/ INSTALL (1) 1000 GALLON UNDERGROUND PROPANE TANK		

[check spelling](#)

Address (This section is required.)

Search	Reset	Clear	Get Parcel & Owner
Street #	Street Name	Street Type	
12505	WESTLAND	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-76.94825	39.15036
City	State	Zip Code	Primary
FULTON	MD	20759	Yes

Approved 10/7/22
[Signature]

Parcel (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11057438	28	3	220000	220000	0	RURAL
Legal Description						
LOT 14 3.000 A.[]12531 LIME KILN RD[]12505 WESTLAND CT						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	14	605102	4				
Plan Area	State Tax Id	Subdivision Name					
	1405599565	Westland Farm Estates					
Section	Area	Tax Map					
		45					
Grid	Zoning District	ADC Map					
45-5	RR-DEO	5051-J6					
SDP No.	Final Plan No.	WP File No.					
	ECP-15-028						
Record Plat No.	WS Contract No.	FDP No.					
23985-2398							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is required.)

Search	Reset	Clear
Name		
WESTLAND PERRY C JR		
Address Line 1		
PO BOX 143		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
FULTON	MD	20759
Phone	Primary	
410-733-9991	Yes	
E-mail		

Cell Number Fax Number

Professionals (This section is not required.)

Search Reset Clear

License #	Business Name		
60003	THOMPSON GAS		
License Type	First Name	Middle Name	Last Name
Propane Gs	J. RANDALL		THOMPSON
Primary	Address Line 1		
Yes	6708 OLD NATIONAL PIKE		
	Address Line 2		
	City	State	ZIP Code
	BOONSBORO	MD	21713
	Phone 1	Phone 2	Fax
	301-432-6611		301-432-7147
	E-mail		
	BROHRER@THOMPSONGAS.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost	Housing Units	Number of Buildings	Public Owned
1000	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee	Capital Project Number	Fee Exempt	Roadside Tree Project Permit	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed	Number of Tanks Removed		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank	
Private	Private	4/5/2023	0	

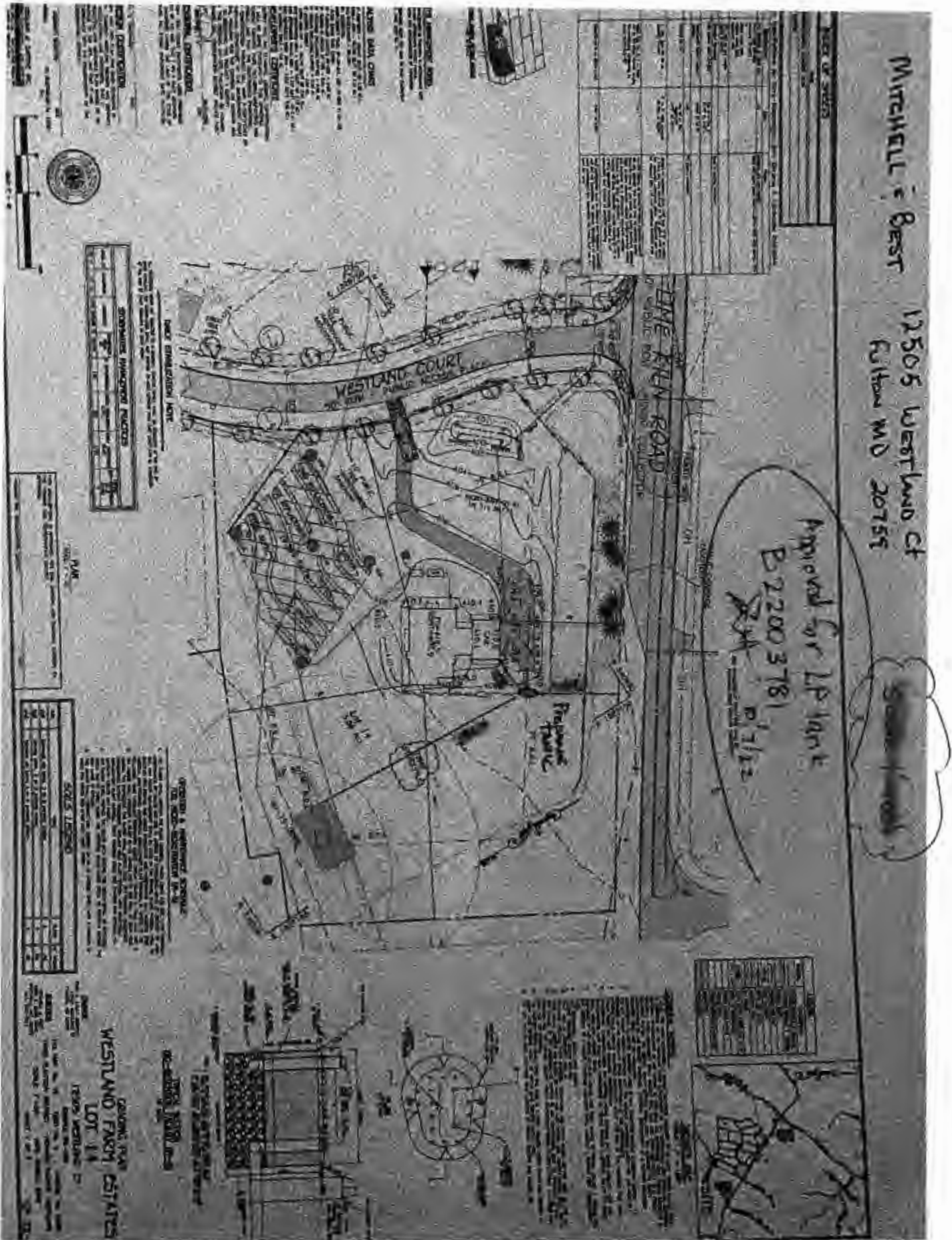
PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel

10/5/22, 7:54 PM

Mitchell & Best 12505 Westland Ct Fulton Md.jpg



PERMIT NUMBER: B 22002348

DATE ACCEPTED:

JLP 2022 JL

PM1:0

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address:	12505 Westland Ct.	Unit:	
City:	Fulton	State:	MD
Subdivision/Village/Complex Name:	Westland Farm (FARM) Estates	SDP/WP/BA #:	F-15-038
Lot:	14	Tax Map:	
Parcel:		Grading Permit #:	

DESCRIPTION OF WORK REQUIRED

Existing Use:	Empty Lot	Proposed Use:	New Single Family	Estimated Cost:	\$ 500,000
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None					
to construct A New S.F.D. w/ GARAGE, 2 STORIES, w/ ATTIC AND PARTIALLY FIN. BSMT. 4 BDRMS, 5 FULL BATHS, 1 POWER RM, 2 FPS, 11 OTHER ROOMS.					

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records):	Ryan & Kelly Bruffey	Primary Residence:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address:	11289 Terrace Lane		
City:	Fulton	State:	MD
Phone:		Email:	
Zip Code:	20759		

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name:	Maryland Bldg. Permits	Contact Name:	Anthony Bruffey Vicky Meyer
Street Address:	1602 Pinnacle Rd.		
City:	Towson	State:	MD
Phone:	443-250-3690	Zip Code:	21286
Email:	X MQuint @ Comcast.net Anthony Bruffey Mitchell Best.com		

CONTRACTOR INFORMATION REQUIRED

Business Name:	Mitchell Best Next Door LLC		
Licensee's Name:	Marc Quint	License #:	1330
Street Address:	1686 E. Ende Drive		
City:	Rockville	State:	MD
Phone:	443-691-4201	Zip Code:	20850
Email:	MQuint @ MitchellBest.com		

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Sutton Yantis Associates	Name:	Geri Yantis
Street Address:	8300 Boone Blvd.		
City:	Vienna	State:	VA
Phone:	703-734-9733	Zip Code:	22182
Email:	G.Yantis @ SYAA.com		

BUILDING CHARACTERISTICS REQUIRED

Primary Structure:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities:	<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply:	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Heating System:	<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Sewage Disposal:	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Sprinkler System:	<input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Roadside Tree Project:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Fire Alarm System:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac		

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:	Bruffey Residence								
# of Bedrooms (SF):	4	# of efficiency units (MF*):		# of 1 BR (MF*):		# of 2 BR (MF*):		# of 3 BR (MF*):	
# Rooms:	11	# Full Baths:	4	# Half Baths:	1	# Fireplaces:	2		
Garage/Carport Info:	<input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None								
Basement/Foundation Info:	<input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input checked="" type="checkbox"/> Partial								
1st Fl Width:	82'	1st Fl Depth:	62'	2nd Fl Width:	54'	2nd Fl Depth:	56'	Bsmt Width:	82'
Energy Method:	<input checked="" type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI	Gross Area:	9224	sq ft	Occupiable Area:	7701	sq ft		

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

U. Meyer, Vicky Meyer, Agent

6/13/2022

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:					
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input checked="" type="checkbox"/> CID
SUBMITTAL FEES:	\$ 57.00	PAYMENT:	Online	ACCEPTED BY:	JA

I. General Requirements

- A. The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions and approved by the Architect.
- B. Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Architect in writing, of any discrepancies before proceeding with the work or shall be responsible for some.
- C. Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- D. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/Contractor contract is, and shall be, the Contractor's responsibility.
- E. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- F. If in the event of conflict between local, state, and national codes, the more stringent shall govern.
- G. AIA General Conditions of the Contract for Construction are a part of this project.
- H. All construction is to be in compliance with the following code:
International Residential Code For One & Two Family Dwellings, 2018 Edition
(As Amended By Howard County, MD)
- I. This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with building codes and other applicable laws, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed to the Owner. The Architect assumes no responsibility for the means and methods of construction of the project, inasmuch as the Owner/Builder has full control and has assumed full responsibility.
- J. Use of these documents without written permission of the Architect is forbidden.
© Copyright 2022 Sutton Yantis Associates Architects, P.C.
- K. Any and all drawings and specifications for sitework, plumbing supply or waste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately.
- L. Contractor shall be responsible for all noise attenuation requirements.

II. Structural Specifications

A. General Requirements

- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering requirements shall be applied to insure the building's structural integrity.
- These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.
- Soil conditions shall conform to the following conditions:
Bearing capacity: Min. 2000 psf, field verify, under all footings and slab.
Water Table: Min. 2'-0" below bottom of all concrete slabs and footings.
Footings, foundations, walls and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.
- Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
- Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 pcf. If backfill pressures exceed 30 pcf then foundation walls must be designed for actual equivalent fluid pressure.
- All backfill under slabs and footings shall be clean, porous soil compacted in 8" layers to 95% density. Where distance from edge of foundation wall exceeds 16", but is less than 4'-0", provide backfill as described above or reinforce with #4 rebar @ 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.

B. Concrete

- All concrete shall attain the following 28 day compressive strengths:
—Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi
—All other slabs on grade (including garage slabs) . . . 3500 psi.
- Reinforcing steel shall conform to ASTM A-615, new billet, grade 60.
- Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
- Maximum slump 5".
- All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C260.
- Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
- All concrete work shall be in accordance with ACI 318.

C. Steel

- All structural steel specified in these documents shall conform to ASTM A-36.
- Steel pipe shall conform to ASTM A-53.
- All welds shall comply with AWS standards.
- All bolts in bolted steel connections shall conform to ASTM A-325.
- All required steel anchor bolts, anchors straps, nails, caps, joist hangers shall be constructed of code approved galvanized or stainless steel. All metal nails, hangers, straps & bolts that are in direct contact with pressure treated lumber shall be fabricated from stainless steel or other non-corrosive metal approved by the Building Official.
- All connections shall conform to AISC standards.
- Fitch Beams: Unless noted otherwise, all steel fitch beams shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 6". There shall be a bolt top and bottom 8" from each end.

II. STRUCTURAL SPECIFICATIONS (continued)

D. Wood

- All structural wood joists and headers shall be stressed graded #2 Hem Fir 19% M.C. in accordance with NDS by NFA, unless noted. All wood shall comply to the following minimum specifications:

#2 Hem Fir, 19% M.C.

F_b min: 980 psi repetitive use
850 psi single member use

E min: 1,300,000 psi

F_v min: 75 psi

F_c min: 1,250 psi

F_{c1} min: 405 psi

#2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)

F_b min: 1,005 psi repetitive use
875 psi single member use

E min: 1,400,000 psi

F_v min: 70 psi

F_c min: 1,100 psi

F_{c1} min: 425 psi

#2 Southern Pine, 19% M.C. (#2 S.Y.P.)

F_b min: 1,120 psi repetitive use
975 psi single use

E min: 1,600,000 psi

F_v min: 90 psi

F_c min: 1,450 psi

F_{c1} min: 565 psi

Note: Pressure-treated lumber shall be #2 Southern Pine KD-19 pressure pressure treated to .40 pounds per cubic foot chemical retention and shall be denoted as (P.T.)

MICRO-LAM

F_b min: 2,600 psi

E min: 1,900,000 psi

F_v min: 285 psi

F_c min: 2,310 psi

F_{c1} min: 750 psi

All Studs in bearing walls shall conform to the following minimum specifications:

Stud Grade Spruce Pine Fir 19% M.C.

F_b min: 775 psi repetitive use
675 psi single use

E min: 1,200,000 psi

F_v min: 70 psi

F_c min: 675 psi

F_{c1} min: 425 psi

- All manufactured wood trusses and truss headers shall be designed by manufacturer according to Truss Plate Institute (TPI) and other requirements specified by local building authority. Manufacturer shall submit to Architect, shop drawings and calculations sealed by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI "Building Component Safety Information (BCSI) Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses." Roof trusses and all bridging and/or lateral bracing required for structural integrity of roof truss system is to be designed by Manufacturer's drawings.
- All structural wood exposed to outside unprotected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termites and moisture.
- All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" diameter anchor bolts min. 7" into poured in place concrete and 15" into grouted cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Maximum spacing of anchors 6'-0" on center for one and two story buildings and 4'-0" on center for buildings more than two stories in height or as required per local code. Anchor straps may be used as a substitute and shall be installed per manufacturers' specifications
- All exterior wood framework supported on approved foundation walls shall be minimum 8" above finish grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other code approved structural method.
- Provide continuous double top plate at all bearing stud walls.
- Provide blocking between all joists, 2 x 12 or greater, at intervals not to exceed 8'-0".
- All structural wood posts under beams and headers over 4'-0" span shall be min. 2-2x4 unless noted otherwise.
- All bearing partitions shall be 2x4 studs at 16" o.c. or as noted.
- Provide solid blocking at 4'-0" o.c. between rim joist and first interior parallel joist.
- All framing shall be detailed and installed in accordance with AF&PA Details for Conventional Wood Frame Construction
- All ceramic tile shall be installed per Tile Council of North America as specified in the Handbook for Ceramic Tile Installation. Contractor is responsible for providing sufficient movement joints, as per Tile Council of North America specifications, for all floor tile. Movement joint locations and details are not a part of these documents.
- Plywood subfloors shall be glued and nailed to Floor Joists with APA approved elastomeric structural adhesive and 8d common nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
- All wood posts labeled continuous (cont.) shall be continuous from under side of beam to concrete or steel bearing.

II. STRUCTURAL SPECIFICATIONS (continued)

- Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be installed in accordance with manufacturers specifications and details.
- All plywood roof, floor and wall sheathing shall be APA approved.

E. Masonry

- Materials
Mortar: Type "S" ASTM C270
Hollow CMU: ASTM C-90
Face Brick: ASTM C-216
Grout Aggregated: ASTM C-404
- All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar.
- Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gage corrosion-resistant corrugated metal ties min. 7/8" wide at vertical intervals max. 16" and horizontal intervals max 16". Provide weep holes at 2'-0" o.c. @ first course above grade and first course above steel lintels.
- Provide horizontal joint reinforcement (Durowall) in all masonry walls @ 8" o.c. unless otherwise specified.
- The top course of all masonry bearing walls shall be constructed of solid masonry units or grout filled hollow units or otherwise designed to insure adequate distribution of load.
- All masonry work shall conform to the applicable requirements of BIA and NCMA.

III. Doors and Windows

- Unless otherwise noted, window sizes define intended aesthetic size and type by indicating sash opening in feet and inches (I.E., 2856 DH denotes a 2'-8" wide by 5'-6" tall sash opening double hung window). Contractor shall verify that windows and doors (including overhead doors) to be installed comply with local code standards for egress, light, and ventilation, wind/impact loads.
- All glazing installed in hazardous locations, as defined by local code, shall be safety glazing and shall be provided with a visible manufacturer's label, designating the safety standard with which it complies.

IV. Thermal and Moisture Protection

- All slabs on grade in conditioned spaces shall be insulated with min. R10 rigid insulation from top of slab downward to 24" below slab or inward 24" from exterior of slab at all slab perimeter areas.
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Damproof all exterior foundation walls enclosing basements and crawl spaces with damproofing as specified by code at exterior face of wall.
- Flashing: Code approved corrosion resistive flashing shall be provided at all locations required by code in such manner as to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings, under and at the ends of masonry wood or metal copings and sills; continuously above all projecting wood trim at wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings. All windows and doors shall be flashed in accordance with the manufacturers written instructions.
- Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer. Approved water resistant sheathing may be substituted for building paper.

V. Other

- In locations required by local code, window opening limiting devices are to be installed by window manufacturer in compliance with code section R312.2.2.
- Residential Energy Efficiency compliance is per the Prescriptive Requirements of the 2018 International Energy Conservation Code for climate zone 4A.
- Whole house ventilation system to be installed (by others).
- House to be sprinklered per local code

Symbols

	Duplex Outlet		One Way Switch
	Duplex Outlet, Weather Proof on GFI circuit		Three Way Switch
	Duplex Outlet, Floor Mounted		Four Way Switch
	Duplex Outlet, Switch Operated		Switch w/ Rheostat
	Range Outlet		Smoke Detector
	Gas Outlet		Chime
	Ceiling Mounted Incandescent		Bathroom Exhaust Fan
	Junction Box		Television Outlet
	Eyeball Light		Telephone Outlet
	Wall Washer Light (Recessed)		Medicine Cabinet
	Recessed Light		Frost Proof Hose Bib
	2 Fluorescent Light		Recessed Waterproof Light
	4 Fluorescent Light		Dedicated Circuit Outlet
	Exterior Flood Lights		Steel Angle (Lintel)
	Wall Mounted Incandescent		Structural Post
	Pull Switch Light		Recessed Light/Fan Combo

List of Abbreviations

ADJ. Adjustable	MC Medicine Cabinet
A.S.F. Above Subfloor	MFG. Manufacturing
BF. Bifold	OA. Overall
BM. Beam	O.C. On Center
B.O.J. Bottom of Joist	OPT. Optional
B.W.L. Braced Wall Line	PART. Partial
CLG. Ceiling	PLYWD. Plywood
CMU. Concrete Masonry Unit	P.T. Pressure Treated
C.O. Cased Opening	R/A. Return Air
COL. Column	R.C. Rough Cut
CONC. Concrete	REF. Refrigerator
CONT. Continuous	R/O. Range Oven
CS. Casement	SF. Square Feet
CVAC. Central Vacuum	SHWR. Shower
DBL. Double	SIM. Similar
DES. Design	S.L. Sliding Door/Window
DH. Double Hung	STD. Standard
DTL. Detail	STL. Steel
DW. Dishwasher	S&P. Shelf & Pole
FD. Floor Drain/French Door	S.V.B. Solid Valley Blocking
F.P. Fireplace	T&G. Tongue & Groove
FTG. Footing	T.B.D. To Be Determined
GFI. Ground Fault Circuit Interrupter	T.O.S. Top of Slab
GPWD. Gypsum Drywall	T.O.W. Top of Wall
HD,HGHT. Window Head Height	TR. Trim
HDR. Header	TRP. Typical
HFL. Heat/Fan/Light	V.I.F. Verify in Field
HWH. Hot Water Heater	WD. Wood
INSUL. Insulation	W/O. Wall Oven
L.I.F. Locate In Field	W.W.M. Welded Wire Mesh
LT. Laundry Tub	

Area Calculations

Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces.

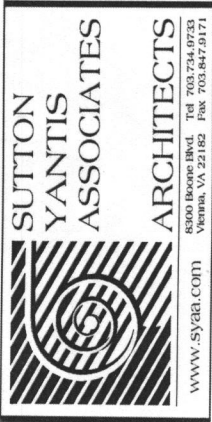
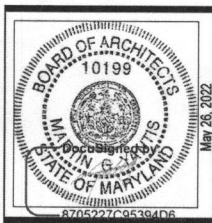
BASEMENT (FINISHED):	2,029 SF
BASEMENT (UNFINISHED):	681 SF
LOWER FLOOR :	2,667 SF
UPPER FLOOR :	2,170 SF
ATTIC FLOOR :	835 SF
GARAGE (UNCONDITIONED):	713 SF
PORCH (UNCONDITIONED):	129 SF

List of Drawings

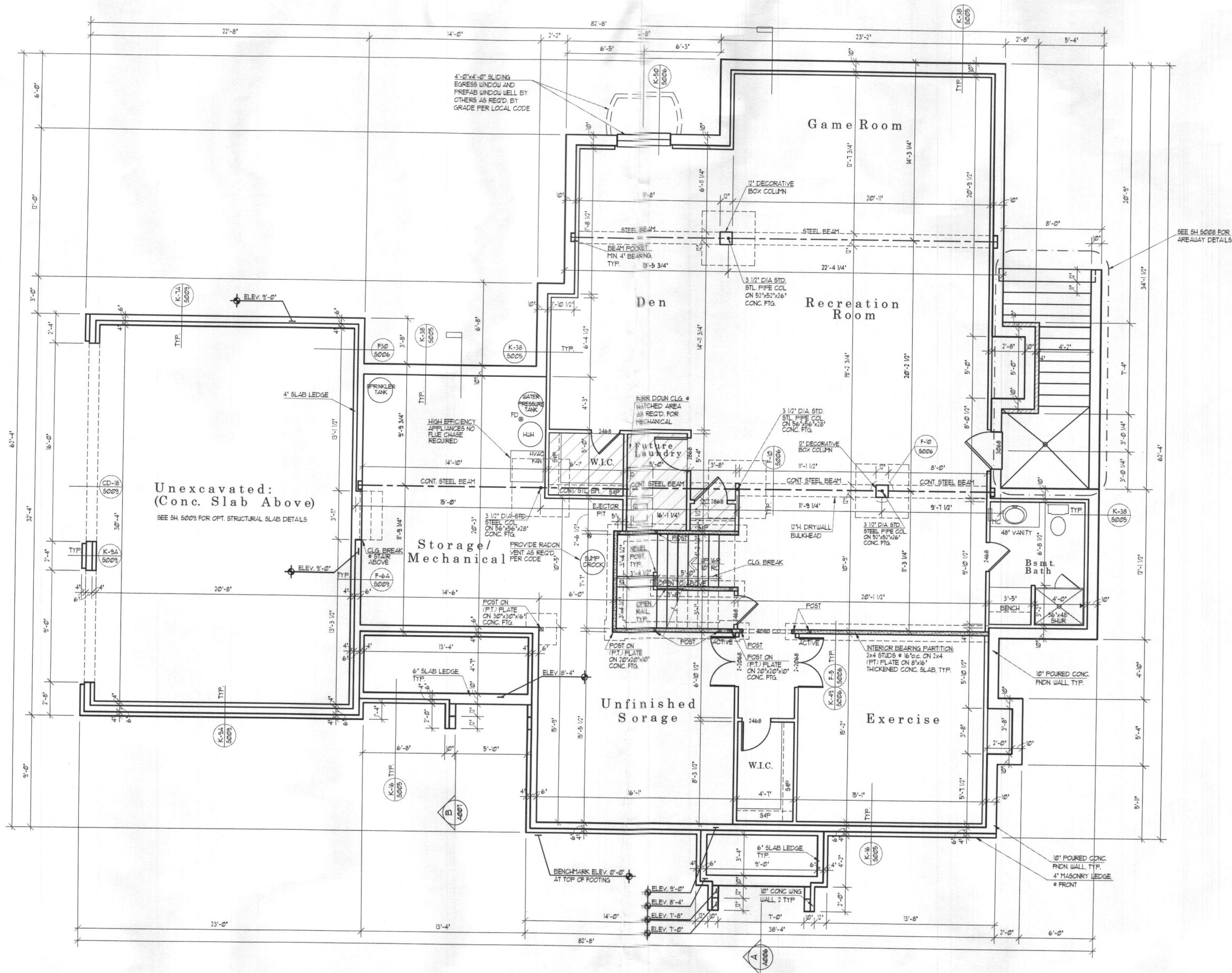
000 General Notes & Specifications	S001 Lower Floor Framing Plan
A001 Foundation/Basement Plan	S002 Upper Floor Framing Plan
A002 Lower Floor Plan	S003 Attic Framing Plan
A003 Upper Floor Plan	S004 Roof Framing Plan
A004 Attic Plan	S005 Foundation Details
A005 Roof Plan	S006 Foundation Details
A006 Building Section "A"	S007 Truss Joist Details
A007 Building Section "B"	S008 Areaway Details
A008 Front Elevation	S009 Structural Slab Details
A009 Rear Elevation	E001 Basement Electrical Plan
A010 Side Elevations	E002 Lower Floor Electrical Plan
	E003 Upper Floor Electrical Plan
	E004 Attic Floor Electrical Plan

Date	05/03/22	PROJECT SET
	AC 5/16/22 ET	
	PS 5/26/22 CH	

Project Number: 2009-000
BRUFFEY RESIDENCE-MODIFIED HAWTHORNE
12505 WESTLAND CT - FULTON, MD 20759
MITCHELL BEST NEXT DOOR, L.L.C.



Sheet Number
000



FOUNDATION/BASEMENT PLAN

UNLESS OTHERWISE NOTED WINDOW ROUGH OPENING HEIGHT TO BE 8'-0" AT O.S.
UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3 1/2"

1/4" = 1'-0"

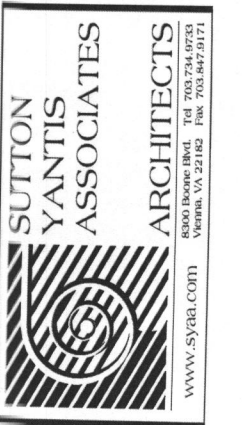
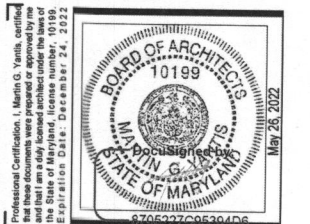
Date	05/03/22
PROGRESS SET	P.5, 5/16/22 CH

Project Number: 2008-A001

BRUFFEY RESIDENCE-MODIFIED HAWTHORNE

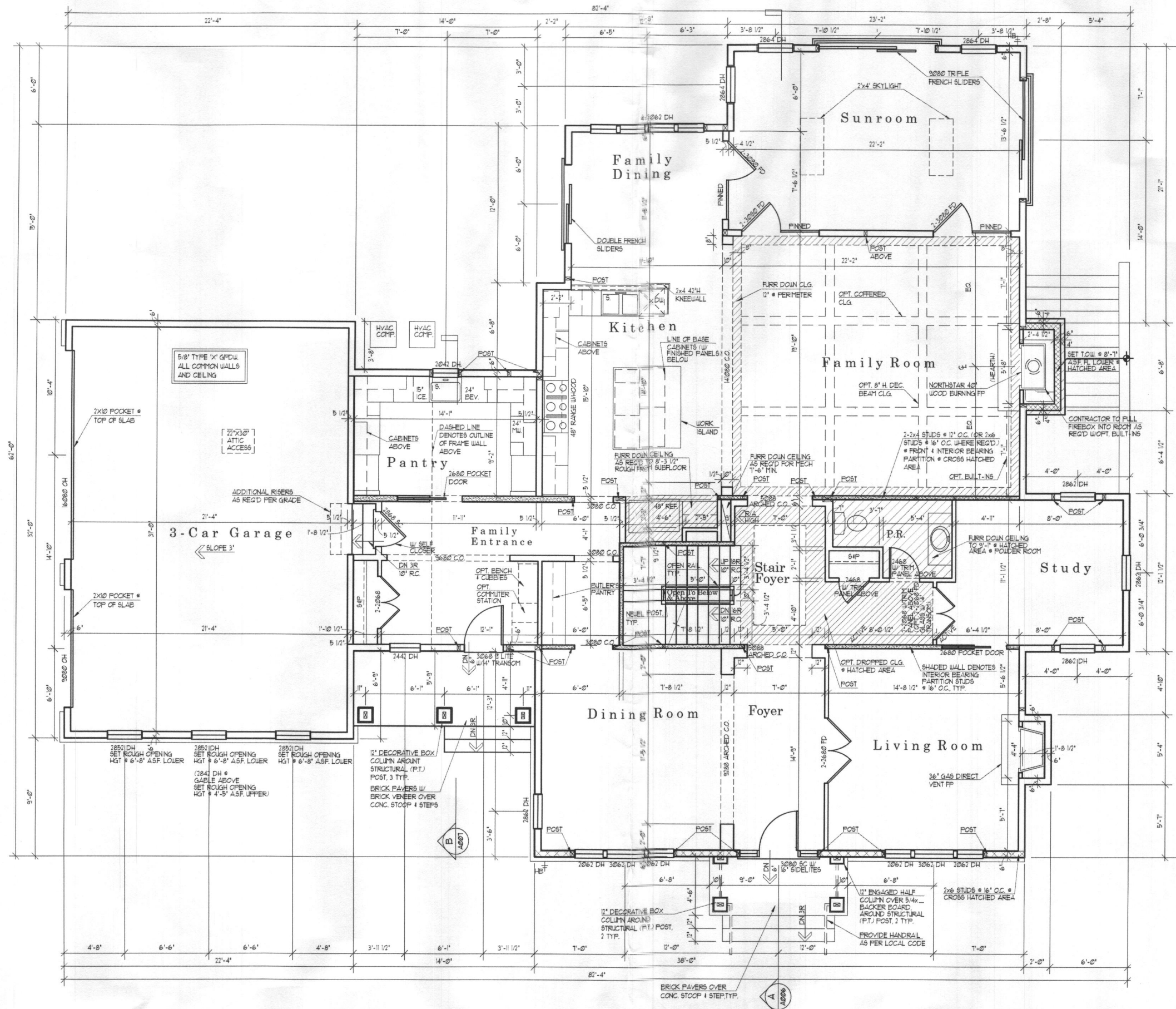
12505 WESTLAND CT - FULTON, MD 20759

MITCHELL BEST NEXT DOOR, L.L.C.



Sheet Number

A001

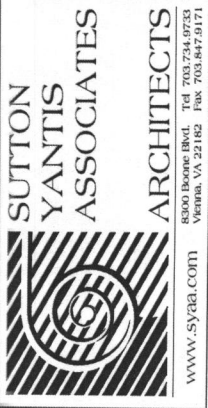


LOWER FLOOR PLAN

UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3 1/2"
UNLESS OTHERWISE NOTED WINDOW ROUGH OPENING HEIGHT TO BE 8'-3" A.T.O.S.
UNLESS OTHERWISE NOTED PROVIDE 2"x6" POSTS BETWEEN ALL MULTIPLE WINDOWS

1/4" = 1'-0"

Professional Certification: I. Martin G. Vanni, architect
and these documents were prepared or approved by me
on or after January 1, 2019, and I am duly licensed
in the State of Maryland, license number: 10199
Expiration Date: December 24, 2022



SUTTON
YANTIS
ASSOCIATES
ARCHITECTS
8500 Dunes Blvd., 1st Fl. #201, #202
Vienna, VA 22182 Tel: 703.847.0171
Fax: 703.847.0171
www.sya.com

Sheet Number
A002

Project Number: 22006-A002

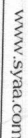
BRUFFEY RESIDENCE-MODIFIED HAWTHORNE
12505 WESTLAND CT - FULTON, MD 20759
MITCHELL BEST NEXT DOOR, L.L.C.

Date

05/03/22 PROGRESS SET
AC 5/16/22 BY
PS 5/16/22 CH

$$1/4 = 1 - 0$$


A003



**SUTTON
YANTIS
ASSOCIATES**

ARCHITECTS

8300 Boone Blvd., Tel. 703.734.0733
Ferry, VA 22182 Fax 703.847.9177



Professional Certification. I, Martin G. Yanis, certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number, 101989.
Expiration Date: December 24, 2022

Project Number: **2008-A003**

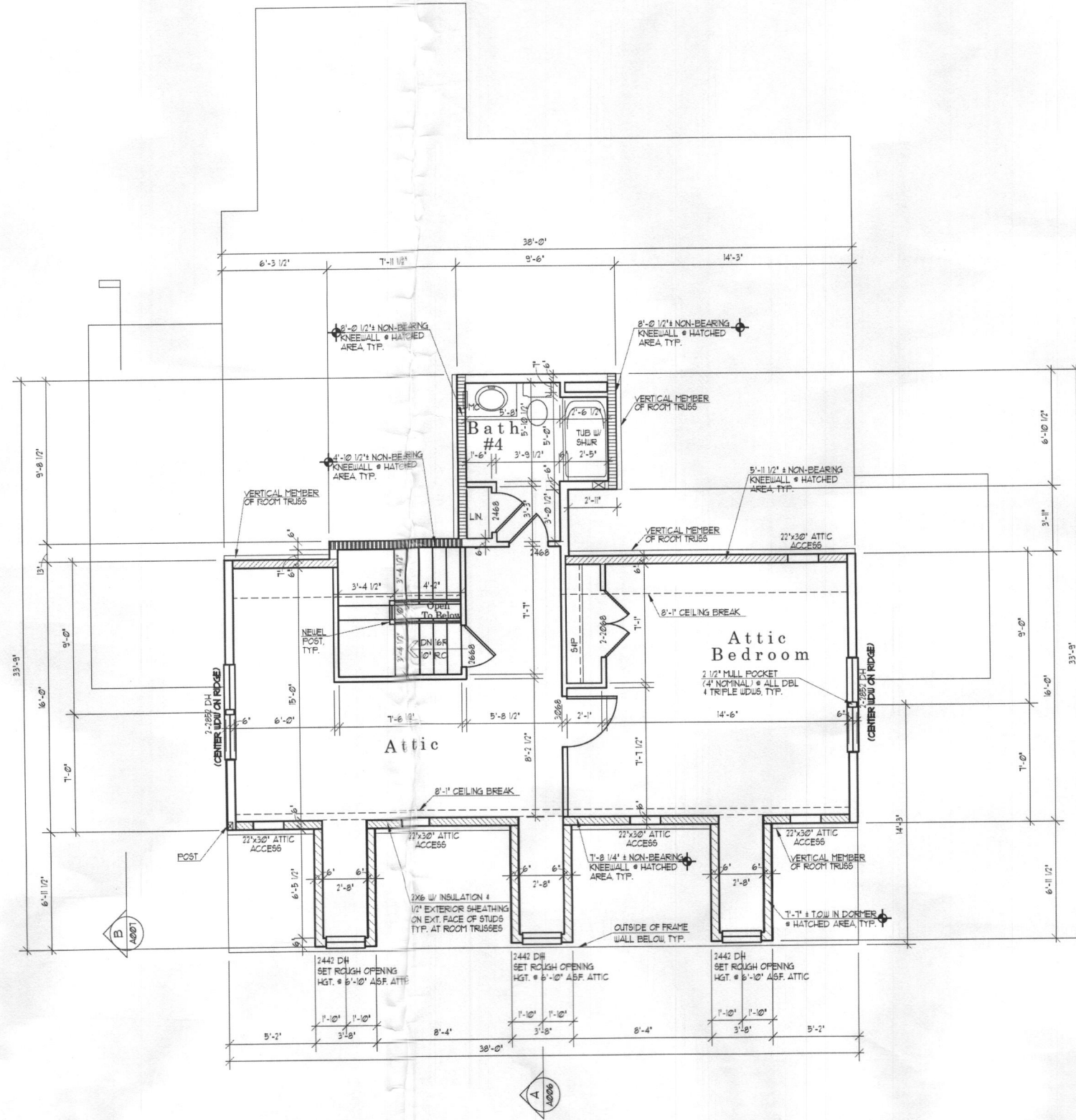
BRUFFEY RESIDENCE-MODIFIED HAWTHORNE
12505 WESTLAND CT - FULTON, MD 20759
MITCHELL BEST NEXT DOOR, L.L.C.

Date			
05/03/21	PROGRESSE GET		
13/06/22	CH		

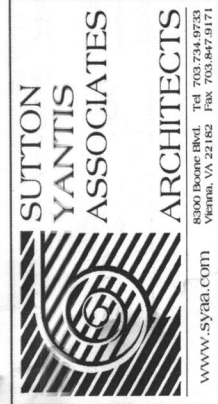
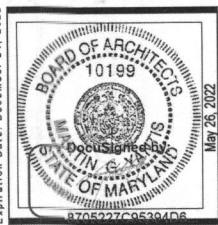
ATTIC FLOOR PLAN

UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3 1/2"
UNLESS OTHERWISE NOTED WINDOW ROUGH OPENING HEIGHT TO BE 7'-4" A.S.F.
UNLESS OTHERWISE NOTED PROVIDE 2-2x6 POSTS BETWEEN ALL MULTIPLE WINDOWS

1/4" = 1'-0"



Professional Certification: I, Martin G. Yantis, certify that I am a duly licensed architect under the laws of the State of Maryland, and that I am a duly licensed architect under the laws of the State of Maryland, and that I am a duly licensed architect under the laws of the State of Maryland.



Sheet Number
A004

Project Number: **2000-A004**
BRUFFEY RESIDENCE-MODIFIED HAWTHORNE
12505 WESTLAND CT - FULTON, MD 20759
MITCHELL BEST NEXT DOOR, L.L.C.

Date	
05/03/22	PROGRESS SET
AC 5/6/22	EM
F5 5/6/22	CH

[illegible]

LOT 14

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2955

TAX MAP No. 45 GRID No. 5 PARCEL No. 0028

THIRD ELECTION DISTRICT

DATE: JUNE 7, 2022