

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

APR 12 2023

Date: 4-12-23

To: ~~Mike Blavins~~ Permits ~~Plan Review~~ Front Counter LICENSES & PERMITS  
DIVISION

(Reviewer/Requestor's Name) (Division)

From: Ryan Mcwhorter 4109845813

(Your Name, Company Name) (Phone Number)

Subject: Project name Pickett Addition

Project site address 5421 Trotter Rd, Clarksville MD 21029

Permit # B23001161 SDP # \_\_\_\_\_

Other information pertinent to this project \_\_\_\_\_

✓ Please check the attachments below that you are submitting with this transmittal:

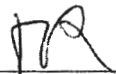
- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of building plans (be specific).
  - Health Department Request
  - DPZ/ DED Request
  - Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model Name/ # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Ryan McWhorter Telephone No: (741) 098-4581

Please Print Name E-Mail Address: ryan@mcwhorterconstruction.net

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

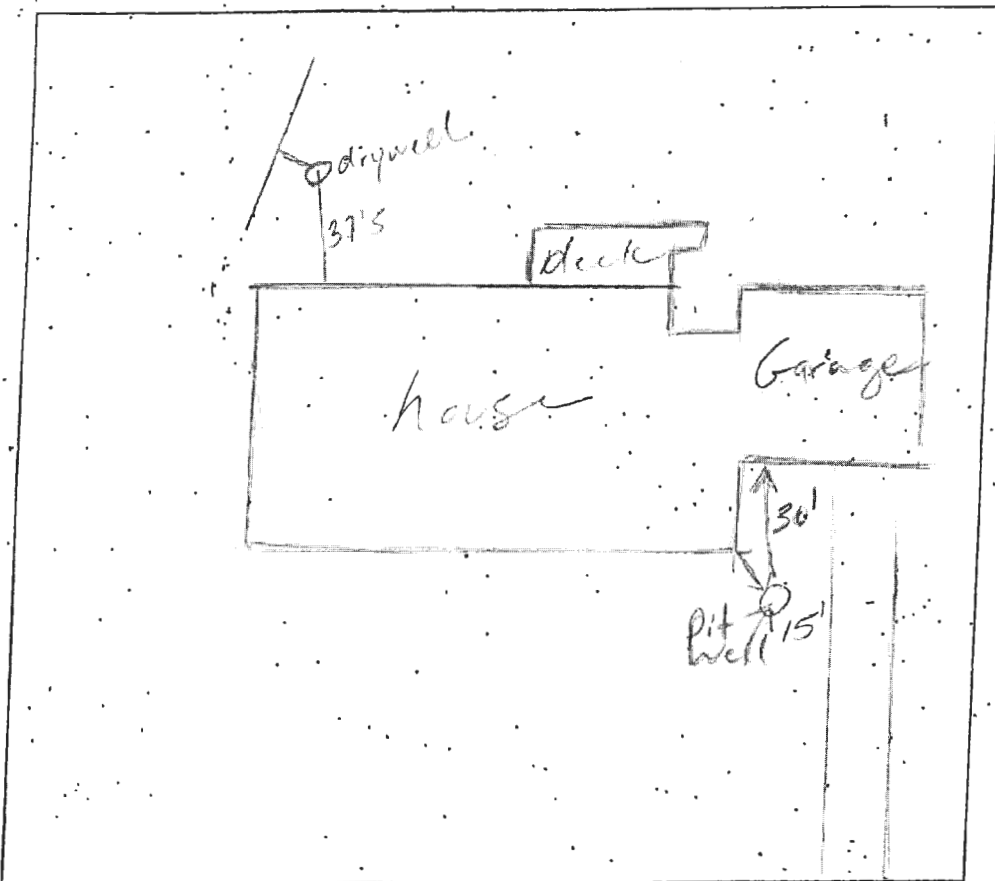
Received by 

Online Permit  
approved  
Jaw  
4/11/23

SITE INSPECTION SHEET

OWNER: Jessie Lindsay Proctor PHONE #: \_\_\_\_\_  
ADDRESS: 5421 Totten Rd CONTRACTOR: \_\_\_\_\_  
Clarksville MD WELL TAG #: No tag  
SUBDIVISION: Crossed Manor LOT: 17 COUNTY #: Howard  
PROPOSAL: Screen addition on the back of the house

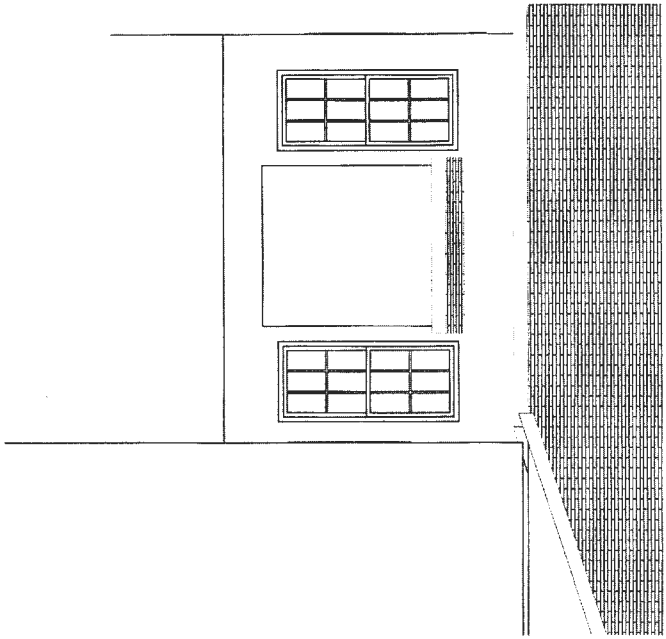
LOCATION DIAGRAM



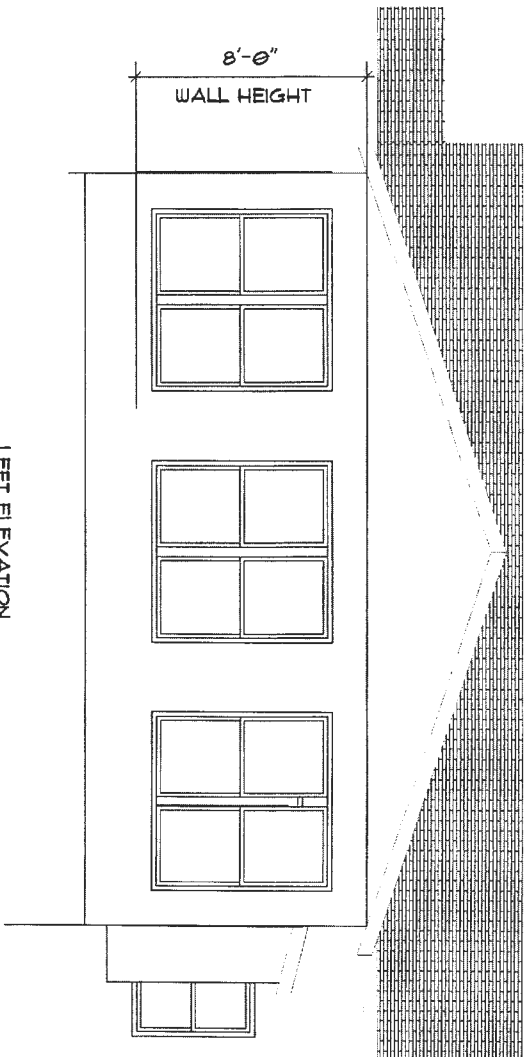
COMMENTS: No signs of hydraulic failure, drywell lid is okay. No cleanout for the septic tank observed.  
Septic repair area available on the property, may require clearing of trees

DATE: 3/9/23 INSPECTOR: Melanie Estabrook

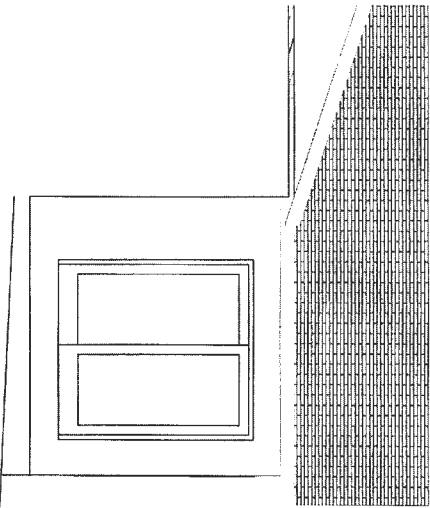
RIGHT ELEVATION



REAR ELEVATION




LEFT ELEVATION



5121 POTTER RD

A DESIGN BY



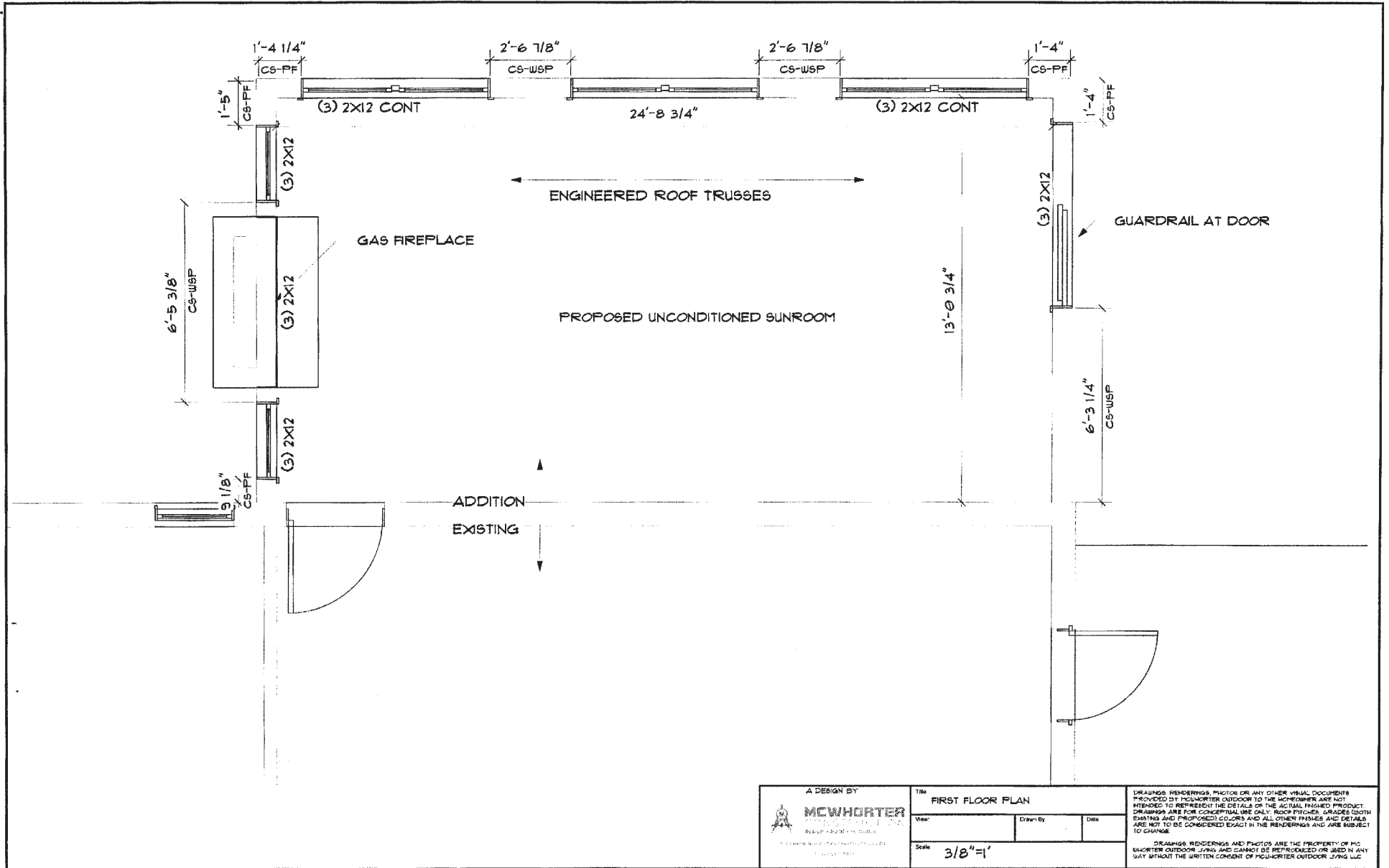
**McMURRY**  
ARCHITECTURE


The ELEVATIONS			
View	Drawn by	Case	Scale

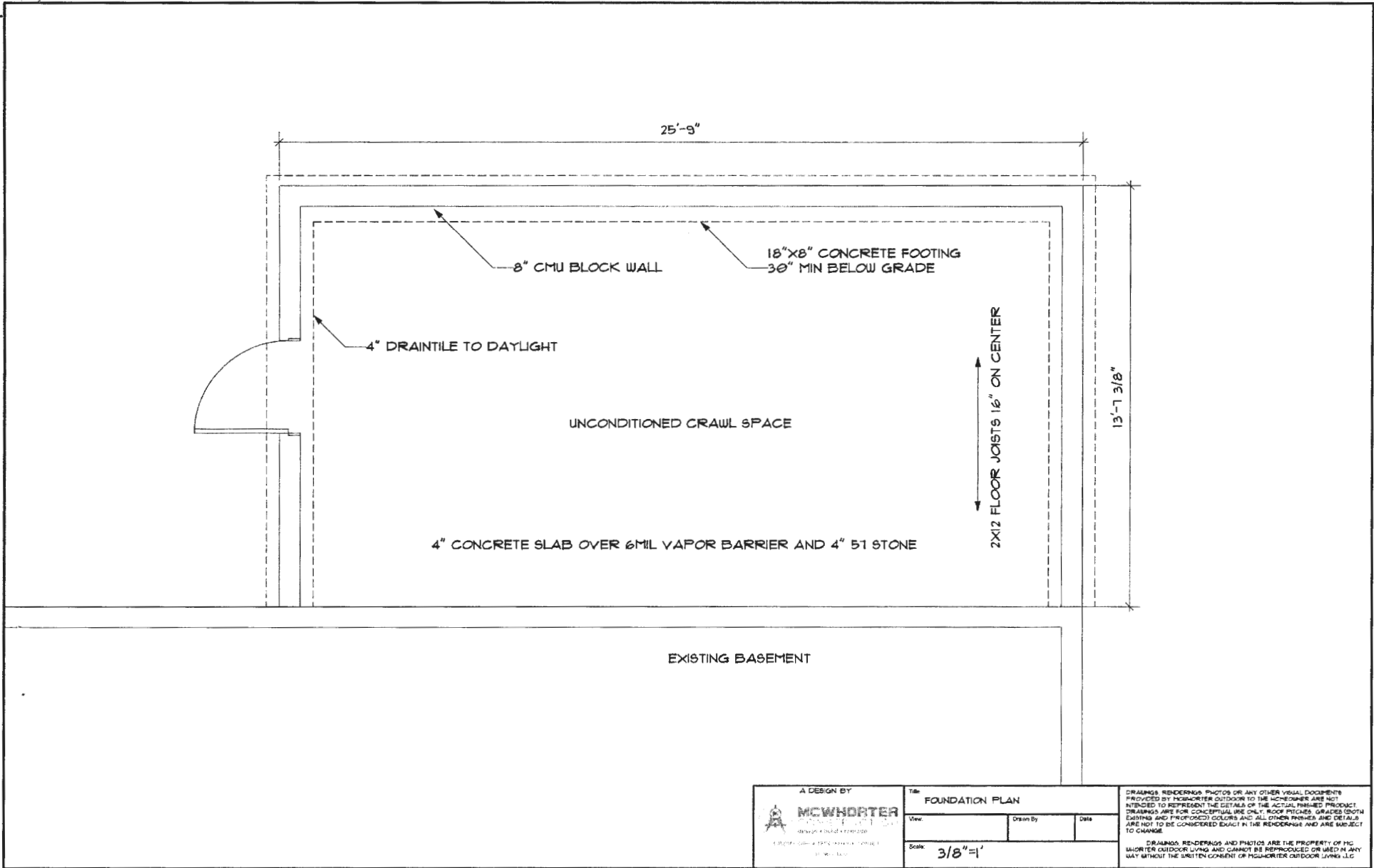
**RECEIVED**  
APR 12 2023  
LICENSES & PERMITS  
DIVISION

CREATING RESPONSIBLE PROJECTS FOR OUR CLIENTS. WE'LL DOCUMENT THE PROCESS TO REFLECT THE REALITY OF THE ACTUAL PROJECT. PROJECTS ARE NOT TO BE CONSIDERED EXACT IN THE REVISIONS AND ARE SUBJECT TO CHANGE. REVISIONS AND PROJECT ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT OR PROJECT OR ANY PART THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF McMurry Architecture, LLC.

B282001161



A DESIGN BY  <b>MCWHORTER</b> ARCHITECTURE 1000 W. 10th Street, Suite 100 Fort Worth, TX 76102 Phone: 817.335.1111 Fax: 817.335.1112 www.mcwhorter.com	<b>Title</b> FIRST FLOOR PLAN			DRAWINGS, RENDERINGS, PHOTOS OR ANY OTHER VISUAL DOCUMENTS PROVIDED BY MCWHORTER OUTDOOR TO THE ARCHITECT ARE NOT INTENDED TO REPRESENT THE DETAILS OF THE ACTUAL FINISHED PRODUCT. DRAWINGS ARE FOR CONCEPTUAL USE ONLY. ROOF PITCHES, GRADES (SOOTH DRAINAGE) AND PROPOSED COLORS AND ALL OTHER FINISHES AND DETAILS ARE NOT TO BE CONSIDERED EXACT IN THE RENDERINGS AND ARE SUBJECT TO CHANGE.  DRAWINGS, RENDERINGS AND PHOTOS ARE THE PROPERTY OF MCWHORTER OUTDOOR LIVING AND CANNOT BE REPRODUCED OR USED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF MCWHORTER OUTDOOR LIVING, LLC.
	<b>View</b>  	<b>Drawn By</b>  	<b>Date</b>  	
<b>Scale</b> 3/8" = 1'				



A DESIGN BY



**MCWHORTER**  
OUTDOOR LIVING

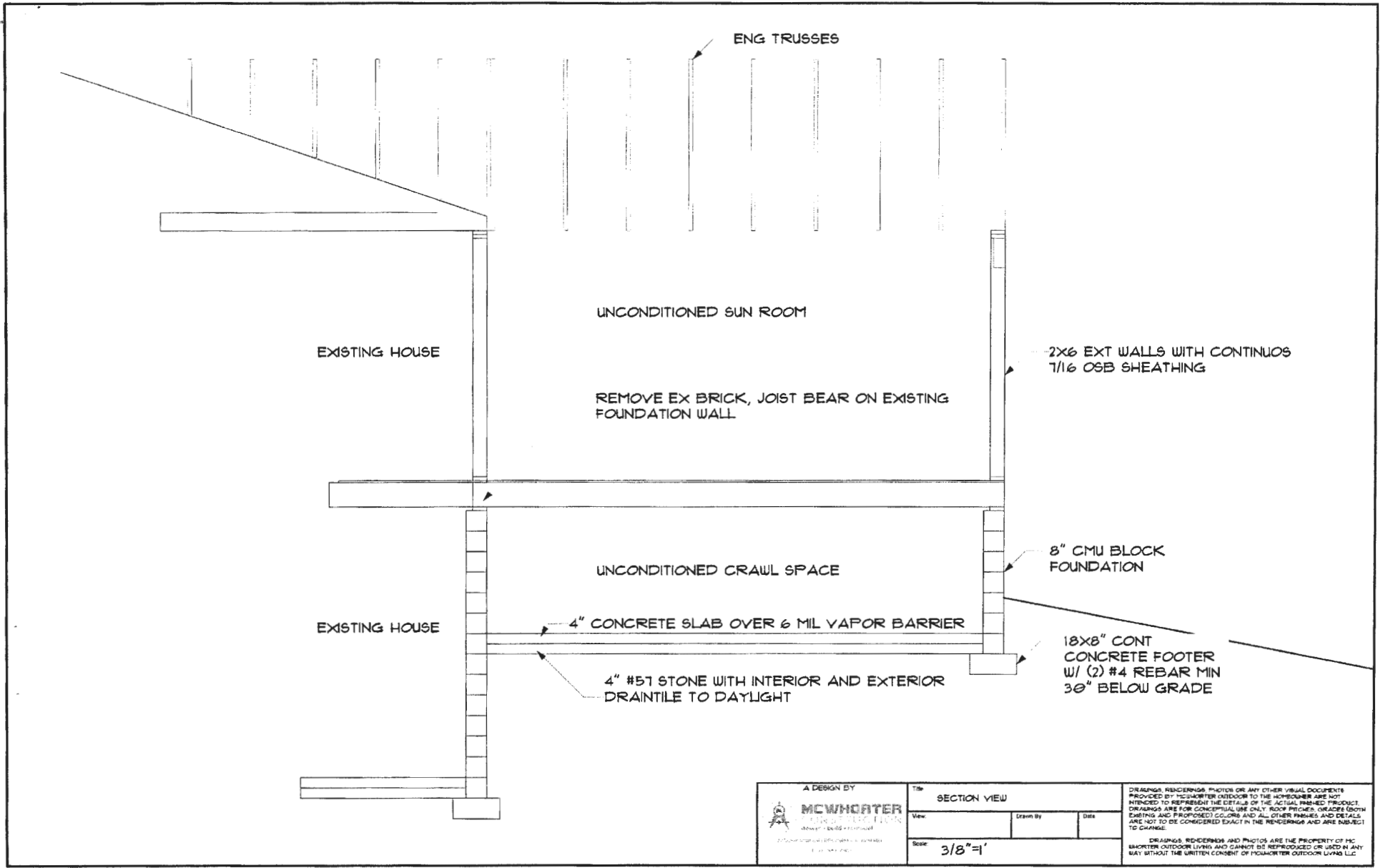
design-build-landscape

4000 W. 42ND AVENUE, SUITE 100  
DENVER, CO 80212

Title: FOUNDATION PLAN		
View:	Drawn By:	Date:
Scale:	3/8"=1'	

DRAWINGS, RENDERINGS, PHOTOS OR ANY OTHER VISUAL DOCUMENTS PROVIDED BY MCWHORTER OUTDOOR LIVING TO THE HOMEOWNER ARE NOT INTENDED TO REPRESENT THE DETAILS OF THE ACTUAL FINISHED PRODUCT. DRAWINGS ARE FOR CONCEPTUAL USE ONLY. ROOF PITCHES, GRADES (BOTH EXISTING AND PROPOSED) COLORS AND ALL OTHER FINISHES AND DETAILS ARE NOT TO BE CONSIDERED EXACT IN THE RENDERINGS AND ARE SUBJECT TO CHANGE.

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A DESIGN BY



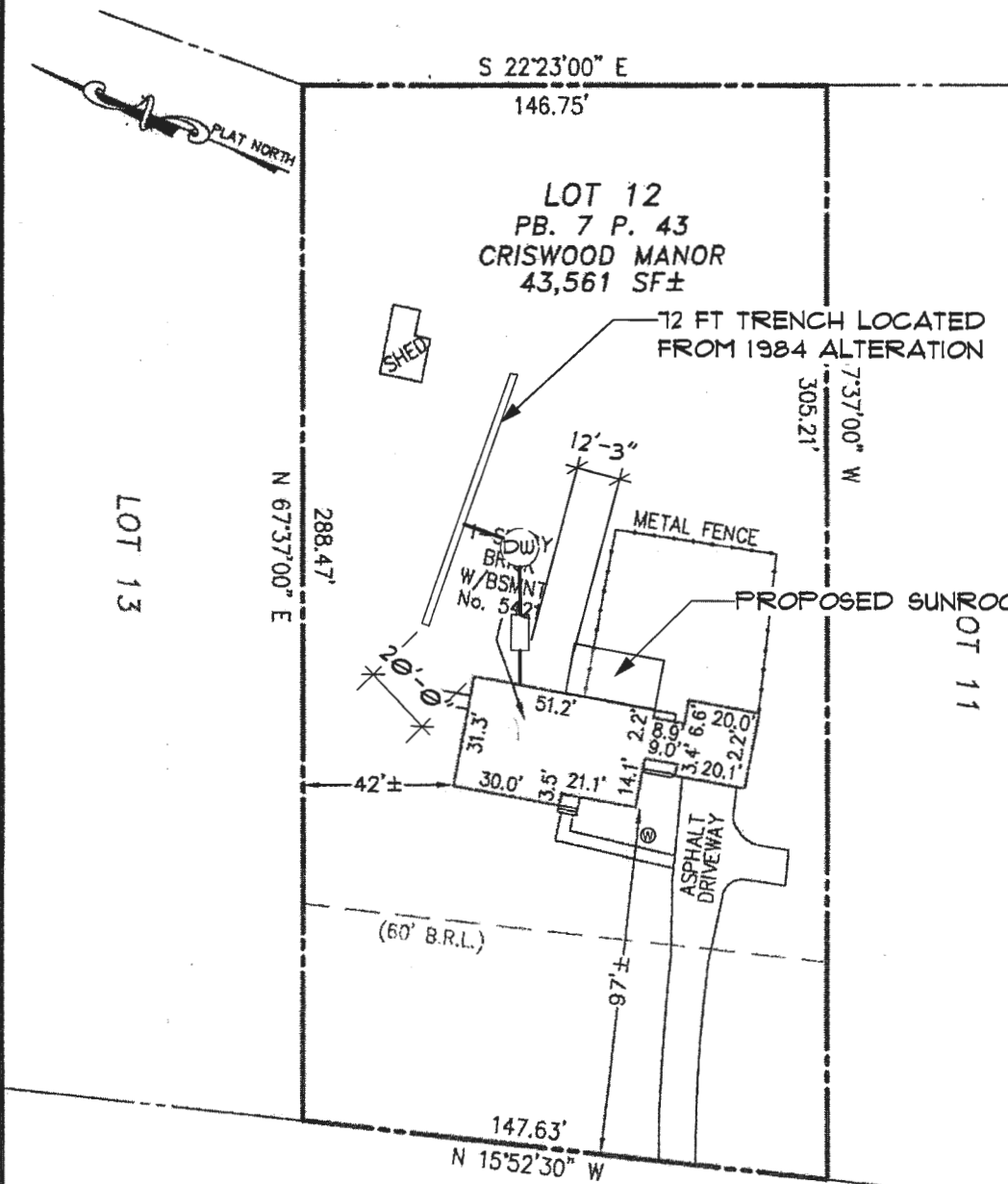
**MCWHORTER**  
OUTDOOR LIVING

2020 MCWHORTER OUTDOOR LIVING LLC. ALL RIGHTS RESERVED.  
EAST WADE, TN

Title SECTION VIEW		
View	Drawn By	Date
Scale	3/8" = 1'	

DRAWINGS, RENDERINGS, PHOTOS OR ANY OTHER VISUAL DOCUMENTS PROVIDED BY MCWHORTER OUTDOOR TO THE HOMEOWNER ARE NOT INTENDED TO REPRESENT THE DETAILS OF THE ACTUAL FINISHED PRODUCT. DRAWINGS ARE FOR CONCEPTUAL USE ONLY. ROOF PITCHES, ORANGES (BOTH EXISTING AND PROPOSED) COLORS AND ALL OTHER FINISHES AND DETAILS ARE NOT TO BE CONSIDERED EXACT IN THE RENDERINGS AND ARE SUBJECT TO CHANGE.

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    - A. IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING;
    - B. IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND
  2. THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE FOOT, MORE OR LESS.
  3. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.
- C. D.D.'S NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.

I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

M.N. ROSHAN, L.S.  
 MD REG. No. 11049  
 DATE 10-30-14

**ADDRESS:**  
 5421 TROTTER ROAD  
 CLARKSVILLE, MARYLAND 21029

**LOCATION DRAWING**  
**LOT 12**  
**PB. 7 P. 43**  
**CRISWOOD MANOR, SECTION 4**  
**HOWARD COUNTY, MARYLAND**  
 SCALE: 1" = 50' DATE: OCTOBER 30, 2014

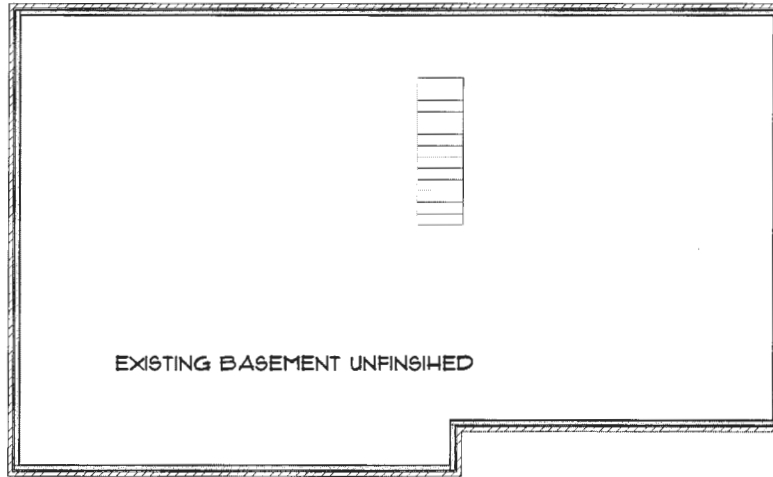


**NJR & ASSOCIATES, LLC.**  
**LAND SURVEYING AND PLANNING**  
 1813 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 TEL: (410)799-9089 FAX: (410)799-9093

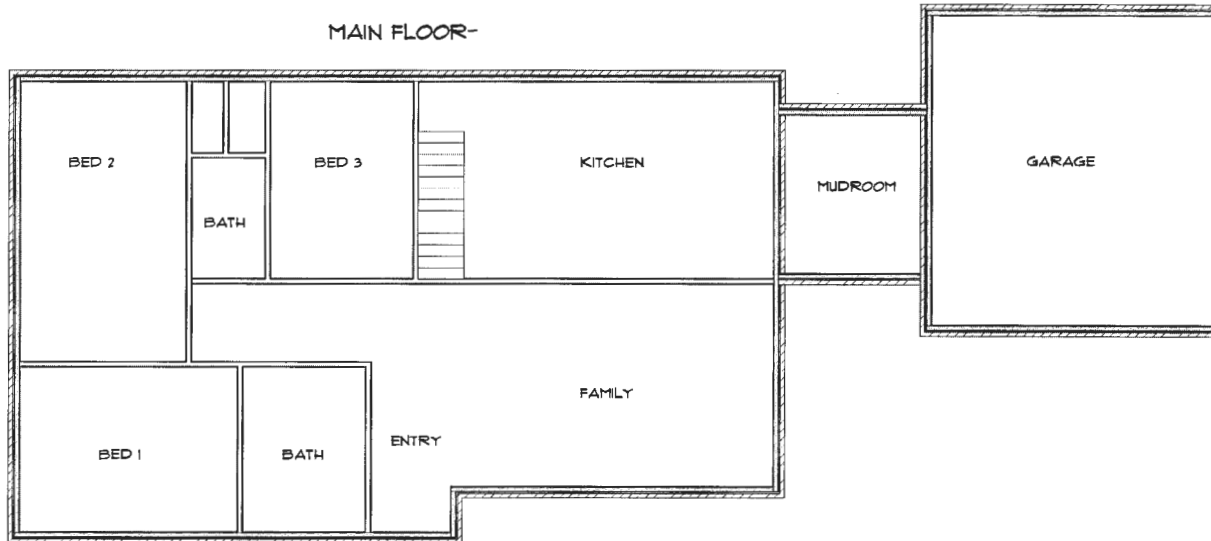
FILE No.	
NJR	LO5376
CLT	MD16070

EXISTING FLOOR PLANS- 5421 TROTTER ROAD

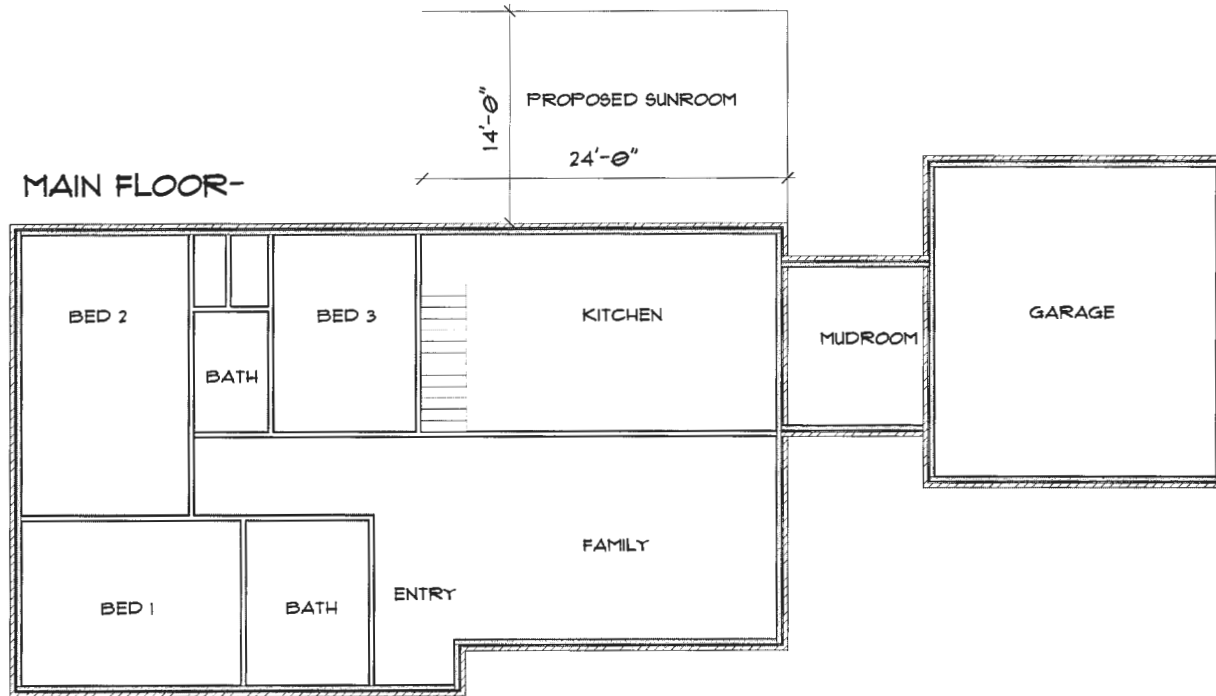
BASEMENT-



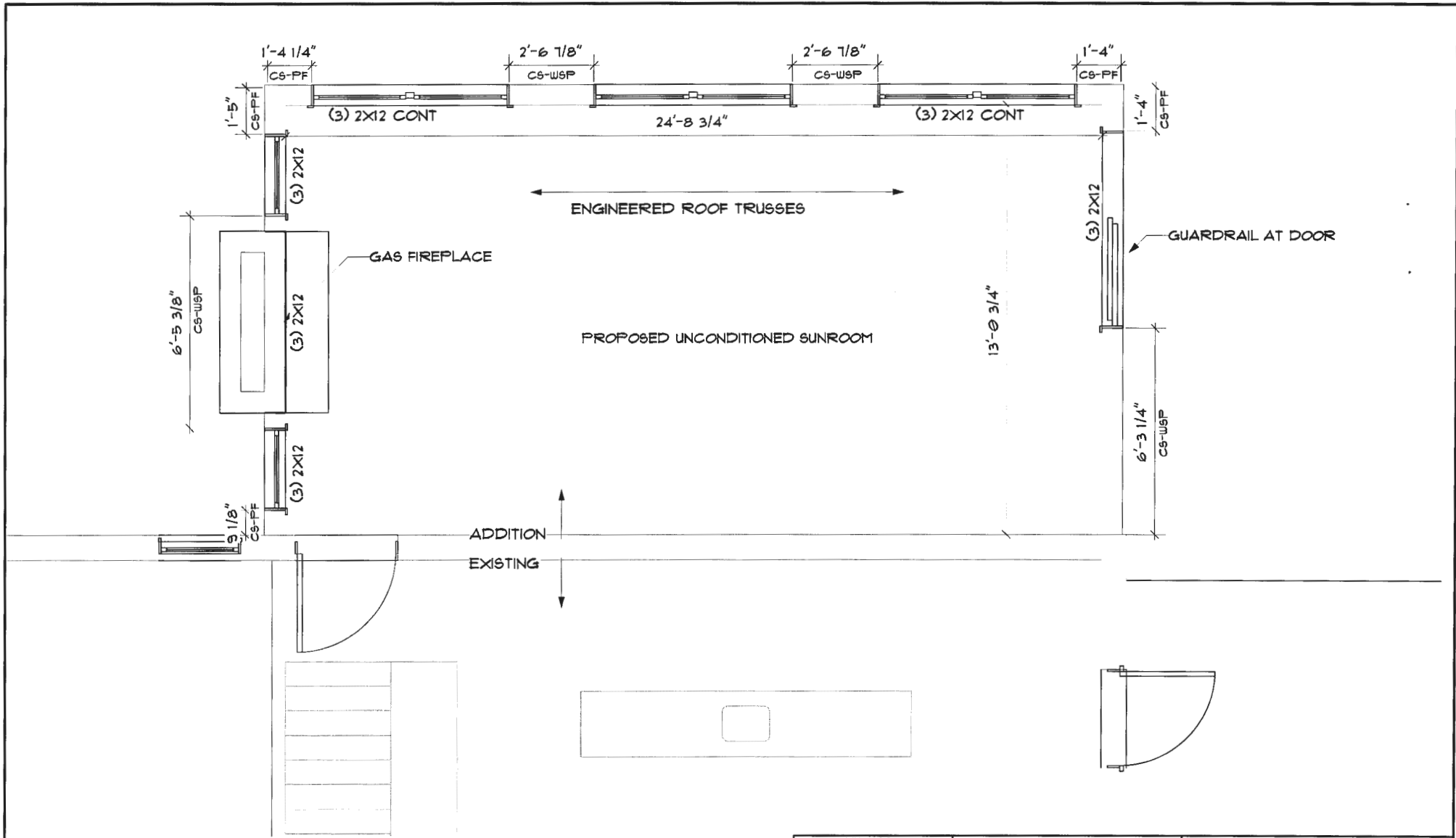
MAIN FLOOR-




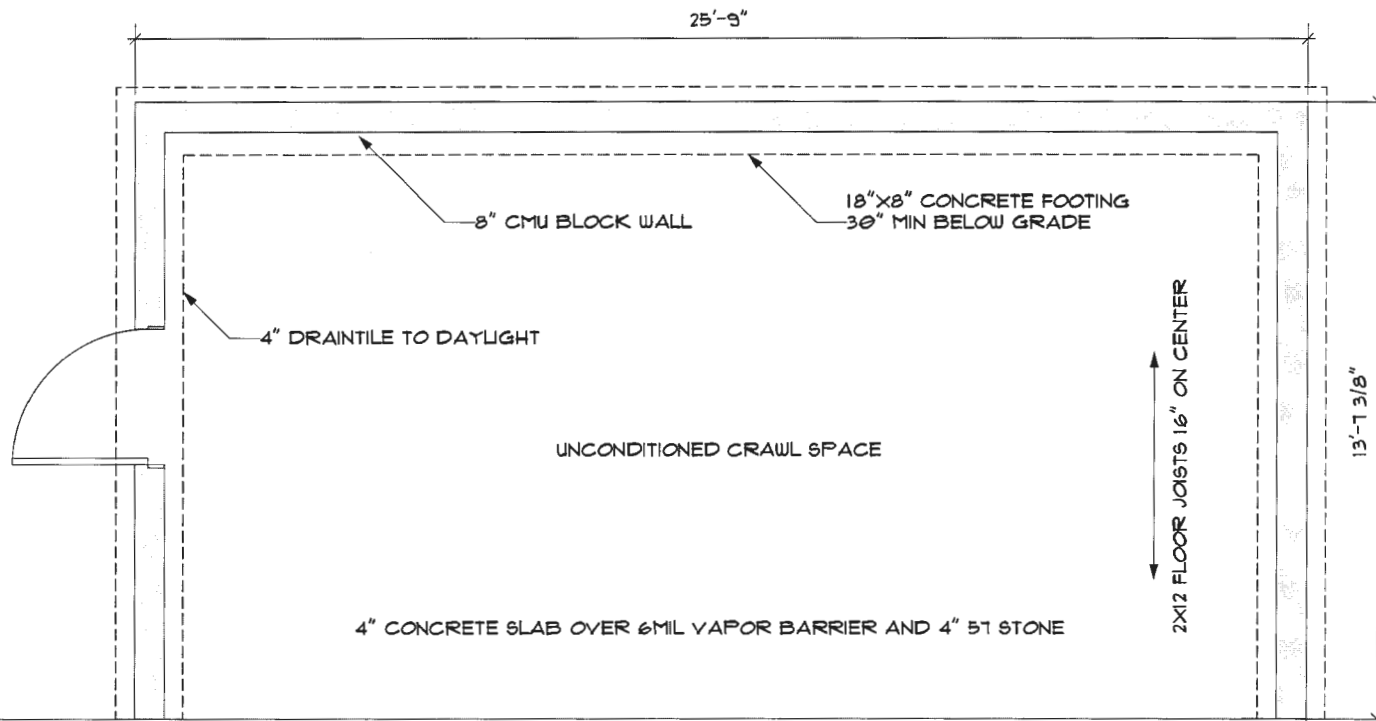
PROPOSED FLOORPLAN 5421 TROTTER ROAD






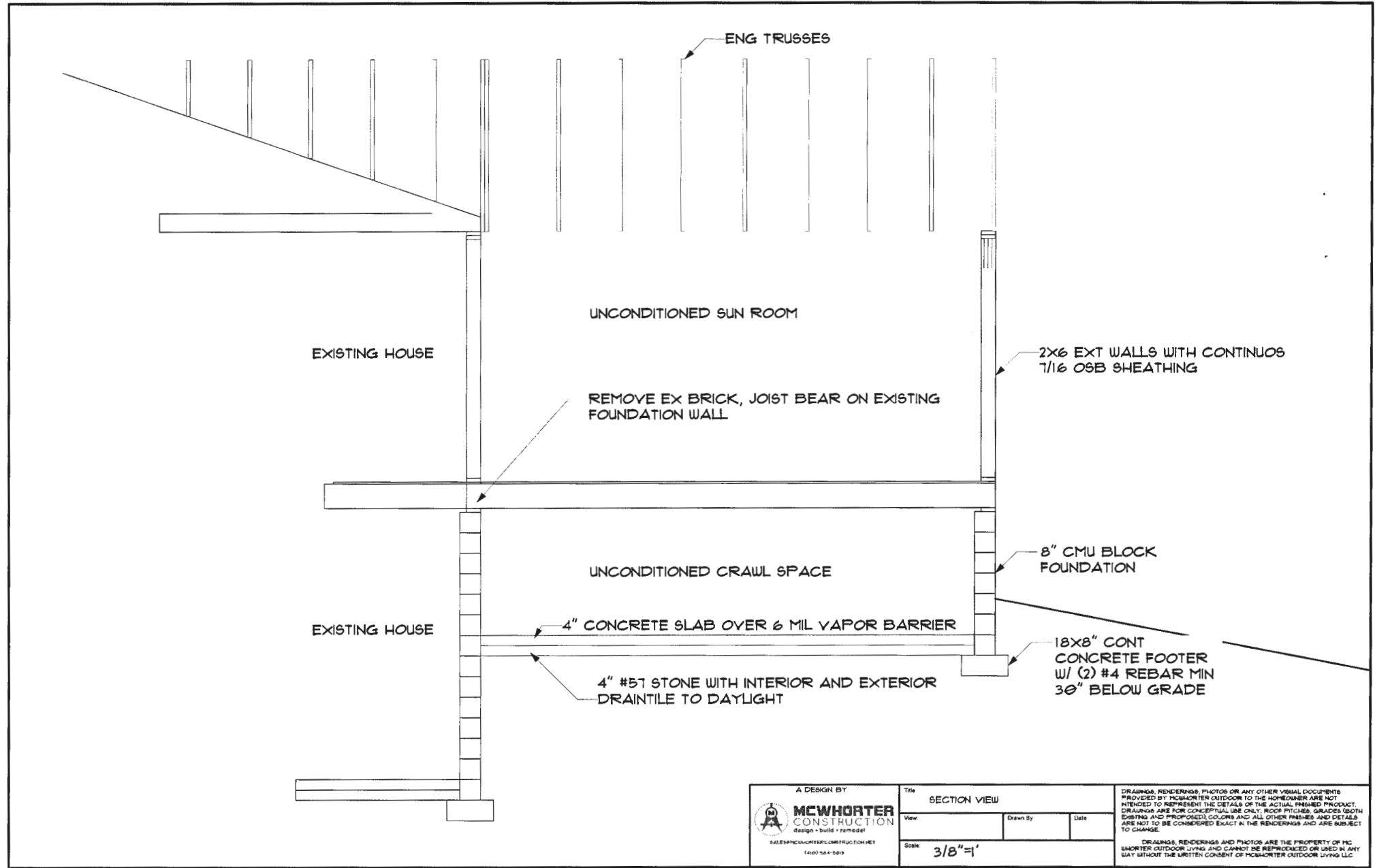


<p>A DESIGN BY</p>  <p><b>MCWHORTER</b> CONSTRUCTION design • build • remodel</p> <p>5415 MCWHORTER CONSTRUCTION BLVD CINCINNATI, OH 45241</p>	<p>Title: <b>FIRST FLOOR PLAN</b></p>			<p>DRAWINGS, RENDERINGS, PHOTOS OR ANY OTHER VISUAL DOCUMENTS PROVIDED BY MCWHORTER OUTDOOR TO THE HOMEOWNER ARE NOT INTENDED TO REPRESENT THE DETAILS OF THE ACTUAL FINISHED PRODUCT. DRAWINGS ARE FOR CONCEPTUAL USE ONLY. ROOF PITCHES, GRADES (BOTH EXISTING AND PROPOSED), COLORS AND ALL OTHER FINISHES AND DETAILS ARE NOT TO BE CONSIDERED EXACT IN THE RENDERINGS AND ARE SUBJECT TO CHANGE.</p> <p>DRAWINGS, RENDERINGS AND PHOTOS ARE THE PROPERTY OF MCWHORTER OUTDOOR LIVING AND CANNOT BE REPRODUCED OR USED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF MCWHORTER OUTDOOR LIVING LLC.</p>
	View:	Drawn By:	Date:	
	<p>Scale: <b>3/8"=1'</b></p>			



EXISTING BASEMENT

<p>A DESIGN BY</p>  <p><b>MCWHORTER CONSTRUCTION</b> design • build • remodel</p> <p>9454 MCWHORTER CONSTRUCTION BLVD (410) 524-5615</p>	<p>Title: <b>FOUNDATION PLAN</b></p>		<p><small>DRAWINGS, RENDERINGS, PHOTOS OR ANY OTHER VISUAL DOCUMENTS PROVIDED BY MCWHORTER OUTDOOR TO THE HOMEOWNER ARE NOT INTENDED TO REPRESENT THE DETAILS OF THE ACTUAL FINISHED PRODUCT. DRAWINGS ARE FOR CONCEPTUAL USE ONLY. ROOF PITCHES, GRADES (BOTH EXISTING AND PROPOSED), COLORS AND ALL OTHER FINISHES AND DETAILS ARE NOT TO BE CONSIDERED EXACT IN THE RENDERINGS AND ARE SUBJECT TO CHANGE.</small></p> <p><small>DRAWINGS, RENDERINGS AND PHOTOS ARE THE PROPERTY OF MCWHORTER OUTDOOR LIVING AND CANNOT BE REPRODUCED OR USED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF MCWHORTER OUTDOOR LIVING LLC.</small></p>
	<p>View:</p>	<p>Drawn By:</p>	
<p>Scale: <b>3/8" = 1'</b></p>			



A DESIGN BY



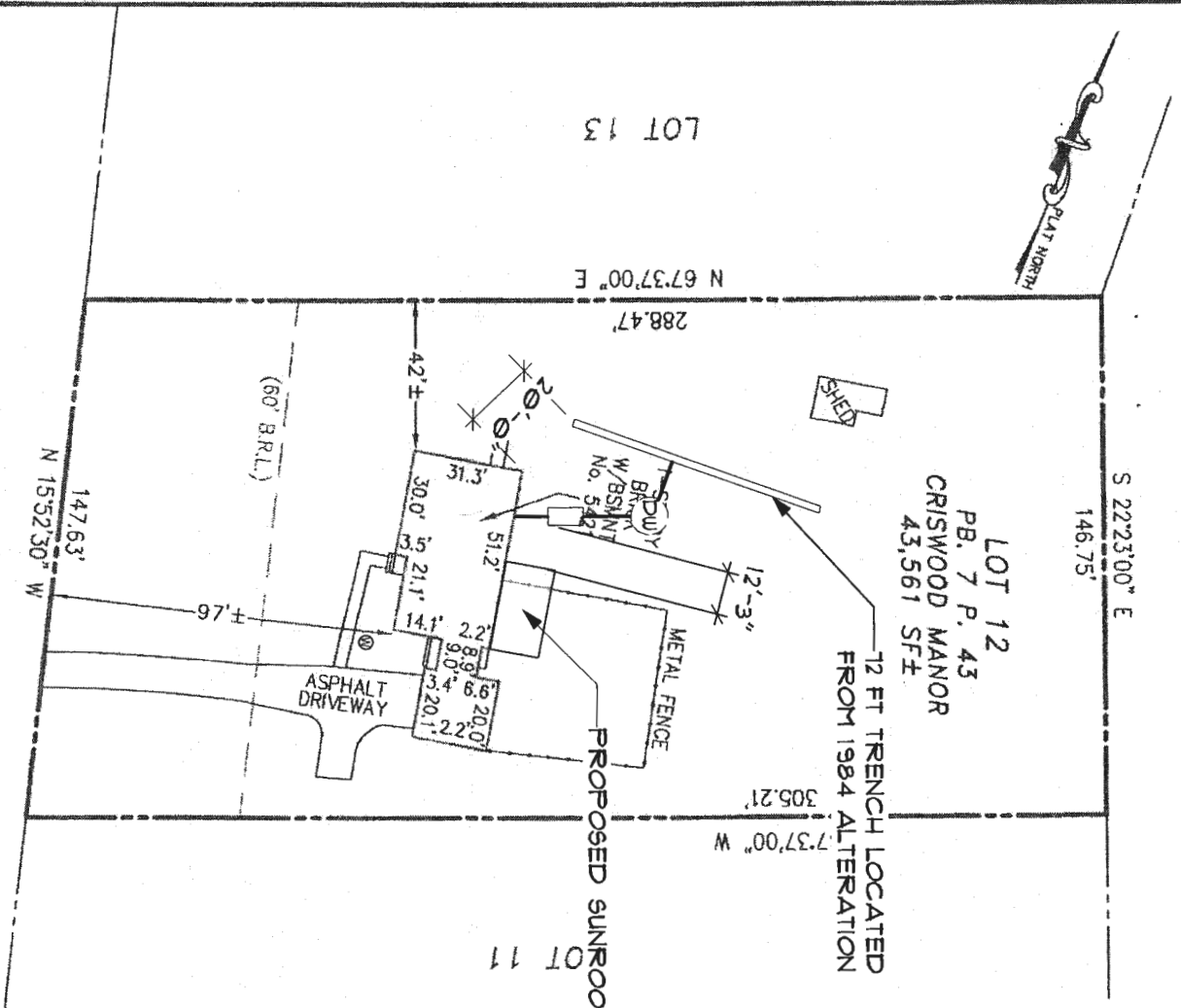
**MCWHORTER**  
CONSTRUCTION  
DESIGN • BUILD • REMEDIATE

SALES@MCWHORTERCONSTRUCTION.NET  
(410) 564-2019

Title SECTION VIEW		
View	Drawn By	Date
Scale: 3/8"=1'		

DRAWINGS, RENDERINGS, PHOTOS OR ANY OTHER VISUAL DOCUMENTS PROVIDED BY MCWHORTER OUTDOOR TO THE HOMEOWNER ARE NOT INTENDED TO REPRESENT THE DETAILS OF THE ACTUAL FINISHED PRODUCT. DRAWINGS ARE FOR CONCEPTUAL USE ONLY. ROOF PITCHES, GRADES (SOOTH EXISTING AND PROPOSED), COLORS AND ALL OTHER FINISHES AND DETAILS ARE NOT TO BE CONSIDERED EXACT IN THE RENDERINGS AND ARE SUBJECT TO CHANGE.

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**TROTTER ROAD**  
 (30' ROW)

- C. D.S NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
- THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE FOOT, MORE OR LESS.
  - THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

- NOTES:**
- THIS IMPROVEMENT LOCATION DRAWING:
    - IS OF BENEFIT TO A CONSUMER ONLY INSOFAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING;
    - IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND

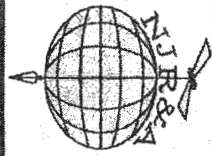
I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.



M.N. ROSHAN, L.S.  
 MD REG. No. 11049

DATE 30-14

**ADDRESS:**  
 5421 TROTTER ROAD  
 CLARKSVILLE, MARYLAND 21029



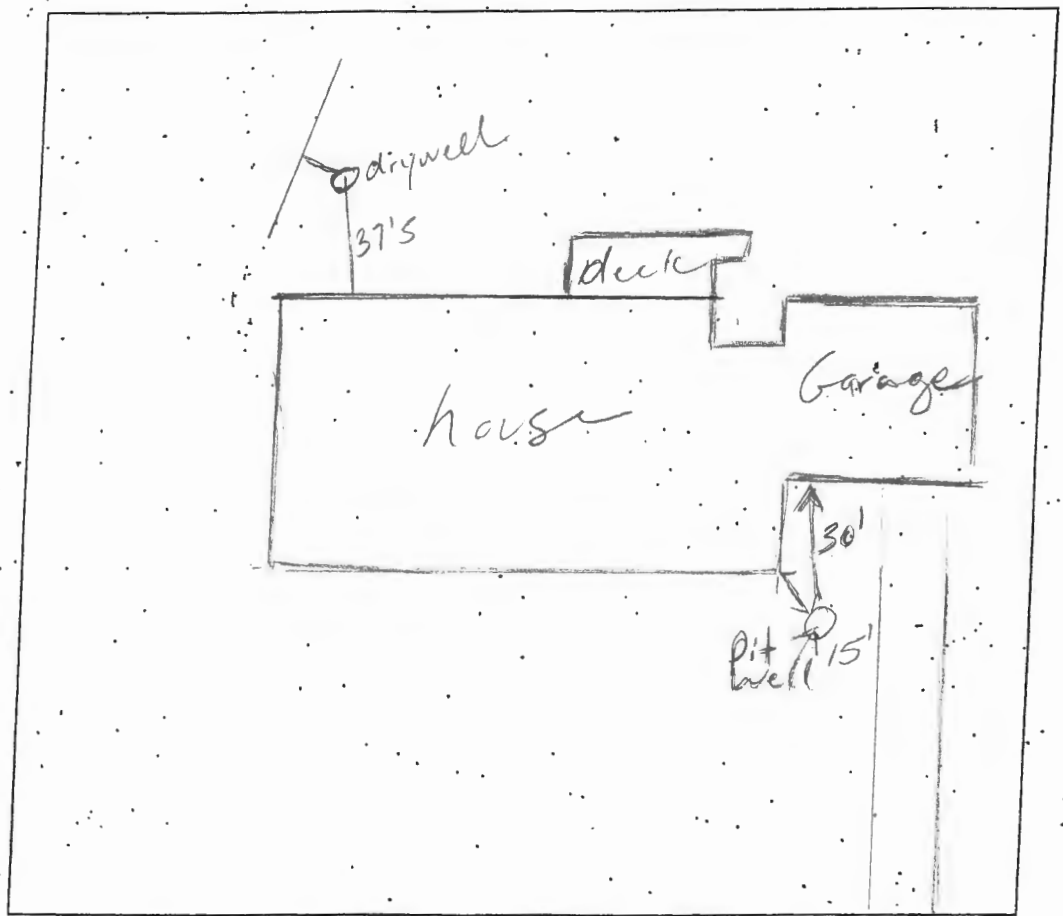
**NJR & ASSOCIATES, LLC.**  
**LAND SURVEYING AND PLANNING**  
 1813 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 TEL: (410)799-9089 FAX: (410)799-9093

LOCATION DRAWING	
LOT 12	
PB. 7 P. 43	
CRISWOOD MANOR, SECTION 4	
HOWARD COUNTY, MARYLAND	
SCALE: 1" = 50' DATE: OCTOBER 30, 2014	
FILE No.	L05376
NJR	CLT
	MD16070

SITE INSPECTION SHEET

OWNER: Jessie Lindsay Polcott PHONE #: \_\_\_\_\_  
ADDRESS: 5421 Tenth Rd CONTRACTOR: \_\_\_\_\_  
Clarksville MD WELL TAG #: No tag  
SUBDIVISION: Criswood Manor LOT: 17 COUNTY #: Howard  
PROPOSAL: Sunroom addition on the back of the house

LOCATION DIAGRAM



COMMENTS: No signs of hydraulic failure, drywell lid is clean. No clearance for the septic tank observed.  
Septic repair area available on the property. May require clearing of trees

DATE: 3/7/23 INSPECTOR: Melanie Esterbrook

## Williams, Jeffrey

---

**From:** Williams, Jeffrey  
**Sent:** Thursday, March 9, 2023 2:54 PM  
**To:** McWhorter Construction  
**Subject:** RE: 5421 Trotter Road Sunroom question

Hello. We're willing to approve a waiver to the perc cert requirement for a sunroom in the location you proposed with the description that it is an exterior space, not an extension of the interior living space. We'll send you a letter, but take this as approval if the building permit comes in under the conditions listed above. As we previously discussed, we'd look for the well to be upgraded with casing above grade and a 2 piece cap before approving the building permit. Thanks  
Jeff

**From:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Sent:** Monday, March 6, 2023 11:07 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** Re: 5421 Trotter Road Sunroom question

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Mr. Williams, This is a 3-seasons room utilizing an existing exterior door, not a conditioned space.

Sent from my Verizon, Samsung Galaxy smartphone  
Get [Outlook for Android](#)

---

**From:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Sent:** Monday, March 6, 2023 8:01:35 AM  
**To:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

Hello. I have someone going out to perform a site visit, but I have a question about the sunroom. Is this a conditioned interior room extended off the kitchen, or is this more of a 3 seasons room with a door between the kitchen and sunroom. The proposed floorplans don't really indicate how the room will connect to the house. Thanks  
Jeff

**From:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Sent:** Thursday, March 2, 2023 11:22 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** FW: 5421 Trotter Road Sunroom question

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Morning Mr. Williams, checking in on this again, wanted to make sure the documents were received and see if there was anything else you need from us regarding the waiver request. Please let me know, Thank you

Ryan McWhorter



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

**From:** McWhorter Construction  
**Sent:** Wednesday, March 1, 2023 6:35 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** FW: 5421 Trotter Road Sunroom question

Mr. Williams, I wanted to forward with message, I know you were out of town last week and wanted to ensure it was received. Please let me know if there is anything else you need from us, Thank you

Ryan McWhorter



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

**From:** McWhorter Construction  
**Sent:** Thursday, February 23, 2023 6:39 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

Good Morning Mr. Williams, please see attached letter from Fogle's regarding the condition of the well. If this is satisfactory, we will proceed with raising the well casing.

I am also attaching a letter from the homeowner's requesting a waiver to the requirement for a perc cert plan, as well as both existing and proposed floorplans of the house.

Please let me know what else you need from us to have the waiver considered. Thank you for your time,

Ryan McWhorter



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

**From:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Sent:** Friday, February 17, 2023 9:02 AM  
**To:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

We would look for a driller to confirm the well casing material and there are no red flags indicating poor construction, like no grout or evidence of shallow grout. What we try to avoid here is for someone to extend a risky well with poor construction and certainly not to do it before we can look at it so they don't spend money just for us to say its no good anyway.

**From:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Sent:** Thursday, February 16, 2023 8:55 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Morning Mr. Williams, can you tell me what specific information are you looking for with this well report? We have a quote to extend the well casing, but not sure what you want information you need on the report to approve the extension?

Thanks in advance,  
Ryan McWhorter



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

**From:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Sent:** Wednesday, February 1, 2023 1:50 PM  
**To:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

Ok. Before they do any actual casing extension, we'd like to review any report from the driller on the well construction. If a well is very close to the house, we have to take a look or if the well was substandard construction (like if they had only a couple feet of casing or no grout or something), we might not approve an extension. We don't want people to go ahead with it until they've confirmed we'll approve it once its extended above grade.

We don't have a form for these local code waivers. We'd look for a simple letter explaining the proposed work and what they want waived (in this case perc testing leading to establishing a sewage disposal area) signed by the homeowner. The criteria we use to review start with the proposed work, so we'd look for details on the sunroom and a house floorplan if it is an interior conditioned room. The size of the living space addition plays a part in whether a waiver is allowed. Beyond that, we do a site visit to see if we believe there is area in the yard for potential future sewage disposal. If we thought a property was really limited with rock or water or something, we would be hesitant to approve a waiver.

You can send me the well report and waiver documents via email and we'll set up a site visit. I'm assuming we don't have a building permit application yet?

---

**From:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>  
**Sent:** Wednesday, February 1, 2023 11:18 AM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Mr. Williams, it is in fact a pit well. I have reached out to Fogles to get a quote to raise the casing and provide a report.

If you could just let us know, for the waiver request, if there is a standard form they fill out and sign or is it a letter and what is the criteria used to grant or deny such requests?

Thanks again,  
Ryan



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

---

**From:** McWhorter Construction  
**Sent:** Tuesday, January 31, 2023 2:33 PM  
**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Subject:** RE: 5421 Trotter Road Sunroom question

Thank you for looking into this. I will do a visual inspection of the well to see if it is a pit well, and advise them to contact a well company for a quote.

Regarding the lack of SDA, assuming they want to submit a waiver request, is there a standard form they fill out and sign or is it a letter? What is the criteria used to grant or deny such requests?

Thanks again for your time,  
Ryan



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

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**From:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**Sent:** Tuesday, January 31, 2023 1:49 PM

**To:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>

**Subject:** RE: 5421 Trotter Road Sunroom question

I looked at the proposal and have a few comments:

1. The setback should be fine. Our code has a tank to house without basement setback of 10'. For this purpose, a crawlspace is not a basement.
2. It looks like we have a repair system record, but I could find no record of an approved sewage disposal area for the property. The code requires a sewage disposal area for any living space addition of any size or any non-living space addition over 250 feet. This means that you will have to either start the process with an engineer to submit a perc test application to establish a sewage disposal area or submit a waiver request signed by the homeowner for that requirement.
3. I don't know the condition of the well. If it is a pit well, they will have to have a well driller evaluate the well for our review. As long as the construction is acceptable, we'd look for the well casing to be upgraded above grade before approving a building permit.

Let me know if you have questions. Thanks  
Jeff

**From:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>

**Sent:** Tuesday, January 31, 2023 8:41 AM

**To:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>

**Subject:** RE: 5421 Trotter Road Sunroom question

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Excellent thank you, I should have forwarded the original, here are the attachments in case they were lost.

Thanks again,  
Ryan



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

**From:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>

**Sent:** Tuesday, January 31, 2023 8:19 AM

**To:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>

**Subject:** RE: 5421 Trotter Road Sunroom question

Hello. Thanks for emailing again because the first one got buried in my inbox. I'll look at it today and let you know.  
Thanks  
Jeff

**From:** McWhorter Construction <[ryan@mcwhorterconstruction.net](mailto:ryan@mcwhorterconstruction.net)>

**Sent:** Tuesday, January 31, 2023 8:13 AM

**To:** Williams, Jeffrey <jewilliams@howardcountymd.gov>

**Subject:** Re: 5421 Trotter Road Sunroom question

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good morning Mr. Williams, checking to see if you received this email last week and had any thoughts? Thank you in advance

Ryan McWhorter

Sent from my Verizon, Samsung Galaxy smartphone  
Get [Outlook for Android](#)

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**From:** McWhorter Construction

**Sent:** Thursday, January 26, 2023 8:36:16 AM

**To:** Williams, Jeffrey <jewilliams@howardcountymd.gov>

**Subject:** 5421 Trotter Road Sunroom question

Good Morning Mr. Williams,

We have a client that would like to add a 25x14 sunroom on the back of their house at address above. The sunroom would be on a crawl space. The sunroom would be located approximately 12' from their existing septic tank.

I have attached their septic information from a 1984 alteration, as well as a plot plan that I believe shows all the necessary pieces accurately. I am wondering if this sunroom, since it is not on a full basement, would be OK as located, or if I would have to request a variance to the septic tank?

Any information is greatly appreciated, Thank you

Ryan McWhorter



**2900 Daisy Road**  
**Woodbine, MD 21797**  
**(410) 984-5813**

Real Property Data Search ( )  
 Search Result for HOWARD COUNTY

[View Map](#)      [View GroundRent Redemption](#)      [View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 05 Account Number - 370787

**Owner Information**

Owner Name: PICKETT JESSE      Use: RESIDENTIAL  
 PICKETT LINDSAY      Principal Residence: YES  
 Mailing Address: 5421 TROTTER RD      Deed Reference: /15878/ 00210  
 CLARKSVILLE MD 21029-1222

**Location & Structure Information**

Premises Address: 5421 TROTTER RD      Legal Description: LOT 12 1.00 A.  
 CLARKSVILLE 21029-0000      5421 TROTTER RD  
 CRISWOOD MANOR S4

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:  
 0029 0020 0088 5030302.14 3002 12 2023 Plat Ref:

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use  
 1962 1,548 SF 700 SF 1.0000 AC

StoriesBasementType ExteriorQualityFull/Half BathGarage Last Notice of Major Improvements  
 1 YES STANDARD UNITBRICK/ 4 1 full/ 1 half 1 Attached

**Value Information**

	Base Value	Value		
		As of 01/01/2023	Phase-in Assessments As of	
		07/01/2022	As of 07/01/2023	
Land:	250,000	286,200		
Improvements	175,100	209,300		
Total:	425,100	495,500	425,100	448,567
Preferential Land:	0	0		

**Transfer Information**

Seller: WALTER MARY ANN      Date: 11/14/2014      Price: \$291,500  
 Type: ARMS LENGTH IMPROVED      Deed1: /15878/ 00210      Deed2:  
 Seller:      Date:      Price: \$0  
 Type: NON-ARMS LENGTH OTHER      Deed1: /00379/ 00507      Deed2:  
 Seller:      Date:      Price:  
 Type:      Deed1:      Deed2:

**Exemption Information**

Partial Exempt Assessments: Class      07/01/2022      07/01/2023  
 County: 000      0.00  
 State: 000      0.00  
 Municipal: 000      0.00|0.00      0.00|0.00

Special Tax Recapture: None

**Homestead Application Information**

Homestead Application Status: Approved 02/03/2015

**Homeowners' Tax Credit Application Information**

Homeowners' Tax Credit Application Status: No Application      Date:

4/19/84  
12:00 noon  
Trench

05-370787

approved 4/19/84  
Stayer

# PERMIT

P 33801

A Repair

SEWAGE DISPOSAL SYSTEM

MARYLAND STATE DEPARTMENT OF HEALTH

**HOWARD COUNTY**  
BUREAU OF ENVIRONMENTAL HEALTH  
992-2330

## INDEX

**ELLICOTT CITY**  
DISTRICT 5th

DATE 4/18/84

Olen Ketterman IS PERMITTED TO INSTALL \_\_\_\_\_ ALTER

ADDRESS 14960 Frederick Road, Woodbine, Md. 21797 PHONE 442-1336

SUBDIVISION Criswood Manor ROAD 5421 Trotter Road LOT \_\_\_\_\_

PROPERTY OWNER Charles M. Walter

ADDRESS 5421 Trotter Road, Clarksville, Md. 21029

IF GARBAGE GRINDER IS USED INCREASE SEPTIC TANK CAPACITY BY 50% AND ABSORPTION AREA BY 22%.

GARBAGE GRINDER? YES \_\_\_\_\_ NO \_\_\_\_\_

SEPTIC TANK CAPACITY \_\_\_\_\_ GALLONS NUMBER OF BEDROOMS \_\_\_\_\_

REPAIR - Call for inspection when ground is opened up and Sanitarian will  
recommend the repair system.

PLANS APPROVED BY Frank A. Skinner DATE 4/18/84

COVER NO WORK UNTIL INSPECTED AND APPROVED.

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: IF TRENCH IS USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH.

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER. NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH.

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 40 PVC OR ABS.

PERMIT VOID AFTER THREE YEARS.

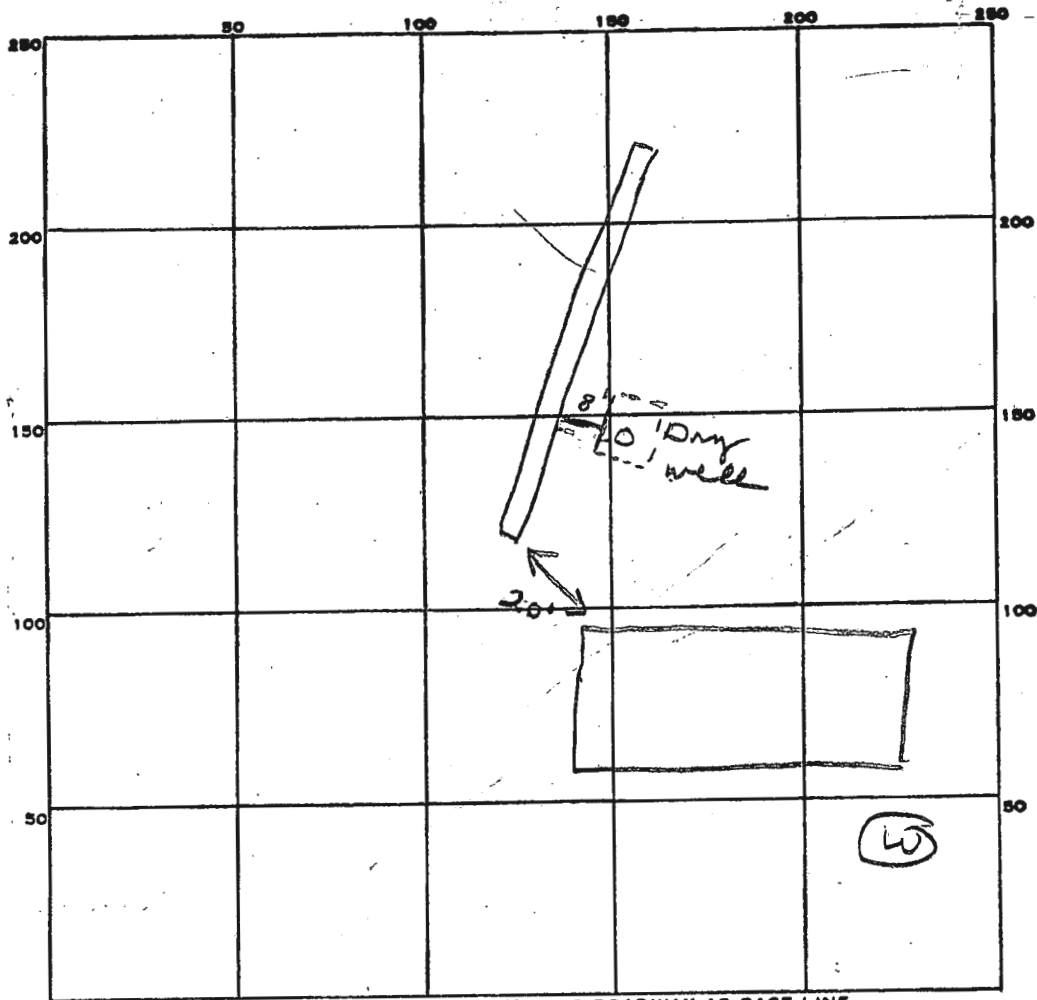
NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA, OR PVC OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET MANHOLE TO GRADE REQUIRED.

**\*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

\*CALL 992-2330 FOR INSPECTION OF SEPTIC SYSTEMS.

EH - 2-1082

33801



INDICATE NORTH. - NAME ADJOINING ROADWAY AS BASE LINE.

✓ Trotter Rd

PERMIT CARD \_\_\_\_\_

SEPTIC TANK, LEVEL \_\_\_\_\_

CLEANOUTS \_\_\_\_\_

DISTRIBUTION BOX, LEVEL \_\_\_\_\_

TILE FIELD, DEPTH 10 FT. TRENCH WIDTH 2 FT.

GRAVEL DEPTH 7 IN. TOTAL LENGTH 72 FT.

NUMBER OF TRENCHES 1 TOTAL BOTTOM AREA 504

SEEPAGE PITS, INSIDE DIAMETER \_\_\_\_\_ FT. DEPTH BELOW INLET \_\_\_\_\_ FT.

ABSORBENT AREA 504 SQ. FT.

REMARKS 4/19/84 OK to add stone in trench. jf  
4/19/84 OK to cover all work jf

DATE SYSTEM APPROVED 4/19/84

INSPECTOR Stayer



February 22, 2023

RE: 5421 Trotter Rd- Well Condition

To whom it may concern:

On February 8, 2023 Fogle's stopped out to access the condition of the existing well at 5421 Trotter Rd Clarksville, MD 21029. Upon inspection the casing type appears to be STEEL. Well casing and grout appears to be in good condition. We do not see there being any issues raising this well casing above grade to code. We would recommend installing a new 2-piece bug proof well cap.

If you have any questions or concerns regarding this well casing, feel free to call us at 410-795-1535.

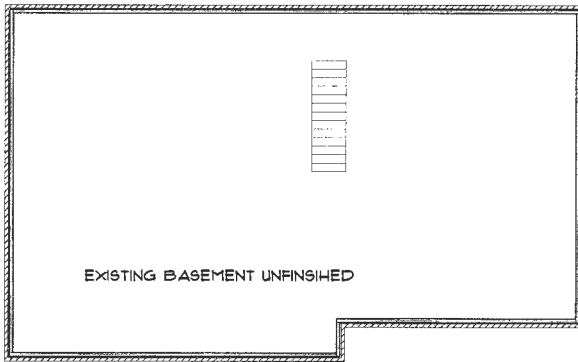
Sincerely,

*David C Fogle*

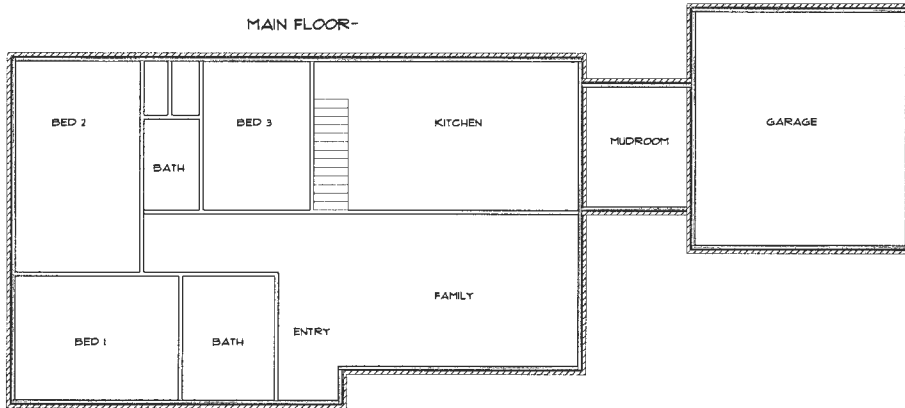
David C Fogle  
Fogle's Well Pump & Water Treatment, LLC  
Owner

EXISTING FLOOR PLANS- 5421 TROTTER ROAD

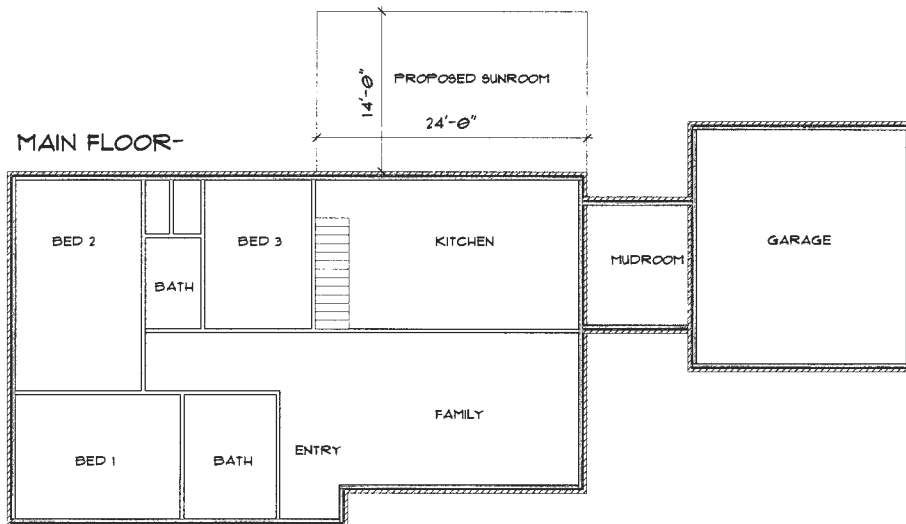
BASEMENT-



MAIN FLOOR-



PROPOSED FLOORPLAN 5421 TROTTER ROAD



Jesse and Lindsay Pickett  
5421 Trotter Road  
Clarksville, MD 21029-1222

February 22, 2023

Mike Davis, Director  
Howard County Health Department  
8930 Stanford Blvd. Columbia, MD 21045  
Bureau of Environmental Health


Dear Mr. Davis,

We are writing regarding our property at 5421 Trotter Road Clarksville, MD 21029. We are looking to add a sunroom on the back of our house and would like to request a waiver of the requirement for perc testing/percolation certification plan for the following reasons-

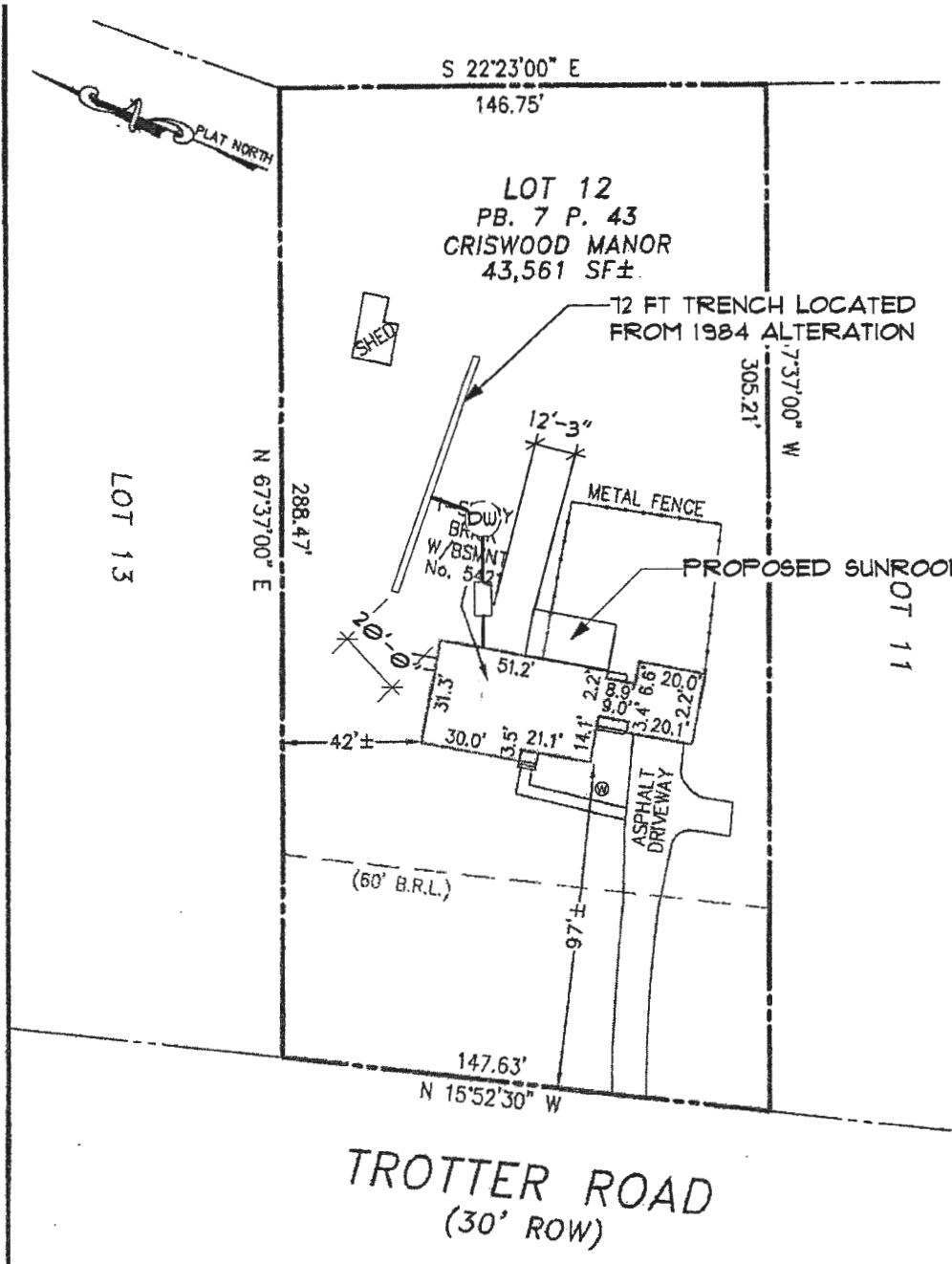
1. The proposed addition is within 100' of the existing well, so this space could not be used for a Sewage disposal area.
2. The proposed addition adds no additional bedrooms to the house
3. The well and septic are in good operating shape, no signs of failure. The well casing needs to be brought up above grade and we have made arrangements to have that done.

We sincerely appreciate your consideration in this matter,

Thank you,

  
Jesse and Lindsay Pickett

*approved  
for exterior sunroom  
as shown on plan  
3/9/23*



NOTES:

1. THIS IMPROVEMENT LOCATION DRAWING:
  - A. IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING;
  - B. IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND
2. THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE FOOT, MORE OR LESS.
3. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

NOTES:

1. THIS IMPROVEMENT LOCATION DRAWING:
  - A. IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING;
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2. THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE FOOT, MORE OR LESS.
3. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.



M.N. ROSHAN, L.S. DATE 30-14  
MD REG. No. 11049

ADDRESS:  
5421 TROTTER ROAD  
CLARKSVILLE, MARYLAND 21029



LOCATION DRAWING

LOT 12  
PB. 7 P. 43  
CRISWOOD MANOR, SECTION 4  
HOWARD COUNTY, MARYLAND  
SCALE: 1" = 50' DATE: OCTOBER 30, 2014

FILE No.	
NJR	L05376
CLT	MD16070

**NJR & ASSOCIATES, LLC.**  
**LAND SURVEYING AND PLANNING**

1813 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
TEL: (410)799-9089 FAX: (410)799-9093