

**GENERAL NOTES**

1. THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICE SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
2. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT. THE LOT SIZE FOR THIS LOT WILL FULFILL THE REQUIREMENTS OF THE ZONING REGULATIONS.
3. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
4. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY'S BOUNDARIES EXCEPT THAT WHICH ARE SHOWN. INFORMATION CONCERNING THE ADJOINING PROPERTIES HAS BEEN OBTAINED FROM THE BUREAU OF ENVIRONMENTAL HEALTH, HOWARD COUNTY GIS, AND THE ENGINEER/SURVEYOR OF THE ORIGINAL PERCOLATION CERTIFICATION.
5. GROUNDWATER APPROPRIATIONS PERMIT (GAP) IS NOT REQUIRED FOR THIS LOT.
6. THE EXISTING TOPOGRAPHY SHOWN IS TAKEN FROM A SURVEY BY POTOMAC VALLEY SURVEYS, INC., DATED NOV., 2020 AND SUPPLEMENTED WITH HOWARD COUNTY GIS. TRACT OUTLINE SHOWN IS FROM A BOUNDARY SURVEY BY POTOMAC VALLEY SURVEYS, INC., DATED NOV., 2020.
7. ALL WELLS TO BE DRILLED PRIOR TO BUILDING PERMIT ISSUANCE. IT IS THE OWNER'S RESPONSIBILITY TO SCHEDULE WELL DRILLING PRIOR TO BUILDING PERMIT REQUEST. IT WILL NOT BE CONSIDERED GOVERNMENT DELAY IF THE WELL-DRILLING HOLDS UP THE HEALTH DEPARTMENT APPROVAL OF THE BUILDING PERMIT.
8. THE PURPOSES OF THIS REVISED PERCOLATION CERTIFICATION IS TO ADJUST EXISTING PRIVATE SEWAGE DISPOSAL AREA ON LOT 1 DUE TO TRENCH LAYOUT AND SWALE SETBACK; AND TO ADD A 1,500 SF WELL ZONE WITH ELLIPTICAL RADIUS OF 100 FEET AROUND THE ENTIRE WELL ZONE.
9. ANY MICRO-BIOTENTION FACILITIES WITHIN 100 FEET OF A WELL, AS MEASURED FROM THE WELL BOX TO THE FILTER MEDIA, SHALL BE LINED. LINING WILL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT DETAIL AS SHOWN ON THE FINAL CONSTRUCTION PLAN. MICRO-BIOTENTION FACILITIES ARE NOT ALLOWED WITHIN 50' OF WELL OR WELL BOXES.
10. PERCOLATION TEST FEE RECEIPT NUMBER, REFERENCED IN THE APPROVING AUTHORITY CORRESPONDENCE, IS A47337.
11. MDE IS REVIEWING A VARIANCE TO ALLOW THE WELL SERVING SPRING ROCK FARM LOT 1 TO BE DOWNGRADE OF THE SEWAGE DISPOSAL AREAS ON ELSIE H DAVIS SUBDIVISION, 2308 WOODBINE ROAD, AS SHOWN ON THIS PLAN, SUBJECT TO THE CONDITION THAT THE WELL MUST BE DRILLED UTILIZING STEEL CASING TO 50 FEET DEPTH OR 10 FEET INTO COMPETENT BEDROCK, WHICHEVER IS DEEPER.

**SPEC SHEET INFORMATION - Lot 1**

System	Application Rate	Effective Depth	Bottom Depth
Initial	0.8	7.0	8.0
1st Repair	0.8	7.0	8.0
2nd Replacement	0.8	7.0	8.0

1/7/22 - print email to engineer.

PLAN  
SCALE: 1" = 50'

**THIS REVISED PERCOLATION CERTIFICATION PLAN IS FOR THE FOLLOWING:**

1. ADD A 1,500 SF WELL BOX ON LOT 1.
2. ADJUST THE SEPTIC DISPOSAL AREA ON LOT 1

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*John M. Carney*  
PLAN PREPARER  
JOHN CARNEY, P.E.  
FOR BENCHMARK ENGINEERING INC.

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

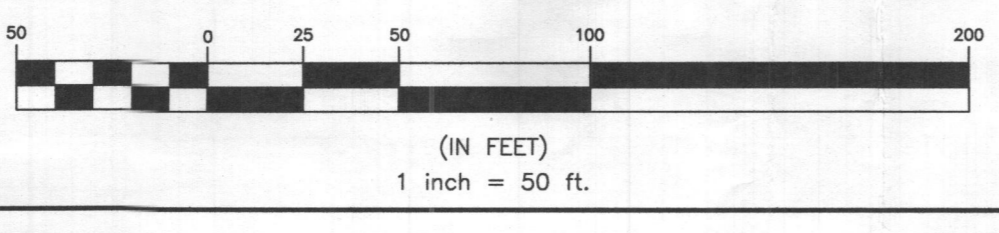
**BENCHMARK ENGINEERING, INC.**  
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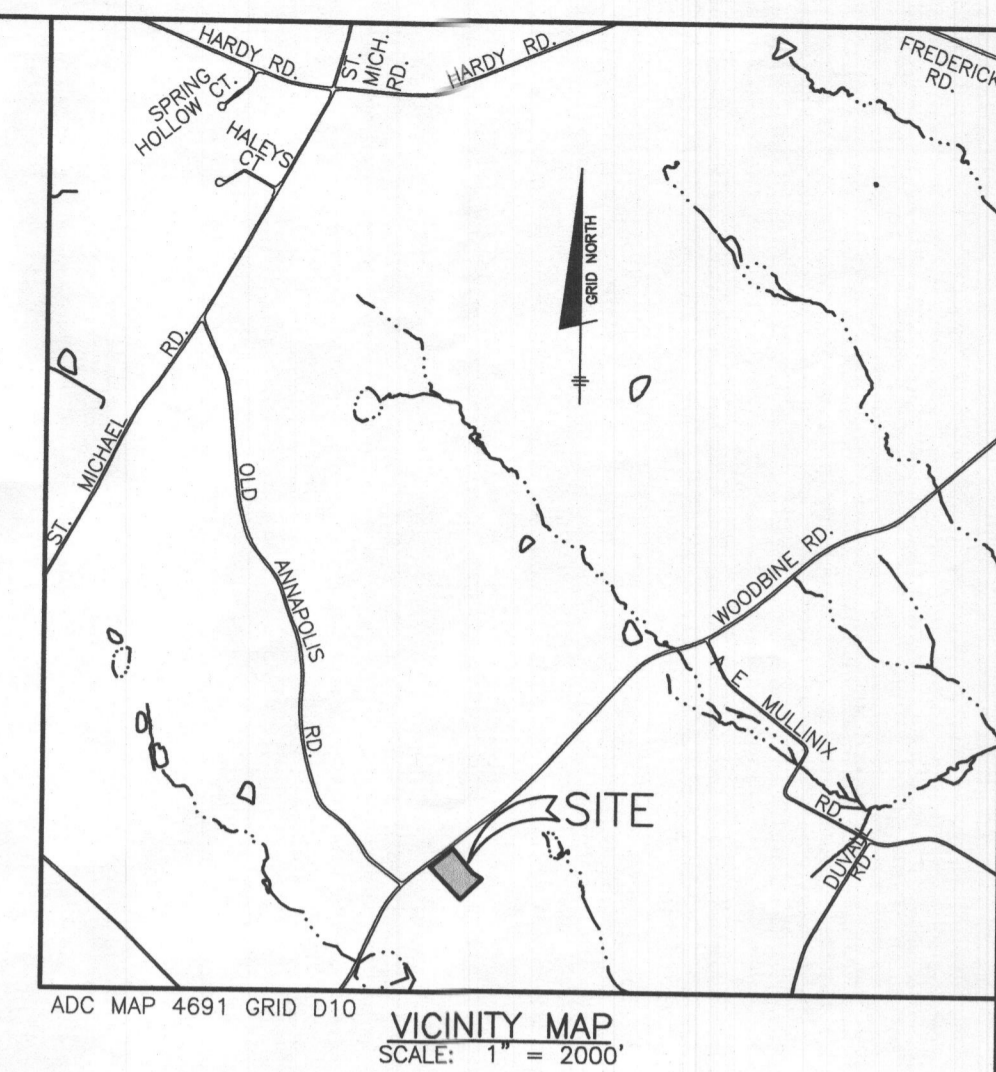
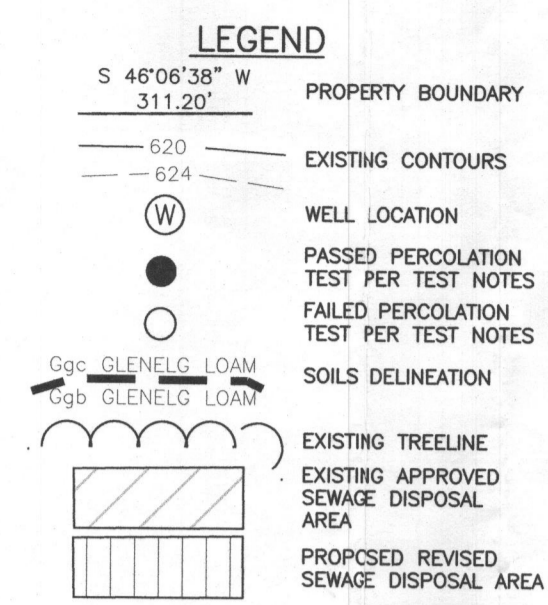
OWNER: HOMES FOR OUR TROOPS, INC. 6 MAIN STREET TAUNTON, MA 02780 866-7-TROOPS	PROJECT: <b>SPRING ROCK FARM LOT 1</b>
LOCATION: TAX MAP: 07, GRID: 21, PARCEL 392 2301 WOODBINE ROAD WOODBINE, MD 21797 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ACCOUNT IDENTIFIED 04-354524	TITLE: <b>REVISED PERCOLATION CERTIFICATION PLAN</b>
DATE: DECEMBER, 2021	PROJECT NO. 3038
DRAFT: CBD DESIGN: JC CHECK: -	SCALE: 1" = 30' SHEET 1 OF 1

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND

SYMBOL	HYDRIC	HYDROLOGIC GROUP	ALTERNATE GROUP	NAME
GgB		B		GLENELG LOAM, 3 TO 8 PERCENT SLOPES
GgC		B		GLENELG LOAM, 8 TO 15 PERCENT SLOPES

\* INDICATES HYDRIC SOILS  
\*\* HIGHLY ERODIBLE, K>0.35, AND/OR 15% OR GREATER SLOPES  
TAKEN FROM THE NRCS WEB SOIL SURVEY, AUGUST 2014. SHEET 16





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- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT. THE LOT SIZE FOR THIS LOT WILL FULFILL THE REQUIREMENTS OF THE ZONING REGULATIONS.
- ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY'S BOUNDARIES EXCEPT THAT WHICH ARE SHOWN. INFORMATION CONCERNING THE ADJOINING PROPERTIES HAS BEEN OBTAINED FROM THE BUREAU OF ENVIRONMENTAL HEALTH, HOWARD COUNTY GIS, AND THE ENGINEER/SURVEYOR OF THE ORIGINAL PERCOLATION CERTIFICATION. THE WELL ON 2281 WOODBINE ROAD WAS FIELD LOCATED BY POTOMAC VALLEY SURVEYS, INC., IN FEBRUARY, 2022, AND IS ACCURATELY SHOWN.
- GROUNDWATER APPROPRIATIONS PERMIT (GAP) IS NOT REQUIRED FOR THIS LOT.
- THE EXISTING TOPOGRAPHY SHOWN IS TAKEN FROM A SURVEY BY POTOMAC VALLEY SURVEYS, INC., DATED NOV., 2020 AND SUPPLEMENTED WITH HOWARD COUNTY GIS. TRACT OUTLINE SHOWN IS FROM A BOUNDARY SURVEY BY POTOMAC VALLEY SURVEYS, INC., DATED NOV., 2020.
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- THE PURPOSES OF THIS REVISED PERCOLATION CERTIFICATION IS TO ADJUST EXISTING PRIVATE SEWAGE DISPOSAL AREA ON LOT 1 DUE TO TRENCH LAYOUT AND SWALE SETBACK; AND TO ADD A 1,500 SF WELL ZONE WITH ELLIPTICAL RADIUS OF 100 FEET AROUND THE ENTIRE WELL ZONE.
- ANY MICRO-BIORETENTION FACILITIES WITHIN 100 FEET OF A WELL, AS MEASURED FROM THE WELL BOX TO THE FILTER MEDIA, SHALL BE LINED. LINING WILL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT DETAIL AS SHOWN ON THE FINAL CONSTRUCTION PLAN. MICRO-BIORETENTION FACILITIES ARE NOT ALLOWED WITHIN 50' OF WELL OR WELL BOXES.
- PERCOLATION TEST FEE RECEIPT NUMBER, REFERENCED IN THE APPROVING AUTHORITY CORRESPONDENCE, IS 447337.
- MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED VARIANCES ON 2022 FOR THE WELL LOCATION ON THIS PARCEL BEING DOWNGRADE OF THE SEWAGE DISPOSAL AREA ON 2308 WOODBINE ROAD, AND FOR THE WELL ON SPRING ROCK FARM, LOT 3 BEING DOWNGRADE OF THE SEWAGE DISPOSAL AREA ON SPRING ROCK FARM, LOT 1. THE CONDITIONS OF THE VARIANCE APPROVAL ARE THAT THE WELLS INSTALLED ON SPRING ROCK FARM, LOTS 1 AND 3, MUST BE INSTALLED AS STEEL CASING TO A DEPTH OF 50 FEET OR 10 FEET INTO COMPETENT ROCK, WHICHEVER IS DEEPER, AND THAT THE SEWAGE DISPOSAL FOR SPRING ROCK FARM, LOT 1, MUST UTILIZE BEST AVAILABLE TECHNOLOGIES (BAT) FOR NITROGEN REMOVAL AND LOW PRESSURE DOSING.
- THE WELL FOR THIS PARCEL MUST BE INSTALLED PRIOR TO BUILDING PERMIT APPROVAL FOR THE PROPOSED RESIDENCE. THE OFFICIAL WELL COMPLETION REPORT MUST BE RECEIVED AT THE HEALTH DEPARTMENT, AND THE WELL FIELD AND CONSTRUCTION APPROVED BY AN ENVIRONMENTAL SANITARIAN BEFORE APPROVAL OF THE BUILDING PERMIT.

SPEC SHEET INFORMATION - Lot 1 - DATED 10/26/2020			
System	Application Rate	Effective Depth	Bottom Depth
Initial	0.8	7.0	8.0
1st Repair	0.8	7.0	8.0
2nd Replacement	0.8	7.0	8.0

PLAN  
SCALE: 1" = 50'

**THIS REVISED PERCOLATION CERTIFICATION PLAN IS FOR THE FOLLOWING:**

- ADD A 1,500 SF WELL BOX ON LOT 1.
- ADJUST THE SEPTIC DISPOSAL AREA ON LOT 1.
- SHOW THE FIELD LOCATED EXISTING WELL ON 2281 WOODBINE ROAD.

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*John Carney*  
PLAN PREPARER  
JOHN CARNEY, P.E.  
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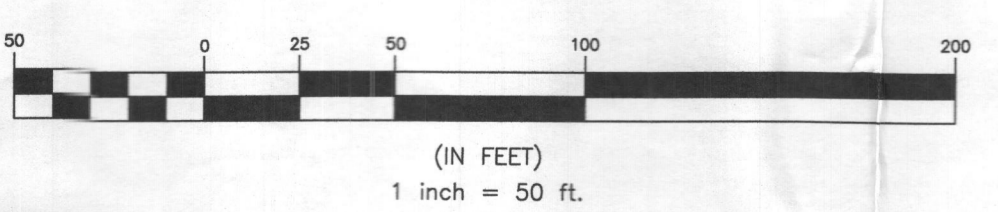
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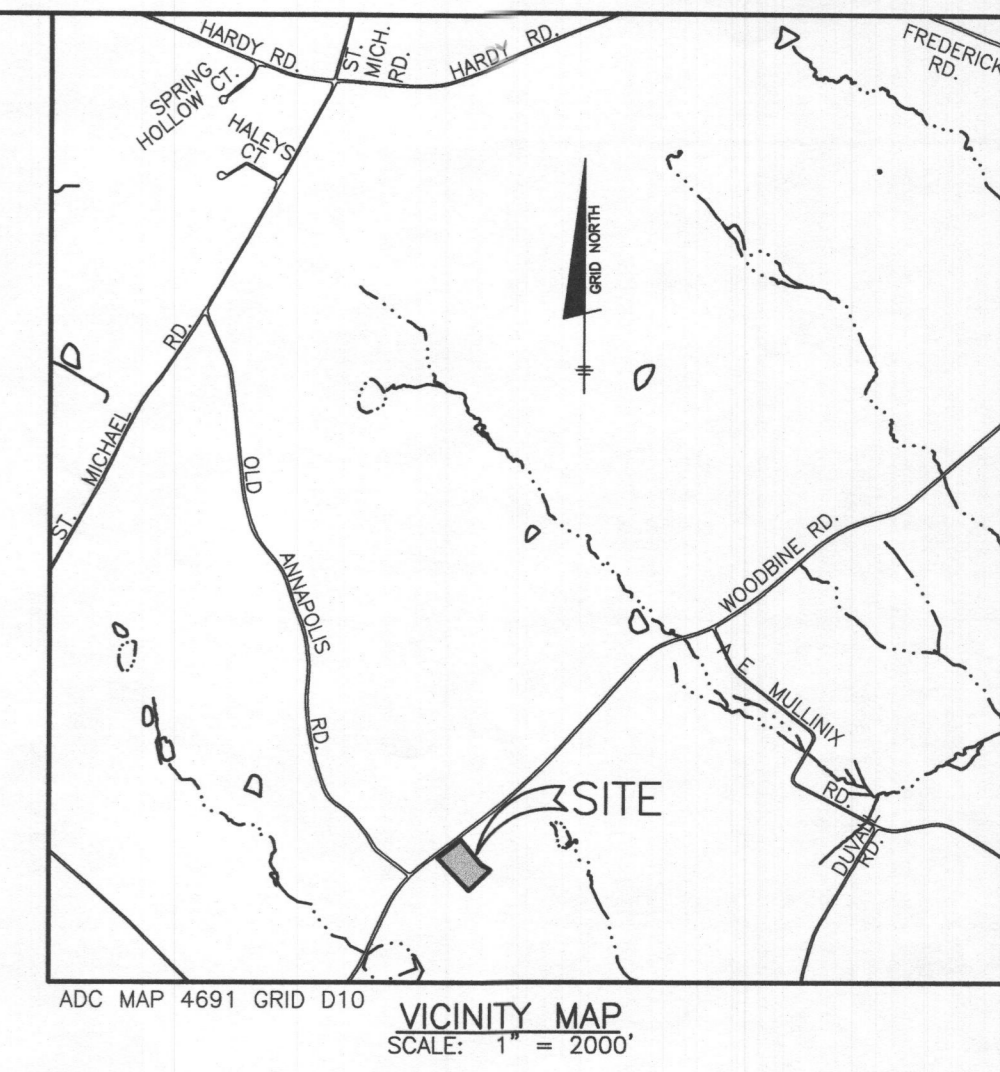
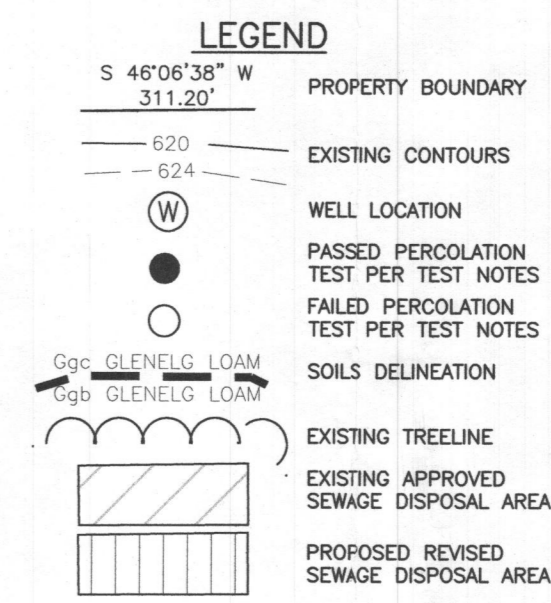
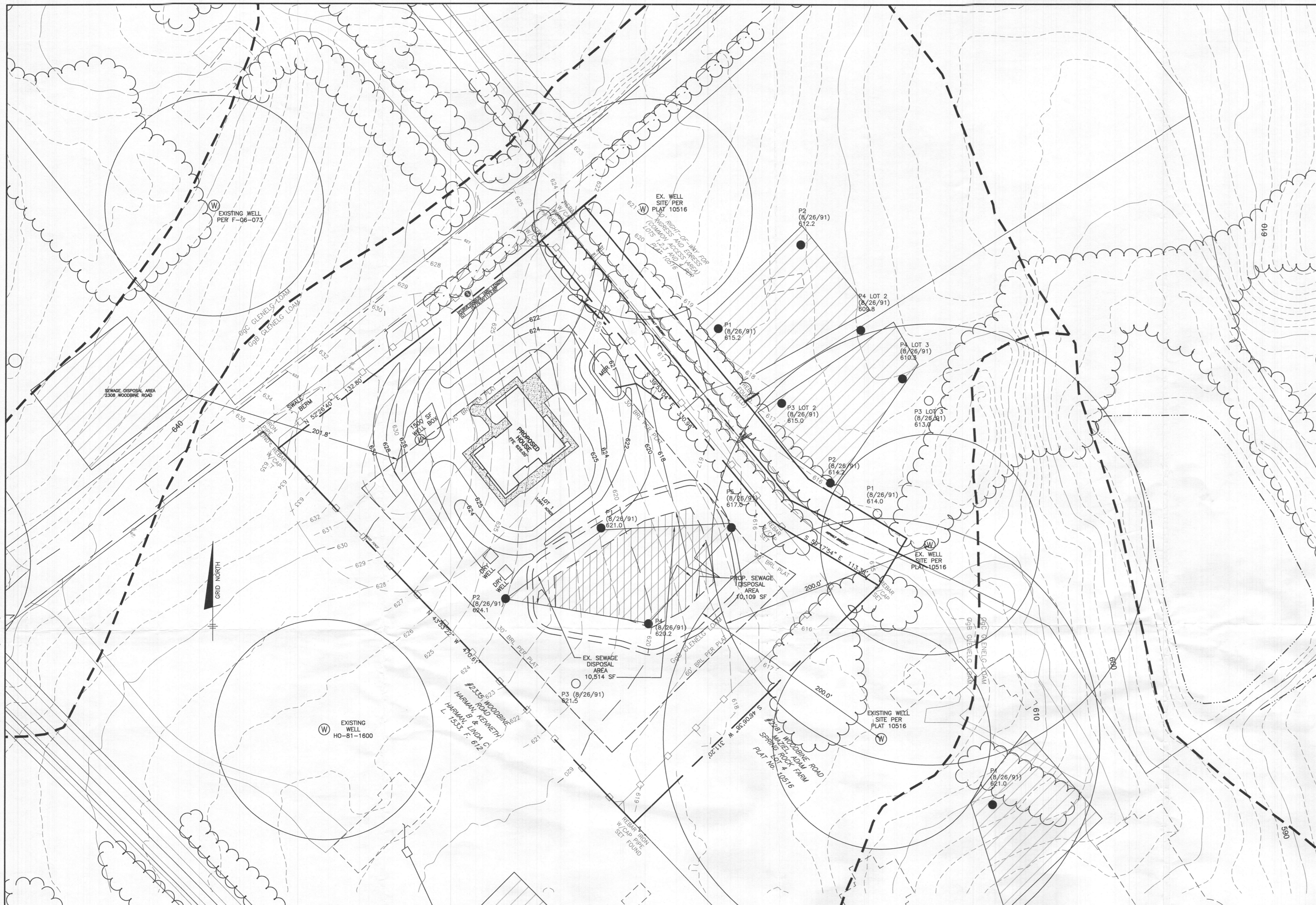
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OWNER: HOMES FOR OUR TROOPS, INC. 6 MAIN STREET TAUNTON, MA 02780 866-7-TROOPS	PROJECT: <b>SPRING ROCK FARM LOT 1</b>
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DATE: FEBRUARY, 2022	PROJECT NO. 3038
SCALE: 1" = 30'	SHEET 1 OF 1

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND			
SYMBOL	HYDRIC	HYDROLOGIC GROUP	ALTERNATE GROUP
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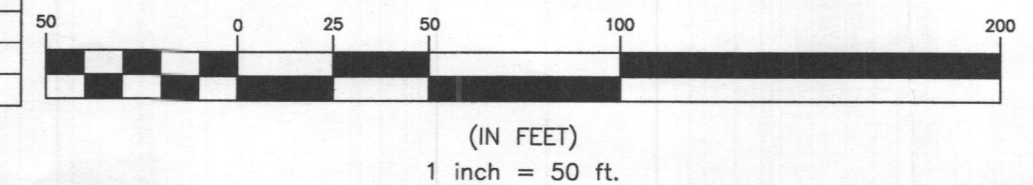
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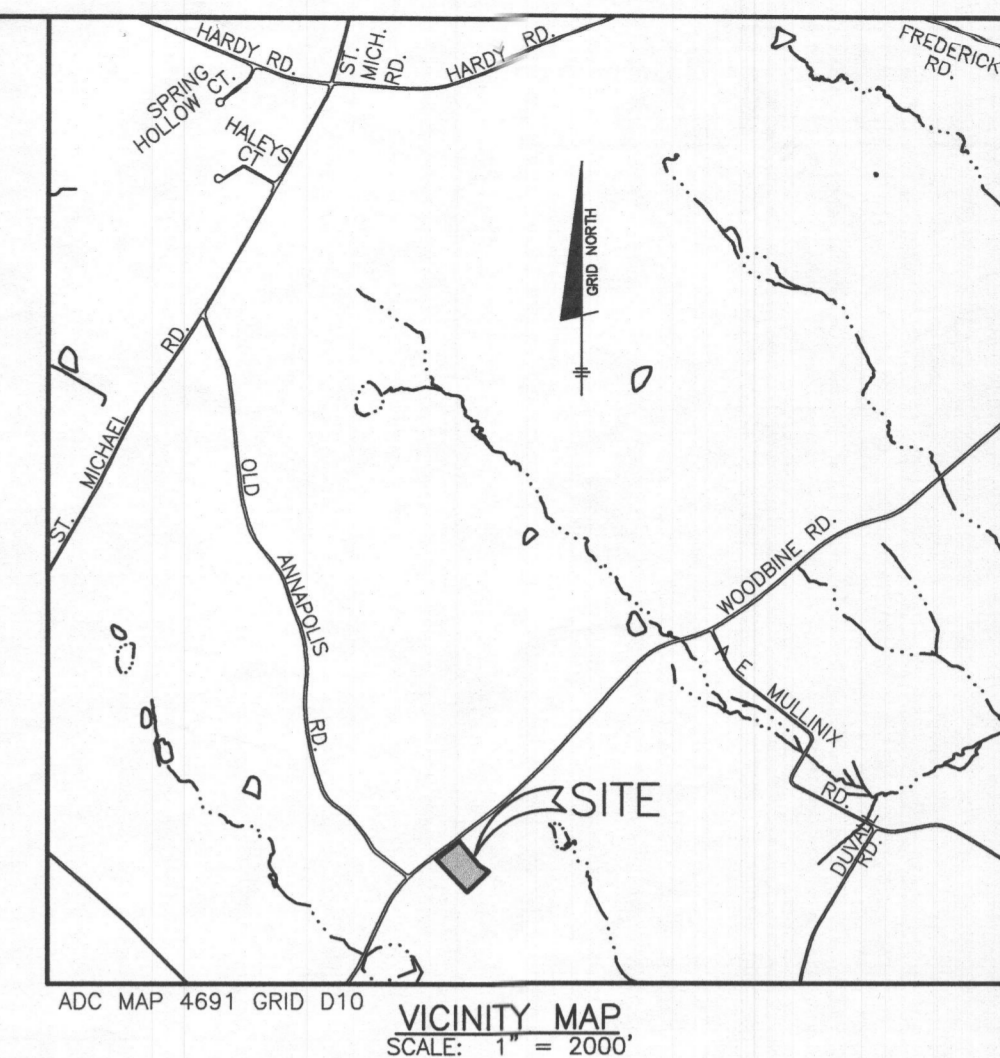
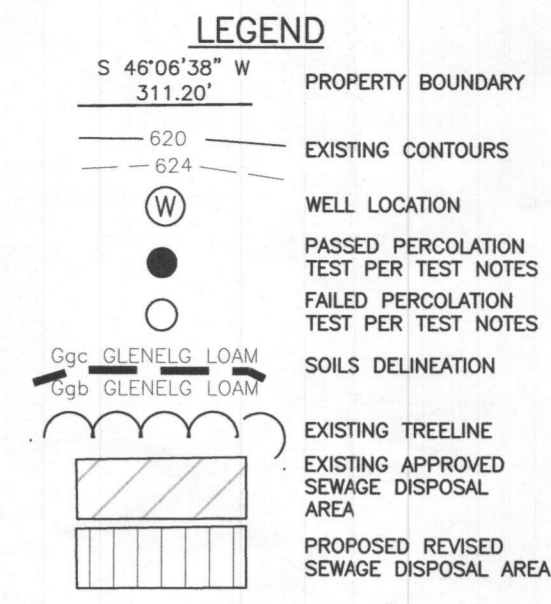
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  - SHOW THE FIELD LOCATED EXISTING WELL ON 2281 WOODBINE ROAD.

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*John Carney* 2/9/22  
PLAN PREPARER  
JOHN CARNEY, P.E.  
FOR BENCHMARK ENGINEERING, INC.

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

**BENCHMARK**  
ENGINEERS • LAND SURVEYORS • PLANNERS  
**ENGINEERING, INC.**

8480 BALTIMORE NATIONAL PIKE & SUITE 315 • ELLICOTT CITY, MARYLAND 21043  
(P) 410-485-6105 (F) 410-485-6844

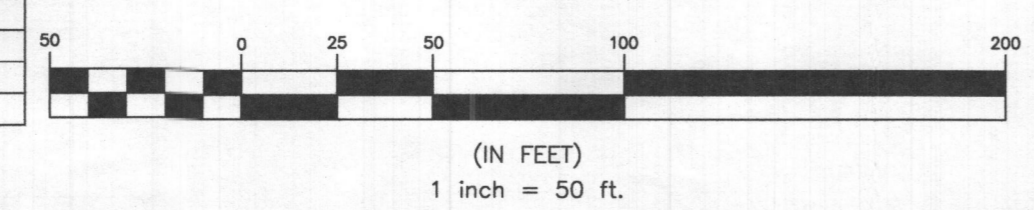
WWW.BE-CIVILENGINEERS.COM  
BE@BE-CIVILENGINEERING.COM

<p>OWNER: HOMES FOR OUR TROOPS, INC. 6 MAIN STREET TAUNTON, MA 02780 866-7-TROOPS</p>	<p>PROJECT: <b>SPRING ROCK FARM LOT 1</b></p> <p>LOCATION: TAX MAP: 07, GRID: 21, PARCEL 392 2301 WOODBINE ROAD WOODBINE, MD 21797 FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ACCOUNT IDENTIFIED 04-354524</p> <p>TITLE: <b>REVISED PERCOLATION CERTIFICATION PLAN</b></p>
<p>DATE: FEBRUARY, 2022</p>	<p>PROJECT NO. 3038</p>
<p>DRAFT: CBD DESIGN: JC CHECK: -</p>	<p>SCALE: 1" = 30' SHEET 1 OF 1</p>

**SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND**

SYMBOL	HYDRIC	HYDROLOGIC GROUP	ALTERNATE GROUP	NAME
GgB	B			GLENELG LOAM, 3 TO 8 PERCENT SLOPES
GgC	B			GLENELG LOAM, 8 TO 15 PERCENT SLOPES

\* INDICATES HYDRIC SOILS  
\*\* HIGHLY ERODIBLE, K>0.35, AND/OR 15% OR GREATER SLOPES  
TAKEN FROM THE NRCS WEB SOIL SURVEY, AUGUST 2014. SHEET 16



**HOMES FOR OUR TROOPS**

RANK - VETERAN NAME  
ADDRESS CITY, STATE ZIP

**GENERAL CONTRACTOR**

INSTERT GC NAME AND  
NUMBER HERE

**HFOT PROJECT MANAGER**

INSERT HFOT PM NAME HERE  
NUMBER  
EMAIL



**PROJECT SUMMARY**

PROJECT SCOPE: NEW CUSTOM HOME BUILD

CONSTRUCTION TYPE: LIGHT WOOD FRAME SLAB ON GRADE

**BUILDING INFORMATION**

CONDITIONED AREA: 2855 SF  
GARAGE AND MECHANICAL AREA: 763 COVERED  
COVERED PORCHES AREA: 489 SF

EXTERIOR CONCRETE FLATWORK AREA: 2240 SF

DRIVEWAY(SEE SITE PLAN):

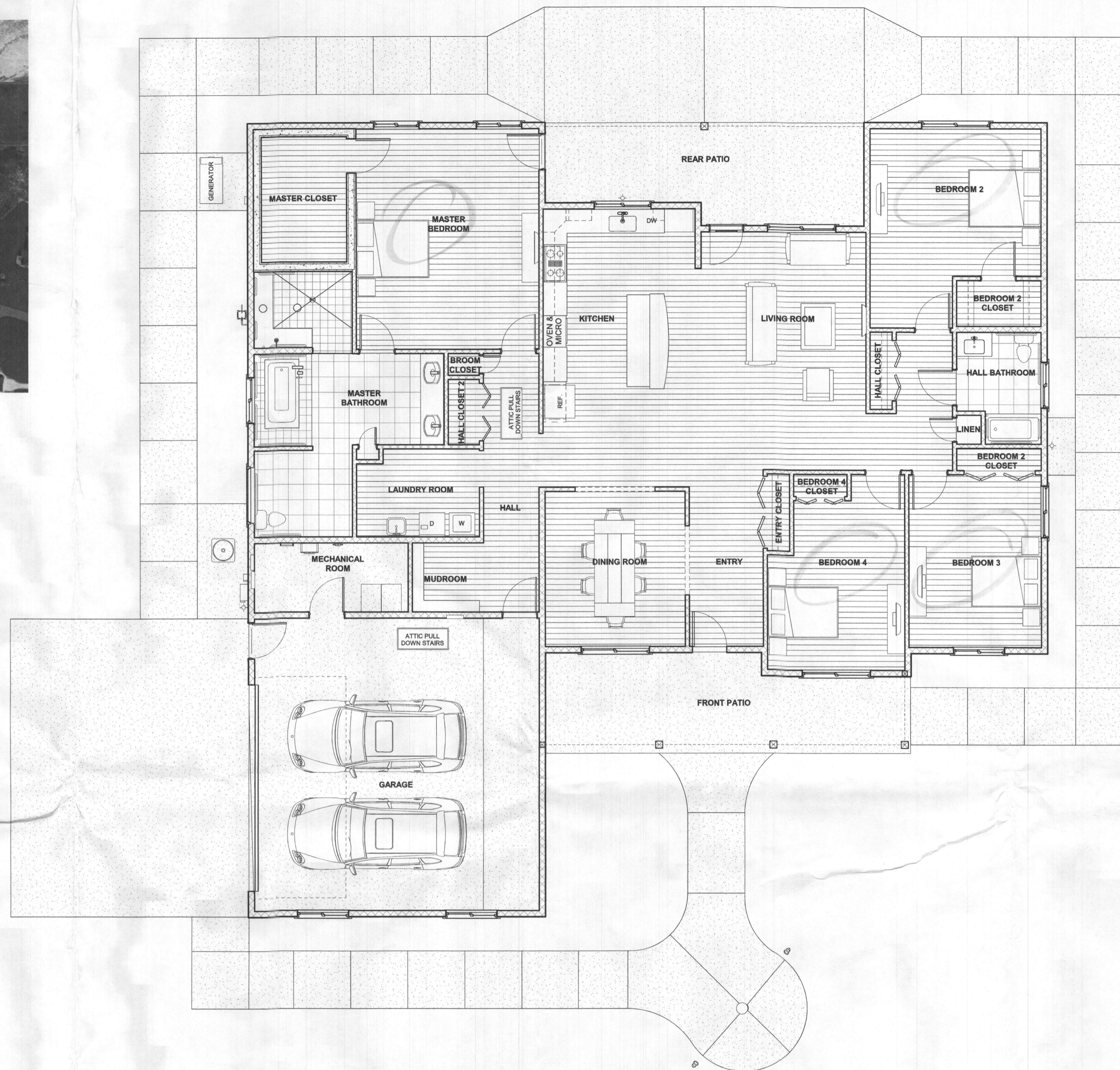
TOTAL IMPERVIOUS SURFACES: 6347 SF + DRIVEWAY

**UTILITIES**

WATER SUPPLY: PRIVATE WELL / PUBLIC WATER

ELECTRIC: PUBLIC UTILITY PROVIDER WITH 20KW BACKUP  
GENERATOR

WASTE DISPOSAL: ON SITE SEPTIC SYSTEM/ PUBLIC SEWER



5 FLOOR PLAN  
1/4" = 1'-0"

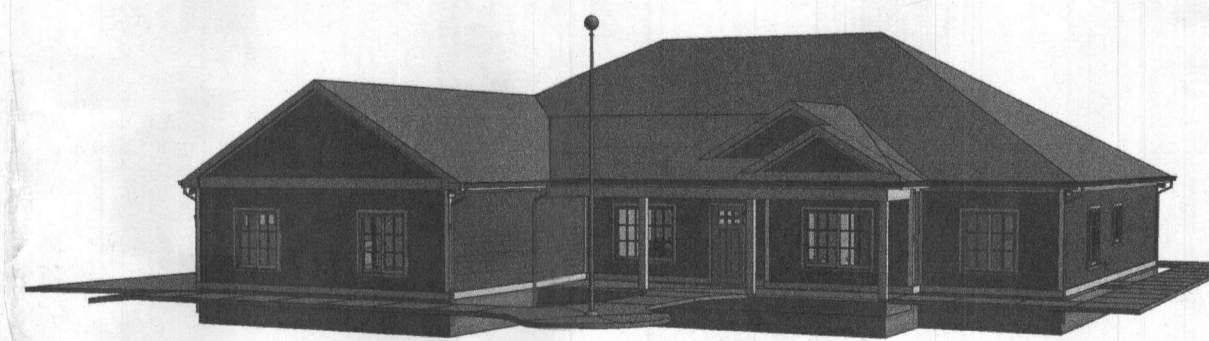
TABLE OF CONTENTS			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
A0.0	COVER PAGE		
A1.0	FRAMING PLAN	2	10.02.20
A1.2	REFLECTED CEILING PLAN		
A1.3	ROOF PLAN		
A1.4	BUILDING SECTION AND INSULATION		
A1.5	FINISH WORK AND MATERIALS	4	10.02.20
A1.6	INTERIOR ELEVATIONS AND DETAILS PART 1		
A1.7	CABINET LAYOUTS		
A1.8	COUNTER TOPS		
A2.0	EXTERIOR ELEVATIONS	1	10.02.20
E1.0	LIGHTING AND FIRE SAFETY	6	10.02.20
E1.1	RECEPTACLE, APPLIANCE, AND LOW VOLTAGE	6	10.02.20
H1.0	HVAC PLAN		
L1.0	EXTERIOR FLATWORK AND LANDSCAPING		
P1.0	PLUMBING FIXTURE PLAN		
P1.1	UNDERGROUND PLUMBING PLAN		
S1.0	FOUNDATION PLAN		
S2.0	FEMA SAFE ROOM		

**ABBREVIATIONS**

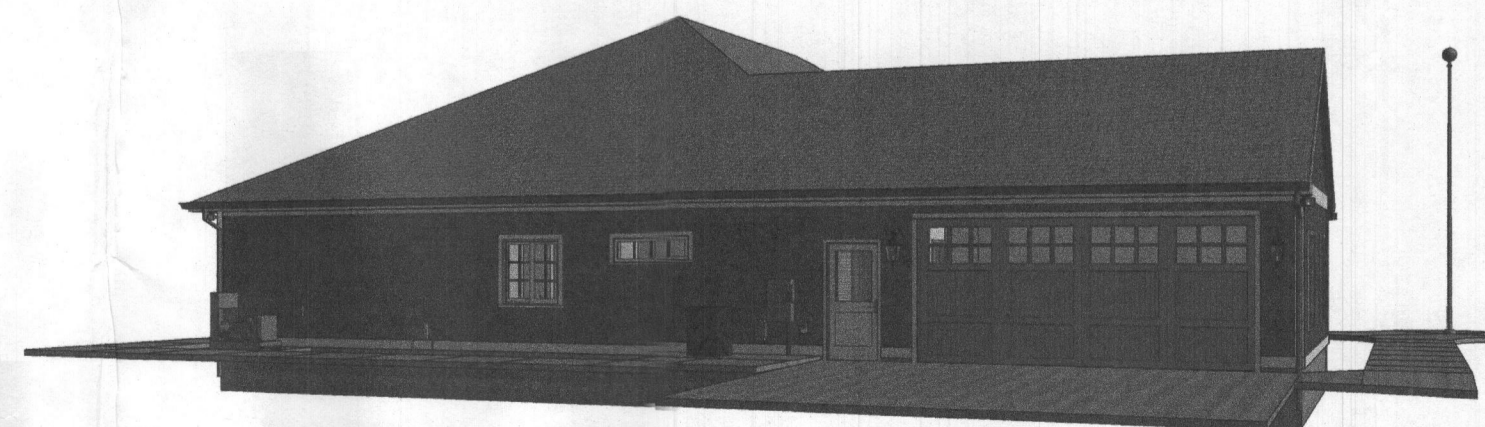
AFF	ABOVE FINISHED FLOOR
BT	BETWEEN
CM	CONSTRUCTION MANAGER
DBL	DOUBLE
DW	DISH WASHER
FDN	FOUNDATION
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
FJ	FINGER JOINTED
HFOT CM	HOMES FOR OUR TROOPS CONSTRUCTION MANAGER
I & W	ICE AND WATER SHIELD
KD	KILN DRIED
LP	LIQUID PROPANE
LVT	LUXURY VINYL TILE
LVP	LUXURY VINYL PLANK
PMJF	PRE MOLDED JOINT FILLER
PT	PRESSURE TREATED
SPF	SPRAY POLYURETHANE FOAM
T.O.	TOP OF
WWF	WELDED WIRE FABRIC

4 ABBREVIATIONS  
1/4" = 1'-0"

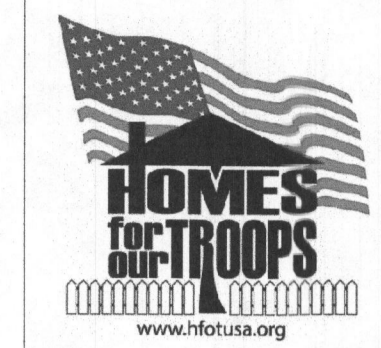
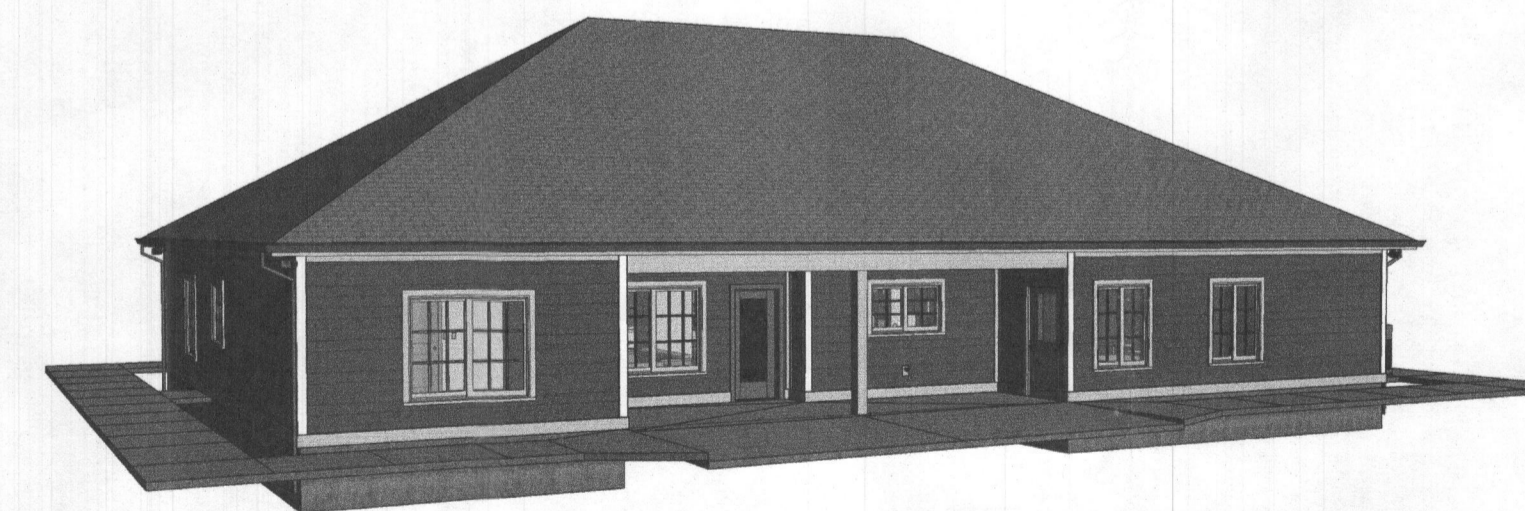
1 FRONT



2 LEFT SIDE



3 REAR



6 MAIN STREET  
TAUNTON, MA 02780  
P: 866-7-TROOPS  
F: 508-823-5411

AMERICAN DREAM  
PLAN B - 4B  
CONSTRUCTION USE

THIS HFOT HOME PLAN IS TO  
BE USED FOR THE SOLE  
PURPOSE OF CONSTRUCTING  
AN AUTHORIZED HFOT HOME  
FOR A VETERAN  
CONTRACTED UNDER THE  
HFOT PROGRAM.

REVISIONS			
NO.	BY	DESCRIPTION	DATE

GENERAL CONTRACTOR

HFOT CONSTRUCTION MANAGER

ARCHITECT

STRUCTURAL ENGINEER

RANK - VETERAN NAME  
ADDRESS CITY, STATE  
ZIP

COVER PAGE

Approver  
Drawn By  
Designer

1/4" = 1'-0"  
A0.0  
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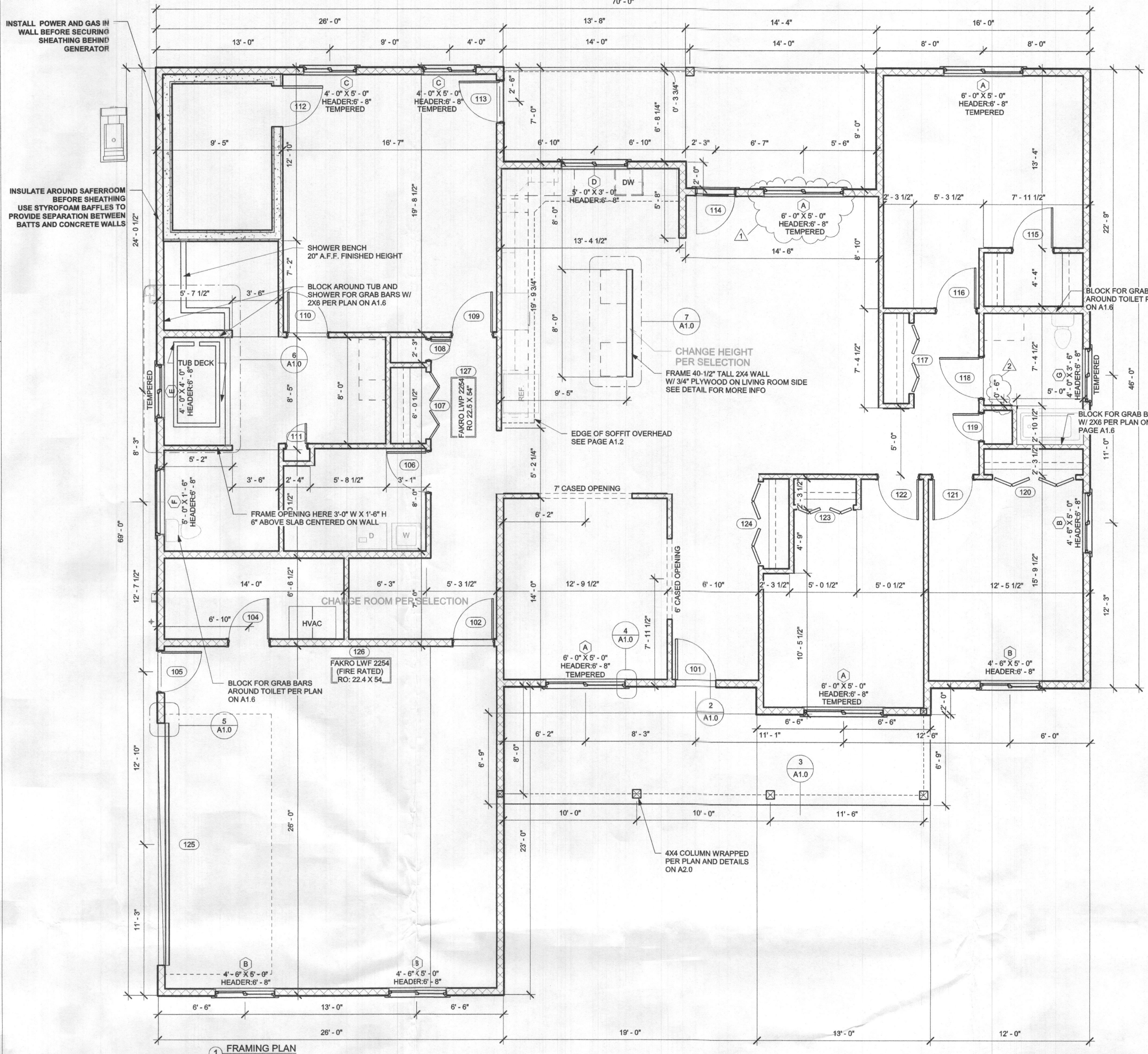
*Spring  
Rock  
Farm  
Lot 1  
4 Bed-  
rooms*

WINDOW SCHEDULE													
TYPE	ROUGH WIDTH	ROUGH HEIGHT	HEADER HEIGHT	JAMB SIZE	SIDING	INT. CASING SIZE	EXT. CASING SIZE	MANUFACTURER	GLASS TYPE	U FACTOR	Count	Location	Comments
A	6'-0"	5'-0"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	TEMPERED LOW E DOUBLE PANE W/ ARGON	0.27	4	LIVING RM, BEDROOM 2, BEDROOM 4, DINING	
B	4'-6"	5'-0"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	LOW E DOUBLE PANE W/ ARGON	0.27	4	GARAGE, BED 3	
C	4'-0"	5'-0"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	TEMPERED LOW E DOUBLE PANE W/ ARGON	0.27	2	MASTER BEDROOM	
D	5'-0"	3'-0"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	LOW E DOUBLE PANE W/ ARGON	0.27	1	KITCHEN	
E	4'-0"	4'-0"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	TEMPERED LOW E DOUBLE PANE W/ ARGON	0.27	1	MASTER BATHROOM	
F	5'-0"	1'-6"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	LOW E DOUBLE PANE W/ ARGON	0.27	1	MASTER BATHROOM	
G	4'-0"	3'-6"	6'-8"	6-9/16"		0'-2 1/4"	5/4 X 4	MIWD	TEMPERED LOW E DOUBLE PANE W/ ARGON	0.27	1	HALL BATHROOM	

DOOR SCHEDULE												
Mark	SIZE	RO WIDTH	RO HEIGHT	DOOR TYPE	THRESHOLD	DOOR MATERIAL	FIRE RATING	ASSISTED OPENING	DOOR STYLE	Comments		
101	3-0 x 6-8	39"	82"	EXTERIOR	ADA	FIBERGLASS	20 MINUTES	No	A			
102	3-0 x 6-8	39"	82"	EXTERIOR	ADA	FIBERGLASS	20 MINUTES	No	D			
104	3-0 x 6-8	39"	82"	EXTERIOR	ADA	FIBERGLASS		No	B			
105	3-0 x 6-8	39"	82"	EXTERIOR	ADA	FIBERGLASS		No	D	INTEGRAL BLINDS BETWEEN GLASS		
106	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
107	5-0 x 6-8	63"	82"	INTERIOR BI-FOLD	NONE	HOLLOW CORE		No	I	BI FOLD DOOR HARDWARE TO BE JOHNSON HARDWARE 100FD BI-FOLD DOOR HARDWARE		
108	1-6 x 6-8	21"	82"	INTERIOR	NONE	SOLID CORE		No	F			
109	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
110	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
111	1-6 x 6-8	21"	82"	INTERIOR	NONE	SOLID CORE		No	G			
112	3-0 x 6-8	39"	82"	INTERIOR	FEMA RATED	NONE	STEEL	No				
113	3-0 x 6-8	39"	82"	EXTERIOR	ADA	FIBERGLASS		No	B	INTEGRAL BLINDS BETWEEN GLASS		
114	3-0 x 6-8	39"	82"	EXTERIOR	ADA	FIBERGLASS		Yes	C	INTEGRAL BLINDS BETWEEN GLASS		
115	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
116	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
117	6-0 x 6-8	75"	82"	INTERIOR BI-FOLD	NONE	HOLLOW CORE		No	I	BI FOLD DOOR HARDWARE TO BE JOHNSON HARDWARE 100FD BI-FOLD DOOR HARDWARE		
118	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
119	2-0 x 6-8	27"	82"	INTERIOR	NONE	SOLID CORE		No	G			
120	6-0 x 6-8	75"	82"	INTERIOR BI-FOLD	NONE	HOLLOW CORE		No	H	BI FOLD DOOR HARDWARE TO BE JOHNSON HARDWARE 100FD BI-FOLD DOOR HARDWARE		
121	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
122	3-0 x 6-8	39"	82"	INTERIOR	NONE	SOLID CORE		No	D			
123	4-0 x 6-8	51"	82"	INTERIOR BI-FOLD	NONE	HOLLOW CORE		No	E	BI FOLD DOOR HARDWARE TO BE JOHNSON HARDWARE 100FD BI-FOLD DOOR HARDWARE		
124	6-0 x 6-8	75"	82"	INTERIOR BI-FOLD	NONE	HOLLOW CORE		No	H	BI FOLD DOOR HARDWARE TO BE JOHNSON HARDWARE 100FD BI-FOLD DOOR HARDWARE		
125	18-0 x 8-0	18' 2"	8' 1"	GARAGE	NONE	STEEL W/FOAM CORE		No	J			

**WINDOW NOTES:**  
 1. WINDOW HANDLES AND LOCKING MECHANISM TO BE CENTERED ON WINDOW ON ALL WINDOWS.  
 2. ALL WINDOWS TO BE PROPERLY INSTALLED AND FLASHED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
 3. UNLESS NOTED OTHERWISE WINDOW CONSTRUCTION IS TO BE VINYL W/ WAILING FLANGE.

**DOOR NOTES:**  
 1. ALL DOORS TO HAVE ADA APPROVED LEVERS.  
 2. ALL HARDWARE IS TO HAVE BRUSHED NICKEL FINISH.  
 3. ALL GLAZING ON DOORS SHALL BE TEMPERED.  
 4. ADA APPROVED DEAD BOLTS ARE REQUIRED ON ALL EXTERIOR DOORS. ALL DEADBOLTS ARE TO BE KEYS ALIKE.  
 5. NO THUMB LATCHES ARE ALLOWED.  
 6. THRESHOLDS ARE ONLY ACCEPTABLE ON EXTERIOR DOORS. THRESHOLDS AND TRANSOMS ARE NOT PERMITTED AT INTERIOR DOORS.  
 7. MECHANICAL ROOM AND GARAGEHOUSE DOOR SHOULD BE SMOKE SEALING AND HAVE A 20 MINUTE FIRE RATING MIN.  
 8. DUMMY LEVERS MUST BE INSTALLED ON BI-FOLD DOORS.  
 9. EXTERIOR DOOR THRESHOLDS SHOULD HAVE A MAX REE OF 1/2 INCH FROM FINISHED FLOOR.  
 10. DOOR LEVERS TO BE FROM 36" TO 48" A.F.F.  
 11. BI FOLD DOOR HARDWARE TO BE JOHNSON HARDWARE 100FD BI-FOLD DOOR HARDWARE.



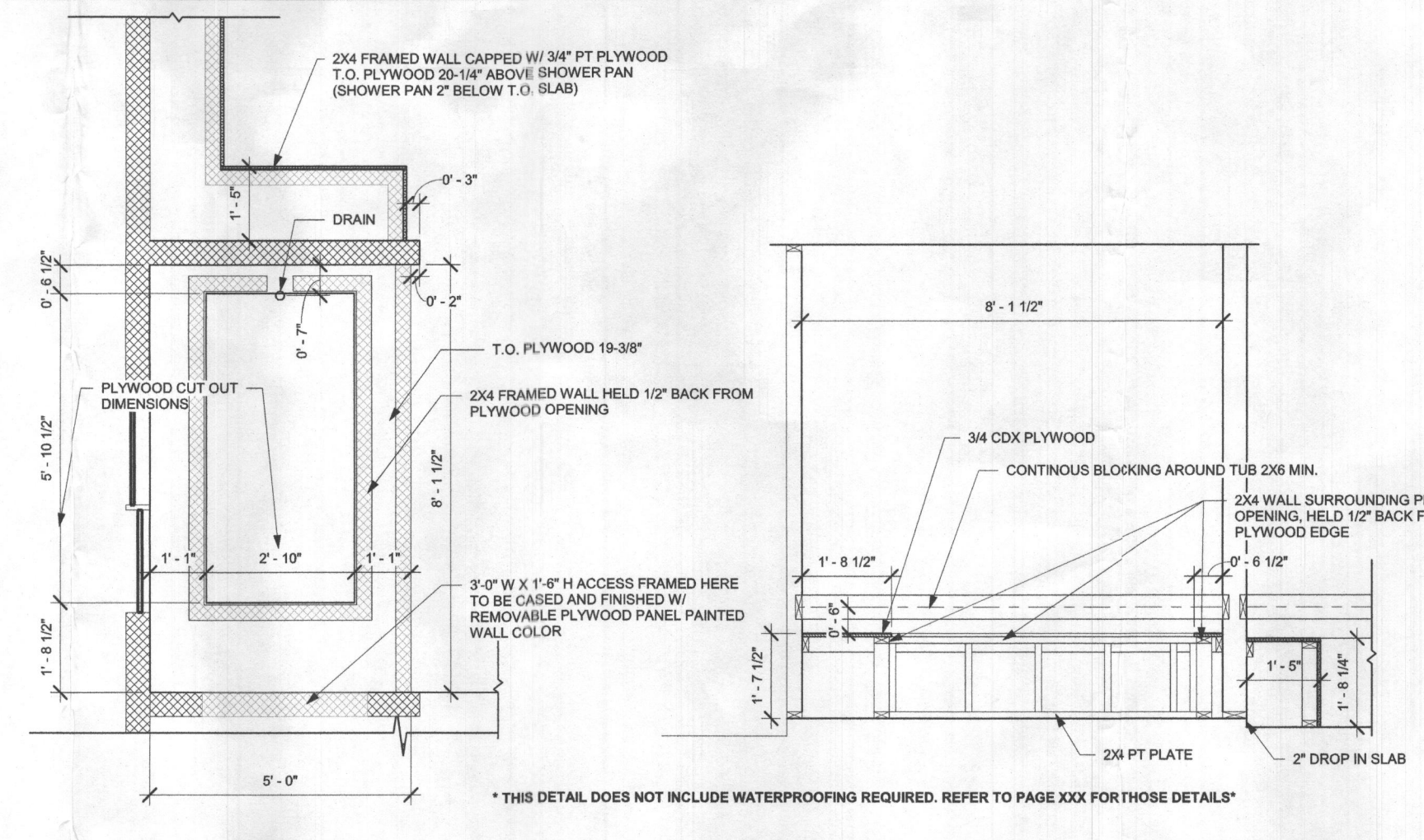
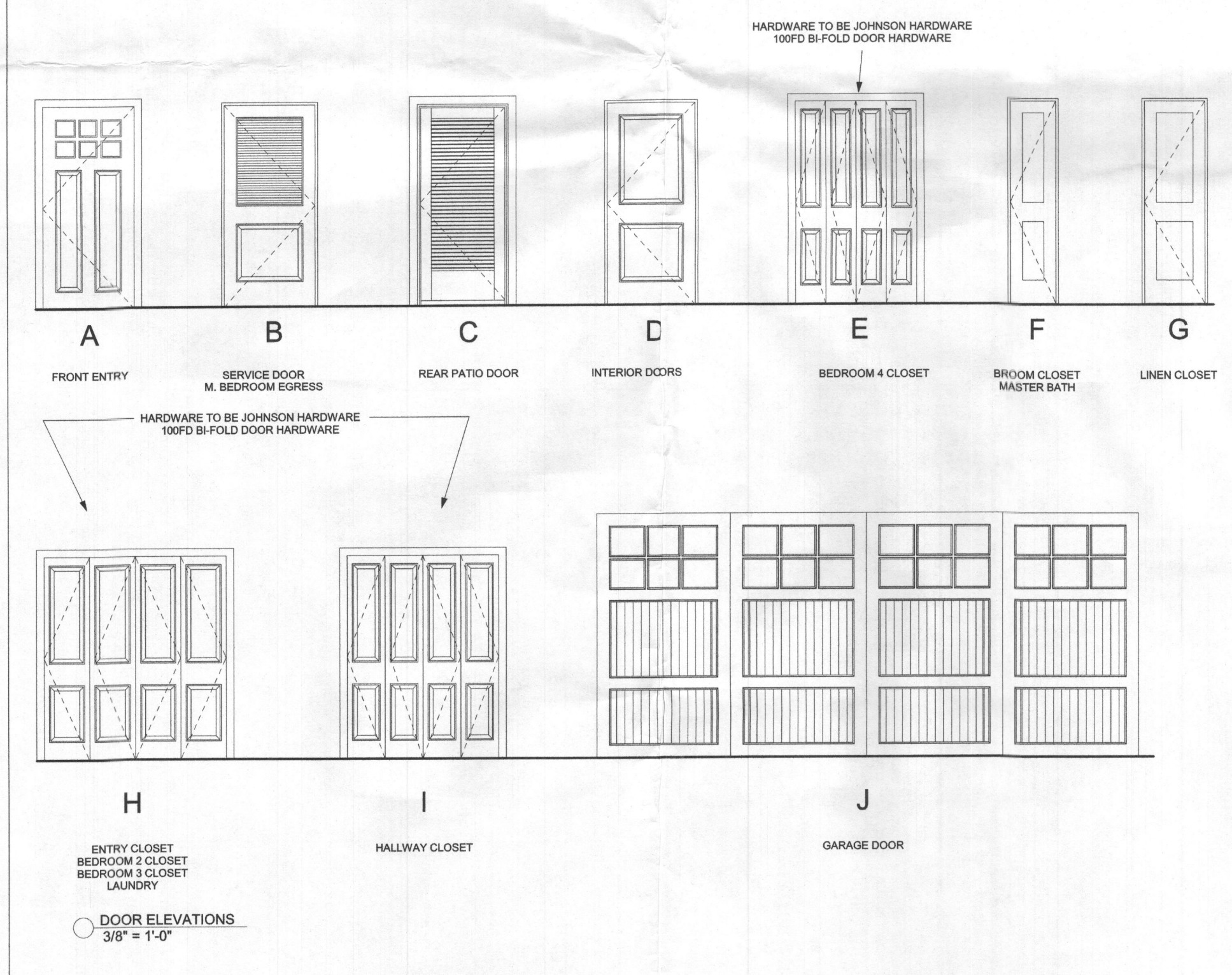
6 MAIN STREET  
 TAUNTON, MA 02780  
 P: 866-7-TROOPS  
 F: 508-823-5411

AMERICAN DREAM  
 PLAN B - 4B  
 CONSTRUCTION USE

THIS HFOT HOME PLAN IS TO BE USED FOR THE SOLE PURPOSE OF CONSTRUCTING AN AUTHORIZED HFOT HOME FOR A VETERAN CONTRACTED UNDER THE HFOT PROGRAM.

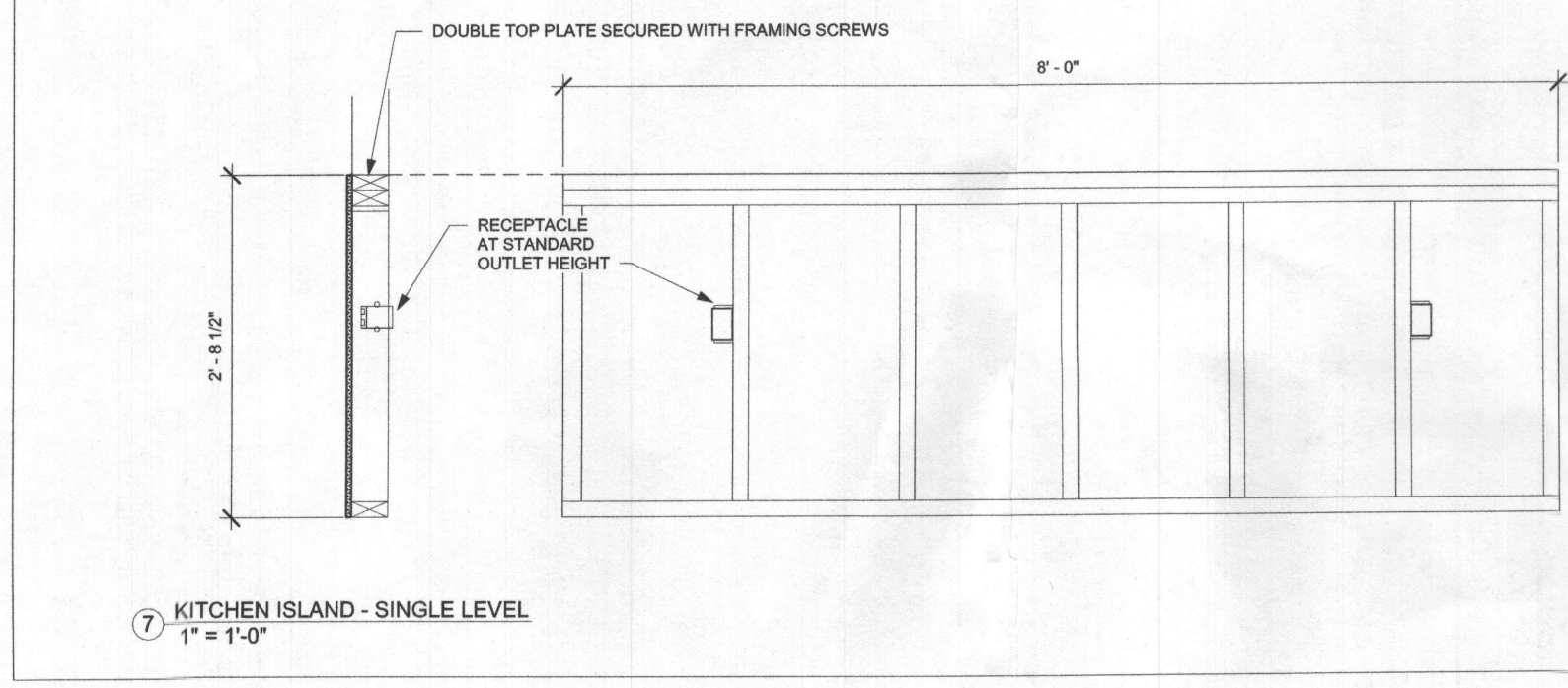
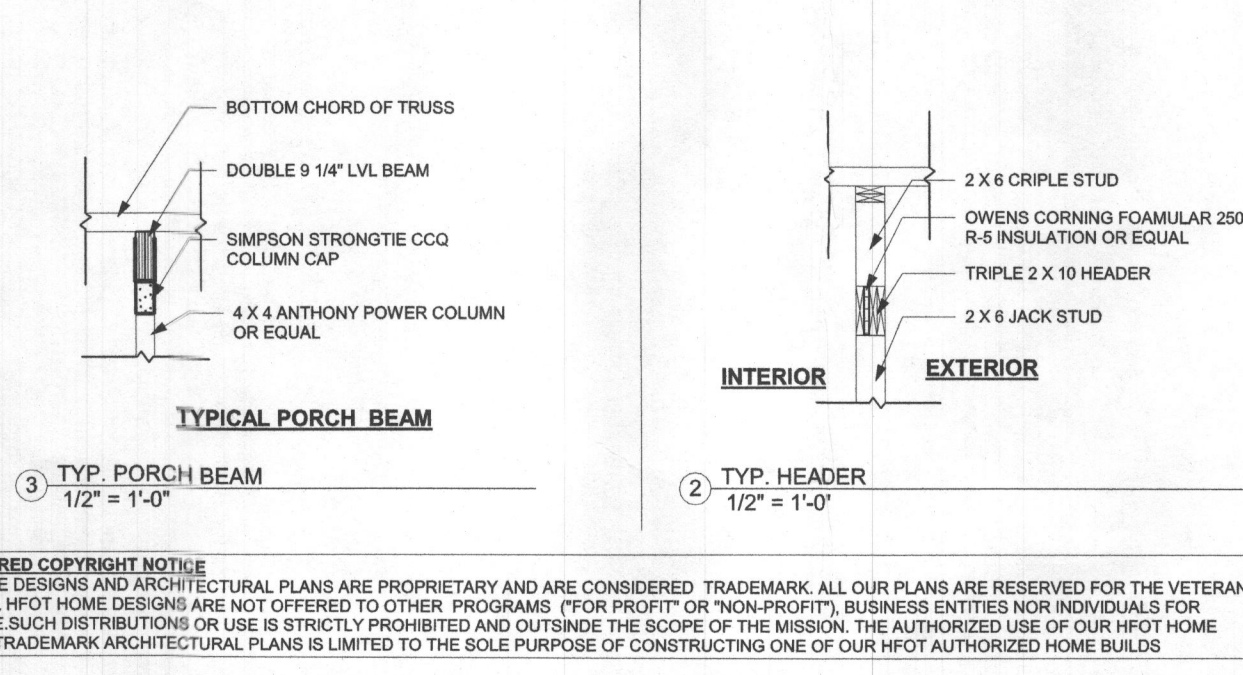
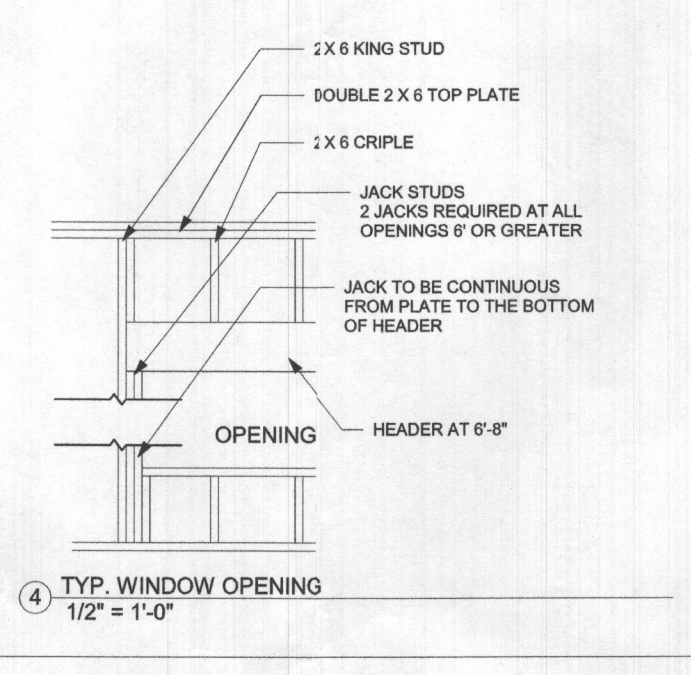
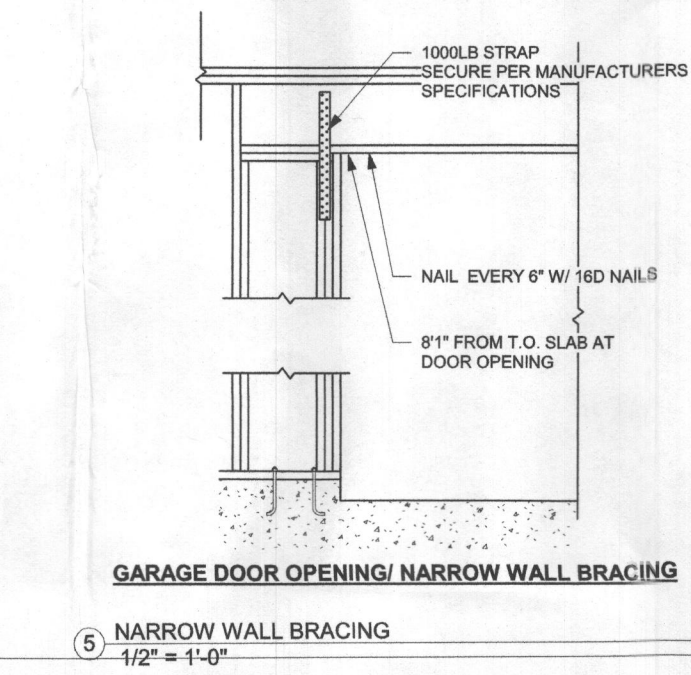
REVISIONS			
NO.	BY	DESCRIPTION	DATE
1		Living Room Window Change	10.02.20
2		Guest Bath Door and Switch Locations	10.02.20

GENERAL CONTRACTOR  
 HFOT CONSTRUCTION MANAGER  
 ARCHITECT



**GENERAL NOTES:**  
 1. ALL EXTERIOR DIMENSIONS ARE TO THE EXTERIOR EDGE OF EXTERIOR FRAMING.  
 2. ALL INTERIOR DIMENSIONS ARE TO EDGE OF FRAMING.  
 3. MASTER CLOSET DIMENSIONS MAY CHANGE DEPENDING ON METHOD USED TO CONSTRUCT THE SAFE ROOM (SEE PAGE S2.0).  
 4. ALL INTERIOR DOORS SHOULD BE AT LEAST 0'-4" FROM CLOSET WALL ON HINGE SIDE.  
 5. THE HOUSE MUST MEET ALL LOCAL BUILDING CODES, IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO ENSURE THIS.  
 6. ALL FRAMING IN CONTACT W/ CONCRETE IS REQUIRED TO BE PRESSURE TREATED (C/C).  
 7. USE SILL SEAL AT ALL EXTERIOR WALL SILLS.  
 8. USE SPECTRUM 2 CALKING ALONG THE BOTTOM OF SHEATHING AND TOP OF FOUNDATION STRUCTURE.  
 9. ALL HEADERS ON EXTERIOR WALLS MUST BE INSULATED TO AN R-5 VALUE WHEN ALLOWED BY LOCAL CODE.  
 10. PROVIDE CORROSION RESISTANT TERMITES SHIELD WHEN REQUIRED BY LOCAL CODE.  
 11. IF ENGINEERING IS PROVIDED REFER TO STRUCTURAL PLANS FOR DETAILS.  
 12. IF NO STRUCTURAL ENGINEERING IS PROVIDED FOLLOW THE DETAILS PROVIDED AS WELL AS REFERRING TO LOCAL CODE.  
 13. USE 2 X 8 BLOCKING AT ALL GRAB BAR LOCATIONS AND BEHIND CABINETRY.  
 14. PULL DOWN STAIRS MUST BE PROVIDED IN BOTH THE HALLWAY AND IN GARAGE AS SHOWN AND SPECIFIED IN PLAN.  
 15. PULL DOWN STAIRS IN LIVING SPACE TO HAVE RUBBER BUMPERS INSTALLED TO PROTECT FINISHED FLOOR.

**STRUCTURAL NOTES:**  
 1. ALL EXTERIOR WALLS ARE TO BE 2X6 @ 16" O.C.  
 2. INTERIOR WALLS ARE TO BE FRAMED AS SHOWN W/ STUDS @ 16" O.C.  
 3. SILL PLATE SHOULD BE SECURED TO FOUNDATION WITH 1/2" ANCHORS @ 6" O.C. WITH 7" OF CONCRETE COVERAGE.  
 4. A MIN. OF 18" OF SHEATHING SHOULD SECURE TOP PLATE TO THE STUDS.  
 5. ALL TRUSSES SHOULD BE SECURED IN ACCORDANCE OF ENGINEERS PLANS AND DIRECTIONS.  
 6. BEAMS ARE TO BE CONTINUOUS.  
 7. SEE IRC TABLE R602.3 FOR FASTENER SCHEDULE.



HFOT REGISTERED COPYRIGHT NOTICE  
 ALL HFOT HOME DESIGNS AND ARCHITECTURAL PLANS ARE PROPRIETARY AND ARE CONSIDERED TRADEMARK. ALL OUR PLANS ARE RESERVED FOR THE VETERANS WE SERVE. ALL HFOT HOME DESIGNS ARE NOT OFFERED TO OTHER PROGRAMS (FOR PROFIT OR NON-PROFIT), BUSINESS ENTITIES NOR INDIVIDUALS FOR PERSONAL USE. SUCH DISTRIBUTIONS OR USE IS STRICTLY PROHIBITED AND OUTSIDE THE SCOPE OF THE MISSION. THE AUTHORIZED USE OF OUR HFOT HOME DESIGNS AND TRADEMARK ARCHITECTURAL PLANS IS LIMITED TO THE SOLE PURPOSE OF CONSTRUCTING ONE OF OUR HFOT AUTHORIZED HOME BUILDS.

RANK - VETERAN NAME  
 ADDRESS CITY, STATE  
 ZIP

FRAMING PLAN

Approver As Indicated  
 Drawn By  
 Designer  
 11/6/2020  
 12:47:50 PM  
 A1.0



6 MAIN STREET  
TAUNTON, MA 02780  
P: 866-7-TROOPS  
F: 508-823-5411

AMERICAN DREAM  
PLAN B - 4B  
CONSTRUCTION USE

THIS HFOT HOME PLAN IS TO BE USED FOR THE SOLE PURPOSE OF CONSTRUCTING AN AUTHORIZED HFOT HOME FOR A VETERAN CONTRACTED UNDER THE HFOT PROGRAM.

NO.	BY	DESCRIPTION	DATE
4		Add Shelves at Master Bath Linen Closet	10.02.20

GENERAL CONTRACTOR

HFOT CONSTRUCTION MANAGER

ARCHITECT

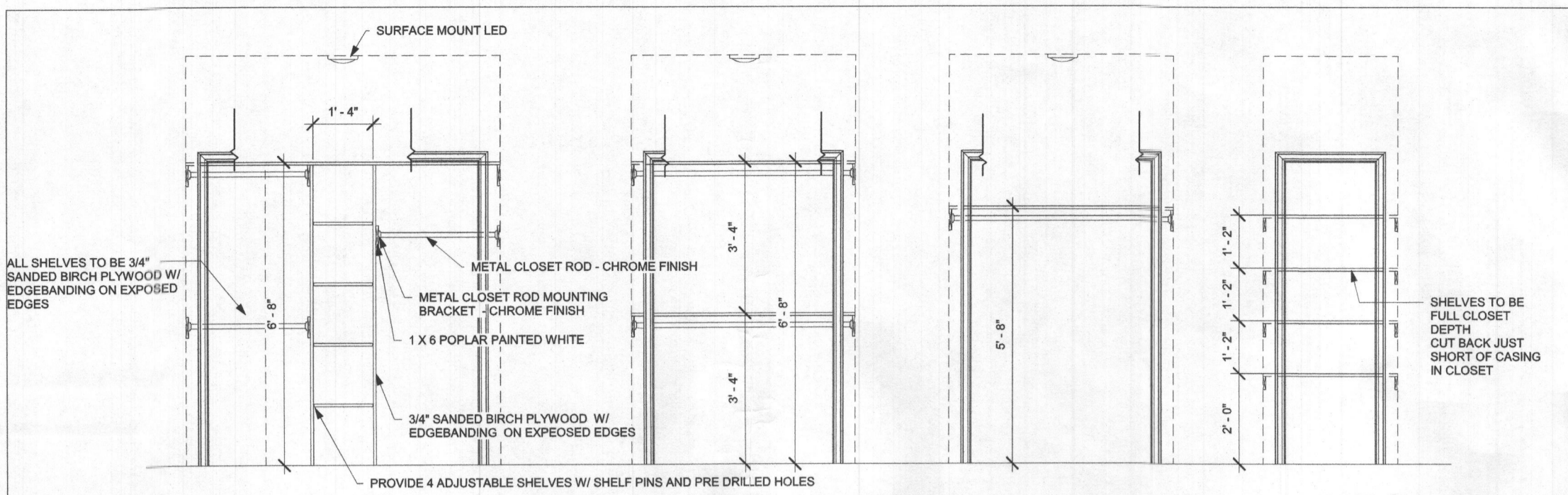
STRUCTURAL ENGINEER

RANK - VETERAN NAME  
ADDRESS CITY, STATE  
ZIP

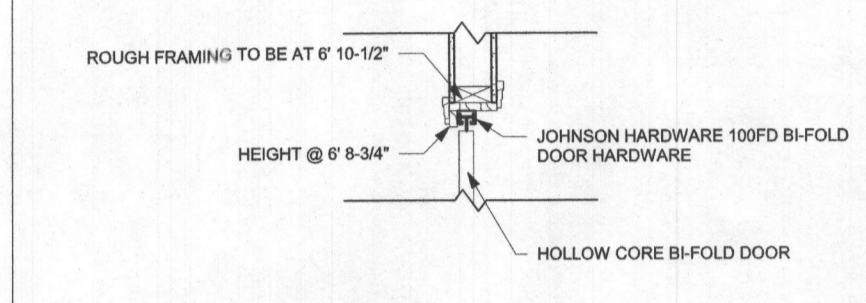
FINISH WORK  
AND  
MATERIALS

Approver  
As indicated  
Designer

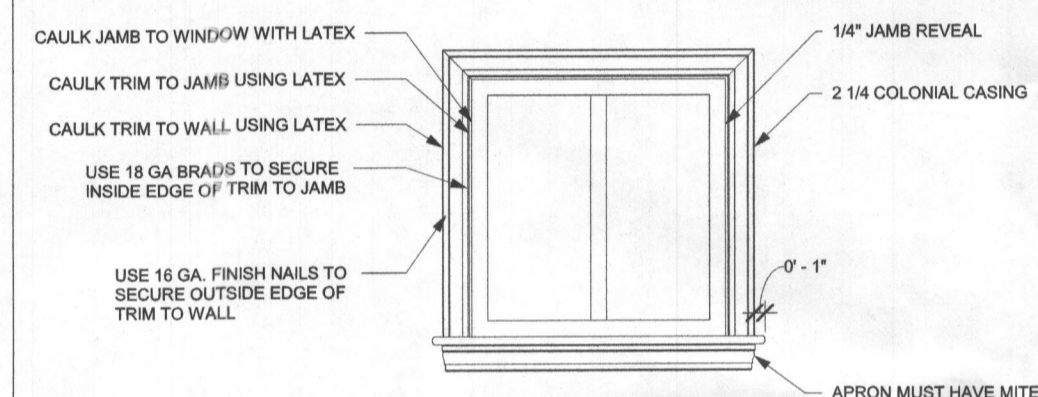
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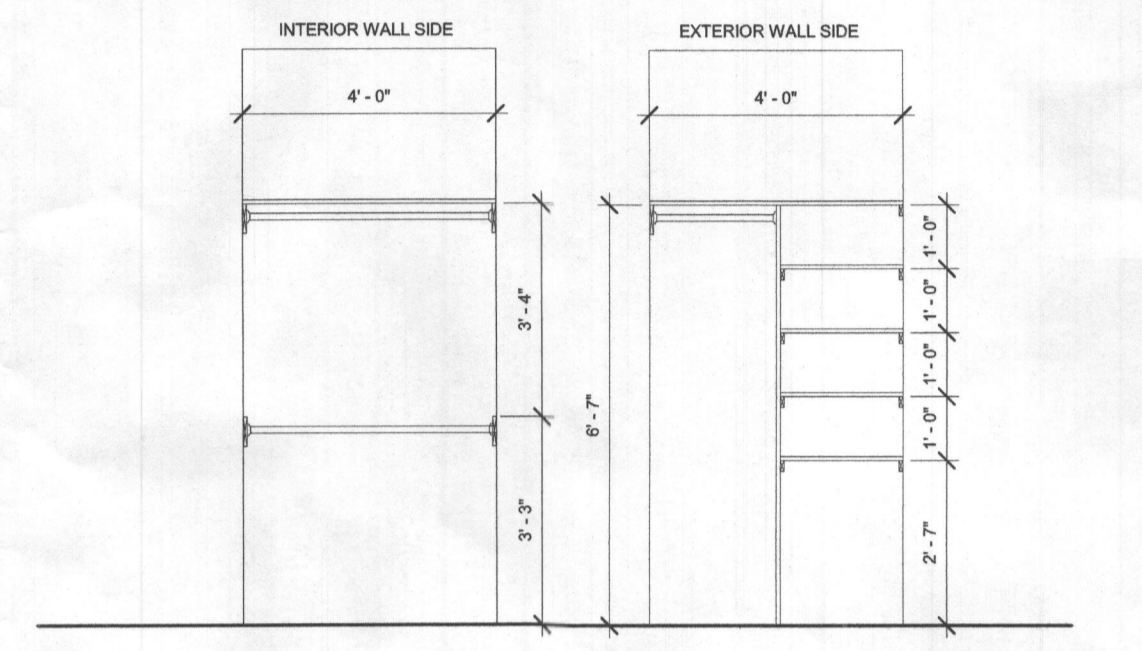
5 CLOSET FINISH  
1/2" = 1'-0"



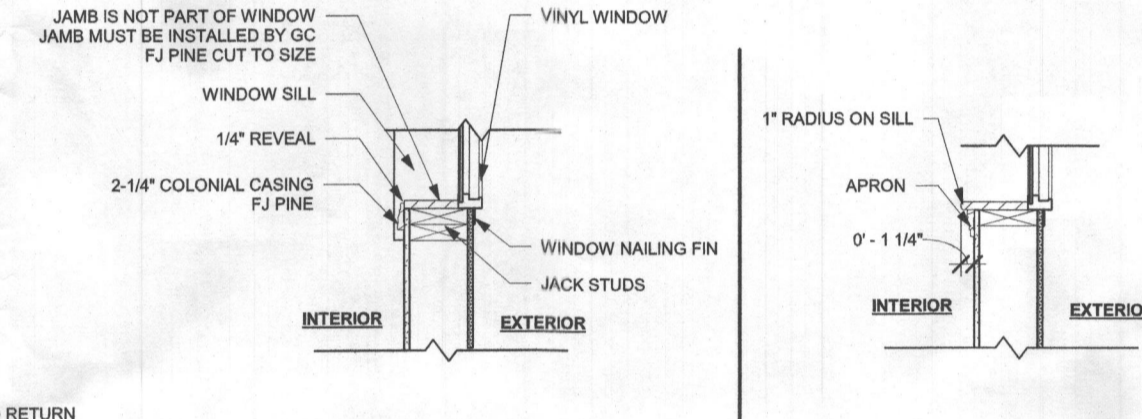
6 BI-FOLD DOOR HARDWARE  
1" = 1'-0"



3 INTERIOR WINDOW TRIM ELEVATION  
1" = 1'-0"



BEDROOM 2 CLOSET



4 INTERIOR WINDOW TRIM SECTIONS  
1" = 1'-0"

DESCRIPTION	LOCATION	SIZE	MANUFACTURER	MODEL #	FINISH	HFOT PROVIDED
TILTING MIRROR X 2	MASTER BATH - CENTERED OVER EACH SINK	23.5" X 31.5	GATCO	4329S	CHROME	NO
TILTING MIRROR	GUEST BATH - CENTERED OVER SINK	23.5" X 31.5	GATCO	4329S	CHROME	NO
TOILET PAPER HOLDER	MASTER BATH - SEE ELEVATIONS	N/A	Mirabelle	MIRPRTHCP	CHROME	YES
TOILET PAPER HOLDER	GUEST BATH - SEE ELEVATIONS	N/A	Mirabelle	MIRPRTHCP	CHROME	YES
TOWEL BAR	MASTER BATH - SEE ELEVATIONS	24"	Mirabelle	MIRPR24BCP	CHROME	YES
TOWEL BAR	GUEST BATH - SEE ELEVATION	24"	Mirabelle	MIRPR24BCP	CHROME	YES
ROBE HOOK	MASTER BATH - ON DOOR	N/A	Mirabelle	MIRPRRHCP	CHROME	YES
ROBE HOOK	GUEST BATH - ON DOOR	N/A	Mirabelle	MIRPRRHCP	CHROME	YES
TOWEL RING	MASTER BATH - SEE ELEVATIONS	N/A	Mirabelle	MIRPRTRCP	CHROME	YES
TOWEL RING	GUEST BATH - SEE ELEVATIONS	N/A	Mirabelle	MIRPRTRCP	CHROME	YES
GRAB BAR 42" (3)	GUEST BATH - SEE ELEVATIONS	42"	WINGITS	WGB55SPE42	PEENED SS	YES
GRAB BAR 42" (2)	MASTER BATH - SEE ELEVATIONS	42"	WINGITS	WGB55SPE42	PEENED SS	YES
GRAB BAR 36" (5)	MASTER BATH - SEE ELEVATIONS	36"	WINGITS	WGB55SPE36	PEENED SS	YES
GRAB BAR 36" (1)	GUEST BATH - SEE ELEVATIONS	36"	WINGITS	WGB55SPE36	PEENED SS	YES
GRAB BAR 48" (2)	MASTER BATH - SEE ELEVATIONS	48"	WINGITS	WGB55SPE48	PEENED SS	YES
GRAB BAR 18" (2)	MASTER CLOSET - SEE ELEVATIONS	18"	WINGITS	WGB55SPE24	PEENED SS	YES
GRAB BAR 18" (2)	GUEST TUB/SHOWER - SEE ELEVATIONS	18"	WINGITS	WGB55SPE24	PEENED SS	YES

7 BATH ACCESSORIES  
1/2" = 1'-0"

PAINT AND TEXTURE SCHEDULE				
NAME	WALL PAINT COLOR	WALL TEXTURE	CEILING TEXTURE	CEILING PAINT COLOR
MUDROOM				
ENTRY				
DINING ROOM				
KITCHEN				
LIVING ROOM				
HALL				
HALL BATHROOM				
MASTER BATHROOM				
MASTER BEDROOM				
BEDROOM 2				
BEDROOM 3				
BEDROOM 4				
LAUNDRY ROOM				
GARAGE	WHITE	SMOOTH	SMOOTH	WHITE
MECHANICAL ROOM	WHITE	SMOOTH	SMOOTH	WHITE

PAINT AND TEXTURE NOTES:  
1. ALL WALL PAINT TO BE SHERWIN WILLIAMS EMERALD INTERIOR ACRYLIC LATEX PAINT W/ MATTE FINISH.  
THIS PRODUCT IS BOTH PAINT AND PRIMER.  
2. ALL CEILING PAINT TO BE SHERWIN WILLIAMS PRO MAR LATEX CEILING PAINT

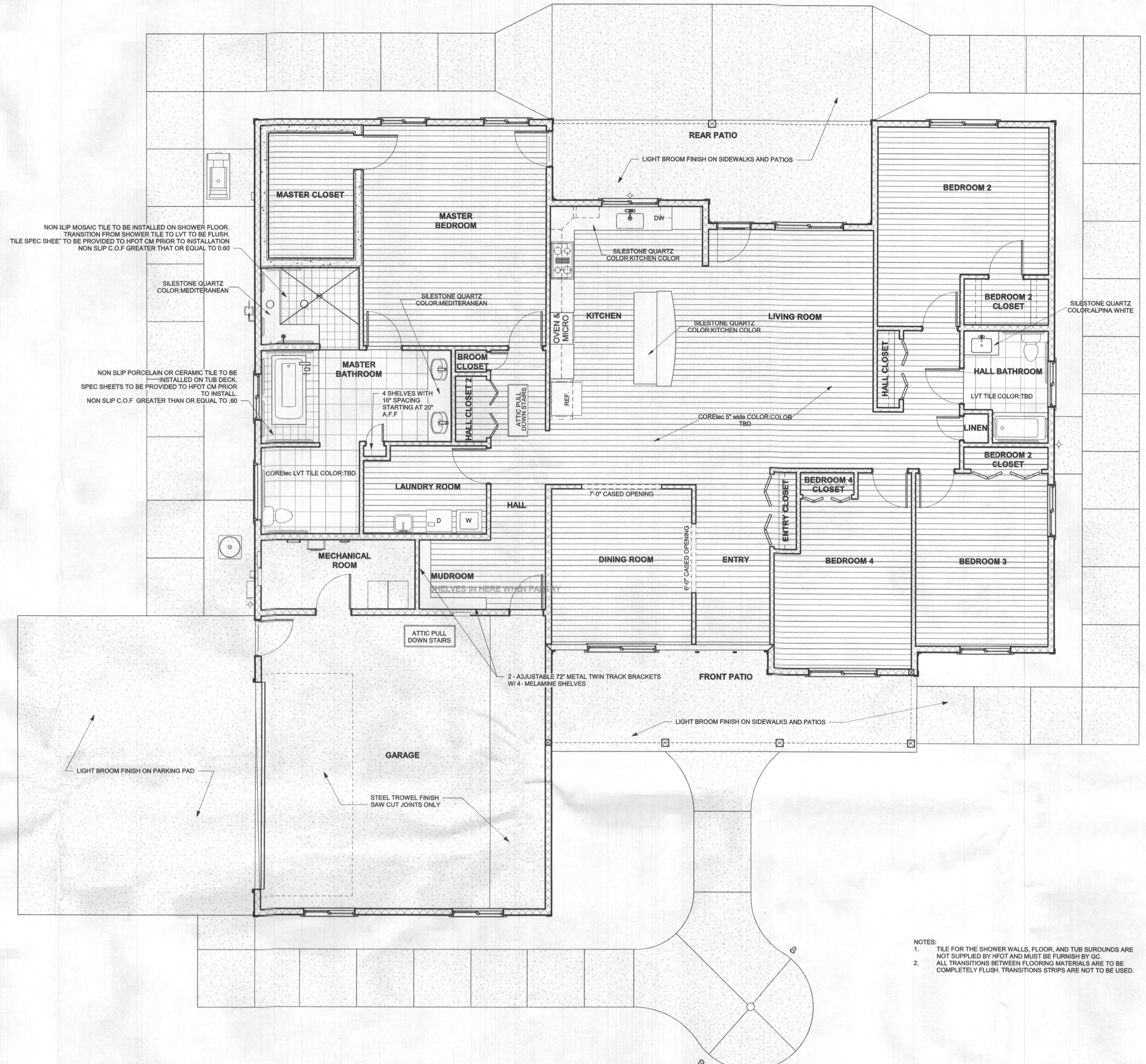
DETERMINE DRYWALL TEXTURE W/ GC PRIOR TO PLAN COMPLETION AND CONTRACT

MASTER BATHROOM TILE			
LOCATION	TILE TYPE	QTY	NOTES
SHOWER WALLS (FIELD)	TBD	APPROX 258 SF	TILE FLOOR TO CEILING
HORIZONTAL ACCENT - SHOWER	TBD	APPROX 29 LF	INSTALL BAND APPROX 6" A.F.F. OR CLOSEST TO TILE LAYOUT
SHOWER FLOOR	TBD, NON SLP REQUIRED C.I.F. > .80	APPROX 42 SF	1" X 1" MOSAIC SHEET MATERIAL RECOMMENDED
TUB SURROUND	TBD	APPROX 45 SF	TILE UP WALL 2'-0" OFF TUB DECK
TUB FACE	TBD	APPROX 13.5 SF	
TUB DECK	TBD, NON SLP REQUIRED C.I.F. > .80	APPROX 13.5 SF	
BULL NOSE	TO MATH FIELD TILE	APPROX 47 LF	

GUEST BATHROOM TILE			
LOCATION	TILE TYPE	QTY	NOTES
SHOWER WALLS (FIELD)	WHITE 3X SUBWAY TILE	APPROX 93 SF	TILE FROM TOP OF TUB TO CEILING
BULL NOSE	TO MATH FIELD TILE	APPROX 18 LF	BULL NOSE FLOOR TO CEILING

8 CERAMIC TILE SCHEDULE  
1/2" = 1'-0"

1 FINISH MATERIALS PLAN  
1/4" = 1'-0"



NOTES:  
1. TILE FOR THE SHOWER WALLS, FLOOR, AND TUB SURROUNDS ARE NOT SUPPLIED BY HFOT AND MUST BE FURNISHED BY GC.  
2. ALL TRANSITIONS BETWEEN FLOORING MATERIALS ARE TO BE COMPLETELY FLUSH. TRANSITION STRIPS ARE NOT TO BE USED.

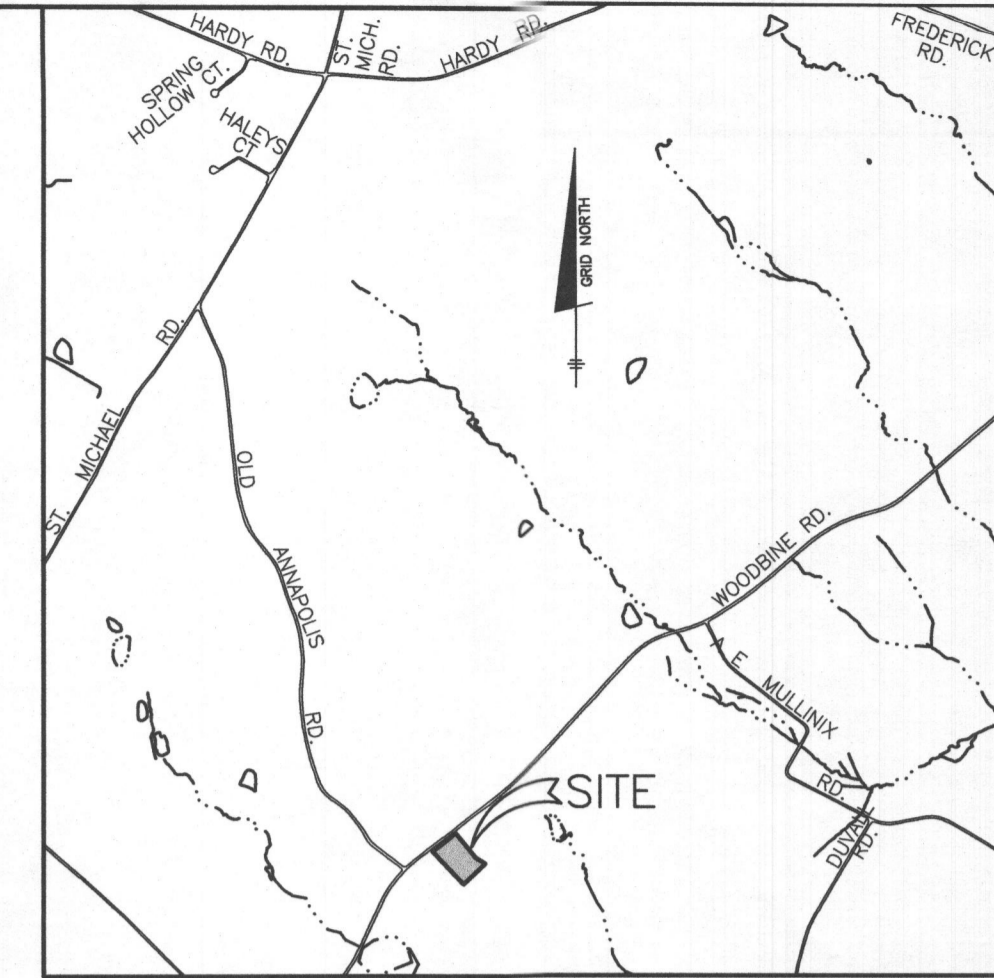
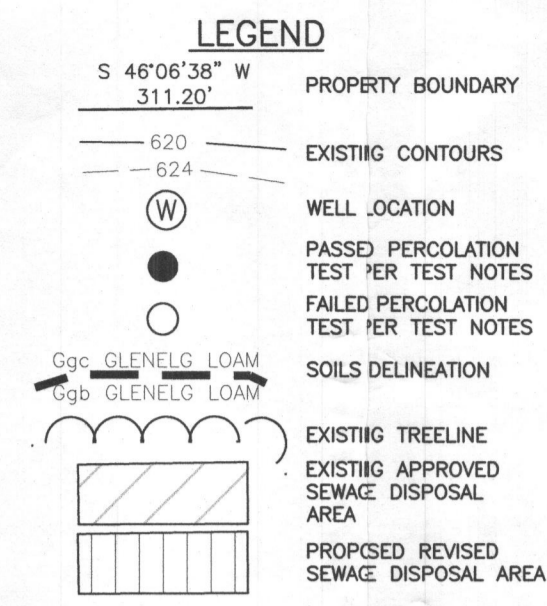
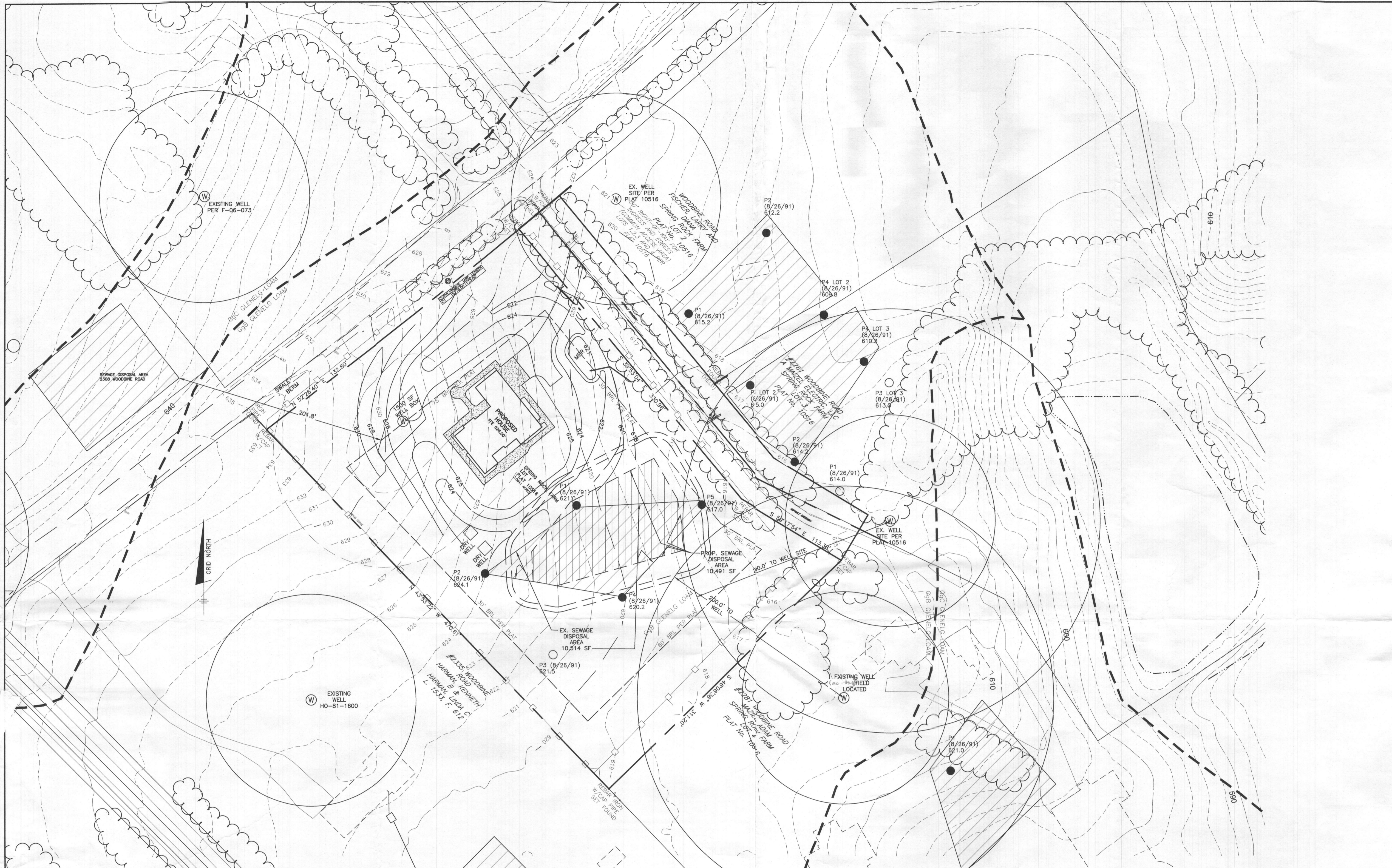
LVT TILE SCHEDULE (SEE PLAN FOR LOCATIONS)					
LOCATION	MANUFACTURER	COLOR	GROUT COLOR	Area	SIZE AND PATTERN
LVT - GUEST BATHROOM		TBD	TBD	53 SF	
LVT - MASTER BATHROOM	COREtec	TBD	TBD	164 SF	

LUXURY VINYL PLANK				
MATERIAL	MANUFACTURER	COLOR	Area	SIZE
LUXURY VINYL PLANK	COREtec	COLOR TBD	2372 SF	

COUNTER TOP SCHEDULE				
LOCATION	MATERIAL	MANUFACTURER	COLOR	Area
GUEST BATH COUNTER TOP	QUARTZ	SILESTONE	ALPINA WHITE	4 SF
KITCHEN COUNTER TOP	QUARTZ	SILESTONE	KITCHEN COLOR	72 SF
MASTER BATH VANITY AND BENCH TOP	QUARTZ	SILESTONE	MEDITERRANEAN	29 SF

COUNTER TOP NOTES:  
1. COUNTER TOP DETAILS ARE ON A SEPARATE PAGE, A1.7. DETAILS CAN BE FOUND THERE

HFOT REGISTERED COPYRIGHT NOTICE  
ALL HFOT HOME DESIGNS AND ARCHITECTURAL PLANS ARE PROPRIETARY AND ARE CONSIDERED TRADEMARK. ALL OUR PLANS ARE RESERVED FOR THE VETERANS WE SERVE. ALL HFOT HOME DESIGNS ARE NOT OFFERED TO OTHER PROGRAMS (FOR PROFIT OR NON-PROFIT), BUSINESS ENTITIES NOR INDIVIDUALS FOR PERSONAL USE. SUCH DISTRIBUTIONS OR USE IS STRICTLY PROHIBITED AND OUTSIDE THE SCOPE OF THE MISSION. THE AUTHORIZED USE OF OUR HFOT HOME DESIGNS AND TRADEMARK ARCHITECTURAL PLANS IS LIMITED TO THE SOLE PURPOSE OF CONSTRUCTING ONE OF OUR HFOT AUTHORIZED HOME BUILDS



**GENERAL NOTES**

- THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT. THE LOT SIZE FOR THIS LOT WILL FULFILL THE REQUIREMENTS OF THE ZONING REGULATIONS.
- ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY'S BOUNDARIES EXCEPT THOSE WHICH ARE SHOWN. INFORMATION CONCERNING THE ADJOINING PROPERTIES HAS BEEN OBTAINED FROM THE BUREAU OF ENVIRONMENTAL HEALTH, HOWARD COUNTY GIS, AND THE ENGINEER/SURVEYOR OF THE ORIGINAL PERCOLATION CERTIFICATION. THE WELL ON 2281 WOODBINE ROAD WAS FIELD LOCATED BY POTOMAC VALLEY SURVEYS, INC., IN FEBRUARY, 2022, AND IS ACCURATELY SHOWN.
- GROUNDWATER APPROPRIATIONS PERMIT (GAP) IS NOT REQUIRED FOR THIS LOT.
- THE EXISTING TOPOGRAPHY SHOWN IS TAKEN FROM A SURVEY BY POTOMAC VALLEY SURVEYS, INC., DATED NOV., 2020 AND SUPPLEMENTED WITH HOWARD COUNTY GIS. TRACT OUTLINE SHOWN IS FROM A BOUNDARY SURVEY BY POTOMAC VALLEY SURVEYS, INC., DATED NOV., 2020.
- ALL WELLS TO BE DRILLED PRIOR TO BUILDING PERMIT ISSUANCE. IT IS THE OWNER'S RESPONSIBILITY TO SCHEDULE WELL DRILLING PRIOR TO BUILDING PERMIT REQUEST. IT WILL NOT BE CONSIDERED GOVERNMENT DELAY IF THE WELL-DRILLING HOLDS UP THE HEALTH DEPARTMENT APPROVAL OF THE BUILDING PERMIT.
- THE PURPOSES OF THIS REVISED PERCOLATION CERTIFICATION IS TO ADJUST EXISTING PRIVATE SEWAGE DISPOSAL AREA ON LOT 1 DUE TO TRENCH LAYOUT AND SWALE SETBACK; AND TO ADD A 1,500 SF WELL ZONE WITH ELLIPTICAL RADIUS OF 100 FEET AROUND THE ENTIRE WELL ZONE.
- ANY MICRO-BIORETENTION FACILITIES WITHIN 100 FEET OF A WELL, AS MEASURED FROM THE WELL BOX TO THE FILTER MEDIA, SHALL BE LINED. LINING WILL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT DETAIL AS SHOWN ON THE FINAL CONSTRUCTION PLAN. MICRO-BIORETENTION FACILITIES ARE NOT ALLOWED WITHIN 50' OF WELL OR WELL BOXES.
- PERCOLATION TEST FEE RECEIPT NUMBER, REFERENCED IN THE APPROVING AUTHORITY CORRESPONDENCE, IS A47337.
- MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED VARIANCES ON 2022 FOR THE WELL LOCATION ON THIS PARCEL BEING DOWNGRADE OF THE SEWAGE DISPOSAL AREA ON 2308 WOODBINE ROAD, AND FOR THE WELL ON SPRING ROCK FARM, LOT 3 BEING DOWNGRADE OF THE SEWAGE DISPOSAL AREA ON SPRING ROCK FARM, LOT 1. THE CONDITIONS OF THE VARIANCE APPROVAL ARE THAT THE WELLS INSTALLED ON SPRING ROCK FARM, LOTS 1 AND 3, MUST BE INSTALLED AS STEEL CASING TO A DEPTH OF 50 FEET OR 10 FEET INTO COMPLETE ROCK, WHICHEVER IS DEEPER, AND THAT THE SEWAGE DISPOSAL FOR SPRING ROCK FARM, LOT 1, MUST UTILIZE BEST AVAILABLE TECHNOLOGIES (BAT) FOR NITROGEN REMOVAL AND LOW PRESSURE DOSING.
- THE WELL FOR THIS PARCEL MUST BE INSTALLED PRIOR TO BUILDING PERMIT APPROVAL FOR THE PROPOSED RESIDENCE. THE OFFICIAL WELL COMPLETION REPORT MUST BE RECEIVED AT THE HEALTH DEPARTMENT, AND THE WELL YIELD AND CONSTRUCTION APPROVED BY AN ENVIRONMENTAL SANITARIAN BEFORE APPROVAL OF THE BUILDING PERMIT.

**SPEC SHEET INFORMATION - Lot 1 - DATED 10/26/2020**

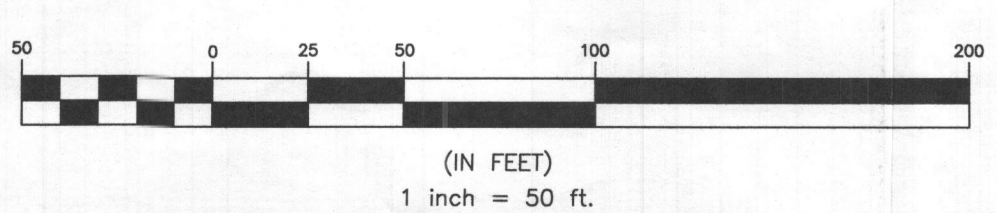
System	Application Rate	Effective Depth	Bottom Depth
Initial	0.8	7.0	8.0
1st Repair	0.8	7.0	8.0
2nd Replacement	0.8	7.0	8.0

PLAN  
SCALE: 1" = 50'

**SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND**

SYMBOL	HYDRIC	HYDROLOGIC GROUP	ALTERNATE GROUP	NAME
GgB		B		GLENELG LOAM, 3 TO 8 PERCENT SLOPES
GgC		B		GLENELG LOAM, 8 TO 15 PERCENT SLOPES

• INDICATES HYDRIC SOILS  
• HIGHLY ERODIBLE, K>0.35, AND/OR 15% OR GREATER SLOPES  
TAKEN FROM THE NRCS WEB SOIL SURVEY, AUGUST 2014. SHEET 16



**THIS REVISED PERCOLATION CERTIFICATION PLAN IS FOR THE FOLLOWING:**

- ADD A 1,500 SF WELL BOX ON LOT 1.
- ADJUST THE SEPTIC DISPOSAL AREA ON LOT 1.
- SHOW THE FIELD LOCATED EXISTING WELL ON 2281 WOODBINE ROAD.

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*John Carney*  
PLAN PREPARER  
JOHN CARNEY, P.E.  
FOR BENCHMARK ENGINEERING, INC.

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

*Richard J. Davis* 3/10/22  
HOWARD COUNTY HEALTH OFFICER H.O. #8 DATE

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS & LAND SURVEYORS & PLANNERS  
8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 211043  
(P) 410-466-8105 (F) 410-466-8644  
WWW.BE-CIVILENGINEERING.COM  
BEO@BE-CIVILENGINEERING.COM

OWNER: HOMES FOR OUR TROOPS, INC.  
6 MAIN STREET  
TAUNTON, MA 02780  
866-7-TROOPS

PROJECT: **SPRING ROCK FARM LOT 1**

LOCATION: TAX MAP: 07, GRID: 21, PARCEL 392  
2301 WOODBINE ROAD  
WOODBINE, MD 21797  
FOURTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
ACCOUNT IDENTIFIED 04-354524

TITLE: **REVISED PERCOLATION CERTIFICATION PLAN**

DATE: FEBRUARY, 2022 PROJECT NO. 3038  
SCALE: 1" = 30' SHEET 1 OF 1

DRAFT: CBD DESIGN: JC CHECK: -