

AP

Dessanayske & Puswella Property  
Sat map 122; Parcel 300

#4

Red Brown  
yellow  
SCL  
yellow

3.8

Red Brown  
yellow  
SL5-10%  
R4

12'

#5

Red Brown  
yellow  
SCL

3.7

Red Brown  
yellow  
FSL5-10%  
R4  
many  
mice

#1

Red Brown  
yellow  
SCL

3.0

Red Brown  
yellow  
FSL

10-20%

R4

many  
mice

12'

#2

Red Brown  
yellow  
SCL

3'

Red Brown  
yellow  
FSL

10-20%

R4



12'

#3

Red Brown  
yellow  
SCL

3.5

Red Brown  
yellow  
FSL

5-10%

R4

many  
mice

12'

#3.3

#1

#5

#4

#2

Did not test  
#2A  
in small

13080 Williamsfield Dr.

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
6-3-22	#1	3.5 12	10:55	10:57	11:00	3min	P
6-3-22	#3	3.5 12	11:03	11:05	11:07	2min	P
6-3-22	#5	3.8 12	11:11	11:16	11:25	9min	P
6-3-22	#4	3.5 12	11:29	11:32	11:37	5min	P
6-3-22	#2	3.5 12	11:38	11:40	11:43	3min	P
6-3-22	2A	Did not test #2A in small					

REMARKS

Septic Tank Cleanout / NO Riser

SANITARIAN DBurnard

BACKHOE

OTHERS

TEST HOLES USED IN SDA

AVG. PERC TIME

SQ. FT/BR

TRENCH WIDTH

INLET DEPTH

MAX. BOT DEPTH

EFFECTIVE SW

note: Exposed trenches and they were clean.

## Williams, Jeffrey

---

**From:** Williams, Jeffrey  
**Sent:** Wednesday, December 21, 2022 2:44 PM  
**To:** geckopu (null)  
**Cc:** Bernard, Dana; Silvast, Zackary; Dad; Gregory Benefiel; Gregory Benefiel; John Hieatzman; Dad  
**Subject:** RE: 13080 Williamfield Drive

Hello all. I spoke with the homeowner and I wanted to put in an email what we will look for moving forward:

1. The existing trenches are big enough for 4 bedrooms, but the tank is only 1000g and will need to be replaced with a larger tank at least 1250 gallons to support the addition.
2. I don't think we need to have someone field locate the existing trenches, we will just need a plan showing where the new tank will go and it will connect into the line heading into the existing distribution box. This will be the tricky part because there is very little room to make that happen unless you send the sewer line down the hill to the side of the house and add a pump tank to pump the sewage effluent back up to head into the d-box. If you do that, I strongly recommend you have someone familiar with system design in Howard County prepare that plan.
3. We will need to approve the plan and have a septic contractor do the tank replacement under a septic permit before we can sign off on the building permit.
4. We also still need to sign the perc cert plan to establish the sewage disposal area. For that, we do not need to see replacement trenches shown on there. We just need to see the proposed area, the existing trenches. It will get a note stating that the tank will be replaced and an OSDS plan and tank replacement must be approved before Health dept approval of the building permit.

Let me know if there are questions. Thanks Jeff

-----Original Message-----

From: geckopu (null) <geckopu@aol.com>  
Sent: Thursday, December 15, 2022 1:10 PM  
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>  
Cc: Bernard, Dana <dbernard@howardcountymd.gov>; Silvast, Zackary <zsilvast@howardcountymd.gov>; Dad <Prasad.Dissanayake@tideh2o.net>; Gregory Benefiel <surveysinc1@verizon.net>; Gregory Benefiel <surveysinc@verizon.net>; John Hieatzman <john@foglesinc.com>; Dad <Prasad.Dissanayake@tideh2o.net>  
Subject: Re: 13080 Williamfield Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good afternoon, Jeff!

Thank you for your response. We will wait for here from you.

Thank you!  
Have a great day!

Devinka.    
Sent from my iPhone

> On Dec 15, 2022, at 12:08 PM, Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

>

> Hello everyone. Sorry for the confusion, but before you schedule any field work, I'd like to review the file and determine if we need any additional info before finalizing the perc cert and moving to the OSDS plan. I would just like to make sure we don't have people spend money unnecessarily. I can have an answer for you by Monday.

>

> Jeff Williams

> Deputy Director

> Bureau of Environmental Health

> Howard County Health Dept.

> 8930 Stanford Blvd. Columbia, MD 21045

> 410-313-4261

> <https://gcc02.safelinks.protection.outlook.com/?url=http%3A%2F%2Fwww.h>

> [chealth.org%2F&data=05%7C01%7Cjewilliams%40howardcountymd.gov%7C21e610](https://chealth.org%2F&data=05%7C01%7Cjewilliams%40howardcountymd.gov%7C21e610)

> [3ba863406f652008dadec7bc66%7C0538130803664bb7a95b95304bd11a58%7C1%7C0%](https://3ba863406f652008dadec7bc66%7C0538130803664bb7a95b95304bd11a58%7C1%7C0%7C638067246700878799%7CUnknown%7CTWFpbGZsb3d8eyJWlloiMC4wLjAwMDAiLCJQI)

> [7C638067246700878799%7CUnknown%7CTWFpbGZsb3d8eyJWlloiMC4wLjAwMDAiLCJQI](https://7C638067246700878799%7CUnknown%7CTWFpbGZsb3d8eyJWlloiMC4wLjAwMDAiLCJQI)

> [joiV2luMzliLCJBTiI6Ik1haWwiLCJXVCI6Mn0%3D%7C3000%7C%7C%7C&sdata=dPX9Qr](https://joiV2luMzliLCJBTiI6Ik1haWwiLCJXVCI6Mn0%3D%7C3000%7C%7C%7C&sdata=dPX9Qr)

> [6FpFVm4dYM9CBIABcYrWPxG84tGolcbOgZ%2F5U%3D&reserved=0](https://6FpFVm4dYM9CBIABcYrWPxG84tGolcbOgZ%2F5U%3D&reserved=0)

>

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> If you are not the intended recipient, you are strictly prohibited

> from reading, disseminating, distributing, or copying this message. If

> you received this e-mail by mistake, please notify the sender and

> destroy this e-mail

>

>

>

> -----Original Message-----

> From: Bernard, Dana <dbernard@howardcountymd.gov>

> Sent: Thursday, December 15, 2022 11:24 AM

> To: geckopu (null) <geckopu@aol.com>; Silvast, Zackary

> <zsilvast@howardcountymd.gov>; Dad <Prasad.Dissanayake@tideh2o.net>;

> Gregory Benefiel <surveysinc1@verizon.net>; Gregory Benefiel

> <surveysinc@verizon.net>; John Hieatzman <John@foglesinc.com>

> Subject: RE: 13080 Williamfield Drive

>

>

> Good Morning All,

>

> After speaking with the Assistant Director, we have decided it will not be necessary to include me in your visit because you will be using the existing trenches for your proposal. We are recommending you locate the septic components and survey the property to locate the trenches. Which can be achieved with the engineer, surveyor, and your septic installer. And if you are interested in scoping your system to examine health of your system we will accept this report . A sewer scope inspection uses a video attached to a snake-like cable to examine the home's sewer line. Sewer scope inspections can reveal damage to the pipes, blockages, and other problems.

>

> When your engineer completes all the tasks discussed in our meeting. Please have your engineer provide our office with your results and a new percolation certification plan. Once the percolation certification plan is signed, then we will need an OSDS plan submitted and we will review as soon as possible.

>

> Respectfully,

> Dana Bernard

>

>

>

> -----Original Message-----

> From: geckopu (null) <geckopu@aol.com>

> Sent: Thursday, December 15, 2022 10:23 AM

> To: Bernard, Dana <dbernard@howardcountymd.gov>; Silvast, Zackary

> <zsilvast@howardcountymd.gov>; Dad <Prasad.Dissanayake@tideh2o.net>;

> Gregory Benefiel <surveysinc1@verizon.net>; Gregory Benefiel

> <surveysinc@verizon.net>; John Hieatzman <John@foglesinc.com>

> Subject: 13080 Williamfield Drive

>

> [Note: This email originated from outside of the organization. Please

> only click on links or attachments if you know the sender.]

>

>

> Good morning, Dana!

> Please give us a few options for dates for the excavation. I would like this done as soon as possible.

>

> Thank you!

> Have a good day!

>

> Devinka. 🐘 🐘

> Sent from my iPhone

**From:** surveysinc1@verizon.net,  
**To:** dbernard@howardcountymd.gov,  
**Cc:** jewilliams@howardcountymd.gov,  
**Bcc:** geckopu@aol.com,

**Subject:** 13080 Williamfield Drive

**Date:** Wed, Jan 4, 2023 9:55 am

**Attachments:** Ex DB.pdf (2387K), OSDS Plan 1 of 2.pdf (4952K), OSDS Plan 2 of 2.pdf (3510K), Perc Cert Plan.pdf (3973K)

Dana & Jeff,

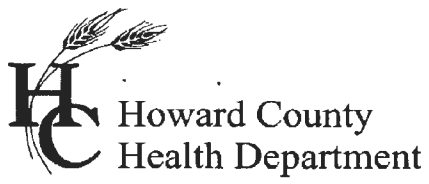
Attached is the Perc Certification Plan revised using the existing system from the existing distribution box. We were able to locate the DB and get an invert at the bottom. It's a concrete and in good shape.

Not sure if it need replacing. We had to relocate the Septic tank as Jeff mentioned we may, to the front side of the existing house. Due to the fact that the DB is so deep in the ground, we are able to still get gravity flow. Also attached is the OSDS Plan sheet 1 of 2 & 2 of 2. These may help you see how I came up with the elevations (profile and tank detail). I'm not sure how the Health department wanted me to show the replacement trenches. The existing system consist of two 100' trenches, we're required to have one 100' for the initial and 1st replacement. Basically we are using two trenches for the initial. There

is room still for an 1st & 2nd replacement system. I moved the 1st & 2nd replacement trenches to the bottom of the sewage disposal area to stay clear of the existing trenches because there locations are not known and field located, but believe there are shown closely correct. If you could take a look at the attached plans and get your input to see if you would like any modification to the plan, I would greatly appreciate it.

Thanks, Happy new year, I'll wait to hear from you.

Gregory Benefiel  
**Survey's, Inc.**  
**301-776-0561**



Bureau of Environmental Health  
7178 Gateway Drive Columbia, MD 21046  
(410) 313-2640 Fax (410) 313-2648  
TDD (410) 313-2323 Toll Free 1-866-313-6300  
Website: [www.hchealth.org](http://www.hchealth.org)

Maura J. Rossman, M.D., Health Officer

Date: August 16, 2022

To: Surveys, Inc. C/O Gregory Benefiel  
350 Main Street  
Laurel, Maryland 20707

Via E-mail: [surveysinc1@verizon.net](mailto:surveysinc1@verizon.net)  
CC: Homeowner: [geckopu@aol.com](mailto:geckopu@aol.com)

RE: **Percolation Certification Plan Revision**  
**13080 Williamsfield Dr., Tax Map 22: Parcel 300**

Mr. Benefiel,


As discussed in the percolation testing results letter, the purpose for conducting percolation tests was to re-establishment of a sewage disposal area for the lot. The plan you submitted did not reflect the new test holes that was dug. Your plan reflects the original proposed plan. The septic system must be redesigned showing the new percolation holes and labeled according to the report provided to you. You cannot use testing holes in your septic system that was not tested. And the edge of the septic area must be cut off by the testing holes used. As we discussed in the field the new tank cannot be placed in the swale and must be moved uphill. And the new tank must be shown on the plan to be installed with a riser. The existing tank must be marked abandoned because it will not support a 4-bedroom house.

The existing trenches were exposed and they should be field located and placed on your plan and labeled. The percolation testing holes should be field located, and elevations of the holes should be shown on the plan. The septic area and all its components must be 20 feet away from the house. I would recommend submitting a revised OSDS plan to reflect the changes with your percolation certification plan to save time in completing your review.

The following items must also be addressed. This item pertains to the percolation certification plan general notes:

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment.

The next step in this process is to resubmit a Percolation Certification Plan to confirm the design of the septic reserve area. If you have any questions regarding this evaluation or requirements for the Percolation Certification Plan, please contact me at the above address or by telephone at (410) 313-2775.

 Respectfully,  
Dana Bernard, REHS/RS  
Well and Septic Program  
File



Howard County  
Health Department

Bureau of Environmental Health  
7178 Gateway Drive Columbia, MD 21046  
(410) 313-2640 Fax (410) 313-2648  
TDD (410) 313-2323 Toll Free 1-866-313-6300  
Website: [www.hchealth.org](http://www.hchealth.org)

Maura J. Rossman, M.D., Health Officer

Date: June 7, 2022

To: Surveys, Inc.  
C/o Gregory Benefiel  
350 Main Street  
Laurel, Maryland 20707

RE: **Percolation Testing Report**  
**113080 Williamsfield Dr.**  
**Tax Map 22: Parcel 300**

Mr. Benefiel,

Percolation testing was conducted on the referenced property on June 3, 2022. The purpose for conducting these percolation tests was to re-establishment of a sewage disposal area for the lot.

A total of five (5) test holes were evaluated and five (5) were found to be satisfactory with moderate percolation rates. Acceptable ranges for recommended inlet and trench bottom depth, and usable sidewall are indicated, and may be confirmed at the time of installation. Field data collected is shown on the Percolation Test Worksheet enclosed with this letter.

All percolation tests conducted were standard tests, measuring rate of fall for a pre-wet period followed by measurement and recordation of the time required for the water level to drop 1 inch. Areas that may be included in a septic reserve are represented by test locations having satisfactory soil conditions. The area of the septic reserve must be at least 10,000 square feet, though Howard County Code [3.805.A.2.X] requires that the area be large enough to accommodate an initial drain field and two repair drain fields for the planned residence.

The next step in this process is to submit a Percolation Certification Plan to confirm the design of the septic reserve area. Please remember you will have to show the existing tank as abandoned and show a new tank to be installed with a riser. If you have any questions regarding this evaluation or requirements for the Percolation Certification Plan, please contact me at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS  
Environmental Specialist II  
Well and Septic Program

Enclosures  
File



HOWARD COUNTY HEALTH DEPARTMENT

11506

DATE 4/20/22

AS

Received from

Hursha Dissanayake PHONE # 443 983-1390

For Perc App/ 13080 Williamstield DR

☐ CASH  
☒ CHECK

NO.

1165

Five hundred six Dollars

\$ 506.00

Received By

J. King



4/21/22, 11:53 AM

[Show Receipt Detail](#)

**RECEIPT**

Howard County, MD  
HOWARD COUNTY HEALTH DEPARTMENT  
ASCEND ONE BUILDING  
Columbia, MD 21045  
8930 STANFORD BLVD

Application: WS-PT-22-01148  
Application Type: EnvHealth/Well and Septic/Percolation Test/Application  
Address: 13080 Williamsfield DR,

Receipt No.	3634					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Check	165	\$506.00	04/21/2022	JUKING		Perc Test App/ 13080 Williamsfield Dr.
Work Description:	13080 williamsfield Dr / Perc app					



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME ROSE MARY ESTATES - LOT 16

PROPERTY ADDRESS 13080 WILLIAMSFIELD DRIVE, ELICOTT CITY, MD. 21042  
STREET TOWN ZIP

TAX ACCOUNT # 03-204570 TAX MAP 0022 GRID 0004 PARCEL 0300 LOT NO. 16 PROPOSED LOT (EX) SIZE (ACRES) 5.84

ZONING CATEGORY RR-DEO TIER       

PROPERTY OWNER(S) HARSHA P. DISSANAYAKE & DEVINKA D. DISWELLA

DAYTIME PHONE x CELL x EMAIL prasnd.dissanayake@tideh2o.net

MAILING ADDRESS 13080 WILLIAMSFIELD DRIVE, ELICOTT CITY, MD. 21042  
STREET CITY, STATE ZIP

APPLICANT x Harsha Prasad Dissanayake RELATIONSHIP TO OWNER: x Owner

DAYTIME PHONE x443-983-1394 CELL 443-742-1139 EMAIL x geckopy@aol.com

MAILING ADDRESS x 5124 Sante Fe Court Ellicott City MD 21043  
STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- ☐ SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE:         
SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) ☐ MAJOR ☐ MINOR
- ☐ CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
- ☐ REPAIR OR REPLACE FAILING OSDS
- ☒ UPGRADE EXISTING OSDS

BUILDING:

- ☒ RESIDENTIAL WITH 1 NEW BR 2 EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE (4 BR. TOTAL)
- ☐ COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- ☐ YES  
☐

AS APPLICANT:

- THIS APPLICATION
- THE APPLICANT
- THIS APPLICATION
- THIS IS

I declare on behalf of the property owner that the information provided is true and correct to the best of my knowledge and belief.

By signature of applicant:  
\_\_\_\_\_  
SIGNATURE

JW 10/29/15

THE FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH DEPARTMENT RECORDS.

FEES:

Application Fee  
Permit Fee

Percolation Test Fee  
Site Evaluation Fee

Missing

a perc plan?

Please contact owner, let them know they need an engineer.

Needs to

be put in

Accela and

assigned to DB.

-ZS

## Williams, Jeffrey

---

**From:** Williams, Jeffrey  
**Sent:** Monday, January 9, 2023 11:25 AM  
**To:** Gregory Benefiel  
**Cc:** geckopu (null); Bernard, Dana; Dad  
**Subject:** RE: 13080 Williamfield Drive

Hello Greg. I have signed the perc cert for the property and 2 copies are ready for pickup at our front counter. I also reviewed the OSDS plan in the package and have the following comments for revision:

1. The sewer line between the house and septic tank cannot have bends more than 45 degrees. Any greater bend must be in steps of 45 degrees or less.
2. The tank is being shown with the pipe entering the side of the tank. You must verify that the pre-caster can make a tank with the side entrance and show that on the plan or, ideally, it looks like the tank can be rotated and the line leaving the tank will just bend to resume its course to the d-box.
3. The tank could be raised to provide 1' ground cover and still have over 2% fall from house. That would allow for more fall to d-box, possibly over 2%, which is ideal.
4. There is no health officer signature block needed on this plan.
5. The plan is not signed or stamped (I believe you may have just sent this as an example plan?). We will also need 3 copies of this plan.

Let me know if there are questions. Thanks  
Jeff

**From:** Gregory Benefiel <surveysinc1@verizon.net>  
**Sent:** Wednesday, January 4, 2023 9:56 AM  
**To:** Bernard, Dana <dbernard@howardcountymd.gov>  
**Cc:** Williams, Jeffrey <jewilliams@howardcountymd.gov>  
**Subject:** 13080 Williamfield Drive

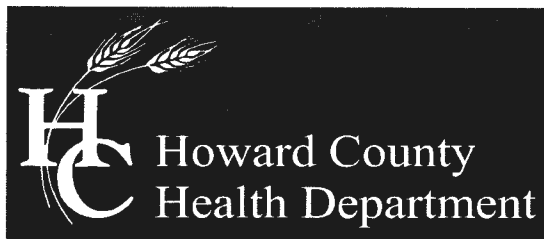
[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Dana & Jeff,

Attached is the Perc Certification Plan revised using the existing system from the existing distribution box. We were able to locate the DB and get an invert at the bottom. It's a concrete and in good shape. Not sure if it need replacing. We had to relocate the Septic tank as Jeff mentioned we may, to the front side of the existing house. Due to the fact that the DB is so deep in the ground, we are able to still get gravity flow. Also attached is the OSDS Plan sheet 1 of 2 & 2 of 2. These may help you see how I came up with the elevations (profile and tank detail). I'm not sure how the Health department wanted me to show the replacement trenches. The existing system consist of two 100' trenches, we're required to have one 100' for the initial and 1st replacement. Basically we are using two trenches for the initial. There is room still for an 1st & 2nd replacement system. I moved the 1st & 2nd replacement trenches to the bottom of the sewage disposal area to stay clear of the existing trenches because there locations are not known and field located, but believe there are shown closely correct. If you could take a look at the attached plans and get your input to see if you would like any modification to the plan, I would greatly appreciate it.

Thanks, Happy new year, I'll wait to hear from you.

Gregory Benefiel  
Survey's, Inc.



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

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Maura J. Rossman, M.D., Health Officer

---

Date: October 6, 2022

To: Gregory Benefiel  
Via E-mail: [surveysincl@verizon.net](mailto:surveysincl@verizon.net)

CC: Homeowner via email: [geckopu@aol.com](mailto:geckopu@aol.com)

RE: **Percolation Testing Plan Revisions**  
**13080 Williamfield Drive**  
**Tax Map: 22 Parcel: 300**

Mr. Fleming,

The following items must also be addressed regarding your percolation certification plan for the development of 13080 Williamsfield. The following items must be addressed and resubmitted.

- Show > 25% slopes and place a symbol in legend.
- Extend contours across the entire property.
- Show easement 25 feet off swales.
- Is note #13 complete? It should not state septic easement and should state septic disposal area.
- Note #14 Are we going to use the existing septic system. Please state so and make sure you state sewage disposal area.
- There should not be (2) two statements labeled #14
- What are the approximate locations of the trenches? We need to show the length and distances between. Label existing trenches and proposed trenches. We need to make sure the trench location information is current and up to date. You cannot propose new trenches between existing trenches. Please verify locations.

The next step in this process is to resubmit a Percolation Certification Plan to confirm the design of the septic reserve area and well area. If you have any questions regarding this evaluation or requirements for the Percolation Certification Testing Plan, please contact me at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS  
Environmental Specialist II  
Well and Septic Program  
File

Maura J. Rossman, M.D., Health Officer

DATE: February 23, 2022

TO: Harsha P. Dissanayake

Via E-mail: [prasnd.dissanayake@tidehzo.net](mailto:prasnd.dissanayake@tidehzo.net)

CC: Rick Fleming at: [Rick.Fleming@RTFS-exc.com](mailto:Rick.Fleming@RTFS-exc.com)

RE: **Building Permit # B22000269**  
**13080 Williamfield Drive**  
**Ellicott City, MD 21042**

Mrs. Dissanayake,

Our department has reviewed your building permit B22000269 and based on your proposal, your septic system must be upgraded. Our records indicate that your file is not complete. Our requirements for building permits are a full complete file for application approval. Therefore, percolation testing and a percolation certification plan will be required to complete your file. After percolation testing has been completed, we will require the percolation certification plan to be submitted to our office for approval. This plan along with testing results will complete your file and allow us to review your building application. A new septic system must be installed prior to building permit approval.

To get started, percolation testing must occur on the property. Please submit a percolation test application, percolation test plan and fee of \$506 to the Health Department (Application Attached). The homeowner will be responsible for hiring an engineer to create a percolation test plan and a septic contractor with a backhoe to dig the percolation test holes. Once the testing is completed a sewage disposal area (SDA) for the proposed house and future repairs must be established on a percolation certification plan." Since a percolation certification plan does not exist for this property, it will have to be updated prior to building permit approval (Howard County Code Sec 3.805). Also, your tank which is a 1000-gallon tank will have to be upgraded to a 2000-gallon tank. And your trenches will have to be extended.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,  
Dana Bernard, REHS/RS  
Environmental Specialist II,  
Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)



Howard County  
Health Department

Bureau of Environmental Health  
7178 Gateway Drive Columbia, MD 21046  
(410) 313-2640 Fax (410) 313-2648  
TDD (410) 313-2323 Toll Free 1-866-313-6300  
Website: [www.hchealth.org](http://www.hchealth.org)

Maura J. Rossman, M.D., Health Officer

Date: June 28, 2022

To: Surveys, Inc.  
C/o Gregory Benefiel  
350 Main Street  
Laurel, Maryland 20707

Via E-mail: [surveysinc1@verizon.net](mailto:surveysinc1@verizon.net)

CC: Homeowner: [geckopu@aol.com](mailto:geckopu@aol.com)

RE: **Percolation Testing Report**  
**113080 Williamsfield Dr.**  
**Tax Map 22: Parcel 300**

Mr. Benefiel,

Percolation testing was conducted on the referenced property on June 3, 2022. The purpose for conducting these percolation tests was to re-establishment of a sewage disposal area for the lot. The plan you submitted was the original plan submitted with minor changes. The septic system must be redesigned showing the new percolation holes labeled according to the report provided to you. You cannot use testing holes in your septic system that was not tested. And the edge of the septic area must be cut off by the testing holes used. As we discussed in the field the new tank cannot be placed in the swale and must be moved uphill. The existing tank must be marked abandoned.

The existing trenches were exposed and they should be field located and placed on your plan. You must also show the calculation to prove you can fit three systems in your septic area. The percolation testing holes should be field located, and elevations of the holes should be shown on the plan. The septic area and all its components must be 20 feet away from the house. I would recommend submitting an OSDS plan with your percolation certification plan to save time in completing your review. I have included the septic specification sheet to help with this process.

The following items must also be addressed. These items pertain to the percolation certification plan general notes:

- Please add these statements to the general notes and adjust according to your project. Most are just statements and others will have to be modified to support your project:

1. Any adjustments/modifications to the existing septic easement showing area lost and area gained.
2. Determine if the lot was created AFTER March 1972 or PRIOR to March 1972.

- If the lot was created AFTER March 1972 a minimum area of 10,000 sq. ft. is required as the designated septic reserve area.
- If the lot was created PRIOR to March 1972 a septic reserve area large enough to accommodate 3 systems (an initial and 2 replacements) must be proposed.

Once this is determined it must be noted in the general notes.

3. Certification of compliance with MDE ownership width and lot area requirements for lots created after 1985:

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment.

4. In line 12 on your percolation plan it is stated that the area is not field located. This project must be field located and verified by an engineer or surveyor. The following statement must be added to support your plan.

- The topography of this plat is taken from \_\_\_\_\_ and is verified to accurately represent the relative changes on the subject property.

5. All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.

6. A purpose statement indicating the purpose of the plan.

7. Please title your plan Percolation Certification Plan.

8. Please adjust the legend to support your plan.

(Example: There is no water valve or fire hydrant and it is shown in the legend.)

The next step in this process is to resubmit a Percolation Certification Plan to confirm the design of the septic reserve area. Along with your OSDS plan. Please remember you will have to show the existing tank as abandoned and show a new tank to be installed with a riser. If you have any questions regarding this evaluation or requirements for the Percolation Certification Plan, please contact me at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS  
Environmental Specialist II  
Well and Septic Program

Enclosures  
File

# SURVEYS, INC.

Surveying \* Engineering \* Land Planning \* Permits

350 Main Street

Laurel, Maryland 20707

Phone: 301-776-0561 \* Email: surveysinc1@verizon.net

Howard County Health Department  
8930 Stanford Boulevard  
Columbia, Maryland 21045

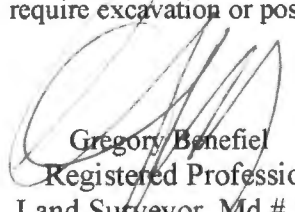
Date: Nov. 9, 2022

Attn: Dana Bernard  
Ref: Percolation Testing Plan Revisions  
13080 Williamsfield Drive  
Tax Map: 22, Parcel 300

## POINT BY POINT

Dear Dana,

1. 25% slopes have been added to the Site and Legend.
2. Contours have been extended across the entire property.
3. swales are not defined, a ravine is present below the sewage disposal area.
4. Note # 13 has been revised.
5. Note #14, states the creation of the site and a deed reference. Also 10,000 sf.  
Sewage disposal area will be required on sites created after 1972. Item # 6 in  
The Septic Notes states that we are **not** using the existing septic system.
6. The approximate location of the existing system is shown and labeled on the plan in color and shown in the Legend referencing the color. Distances between the proposed trenches at the closest points have been shown on the plan. The minimum distances between the trenches are in the "Septic Trench Design Information". I cannot certify to the exact location of the existing trenches. Between the Health Department measured distances when the system was built and the length recorded are too conflicting in relation to the existing septic tank. The proposed system may run parallel and between or possibly cross the existing trenches. To verify the exact location will require excavation or possibly ground penetrating radar. If required, I'll notify the applicant.

  
Gregory Benefiel  
Registered Professional  
Land Surveyor, Md. # 10994  
License Expiration 08-08-2024



AP \_\_\_\_\_

Dessanayske & Puswella Property  
Sat map 122; Parcel 300

#4

Red Brown  
SCL  
yellow 3.8  
Red Brown  
yellow  
SL  
5-10%  
R4  
↓ 12'

#5

Red Brown  
yellow  
SCL 3.7  
Red Brown  
yellow  
FSL  
5-10%  
R4  
many  
mice

#1

Red Brown  
yellow  
SCL 3.0  
Red Brown  
yellow  
FSL  
10-20%  
R4  
many  
mice  
↓ 12'

#2

Red Brown  
yellow  
SCL 3'  
Red Brown  
yellow  
FSL  
10-20%  
R4  
↓ 12'

#3

Red Brown  
yellow  
SCL 3.5  
Red Brown  
yellow  
FSL  
5-10%  
R4  
many  
mice  
↓ 12'

#3.5

#1

#5

#4

#2

Did not test  
#2A  
in wall

13080 Williamsfield Dr.

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
6-3-22	#1	3.5 12	10:55	10:57	11:00	3min	P
6-3-22	#3	3.5 12	11:03	11:05	11:07	2min	P
6-3-22	#5	3.8 12	11:11	11:16	11:25	9min	P
6-3-22	#4	3.5 12	11:29	11:32	11:37	5min	P
6-3-22	#2	3.5 12	11:38	11:40	11:43	3min	P
6-3-22	2A	Did not test 2nd hole in wall					

REMARKS

Septic Tank Cleanout / NO Riser

SANITARIAN

DBurnard

BACKHOE

OTHERS

TEST HOLES USED IN SDA

AVG. PERC TIME

SQ. FT/BR

TRENCH WIDTH

INLET DEPTH

MAX. BOT DEPTH

EFFECTIVE SW

Note: Exposed trenches and they were clean.