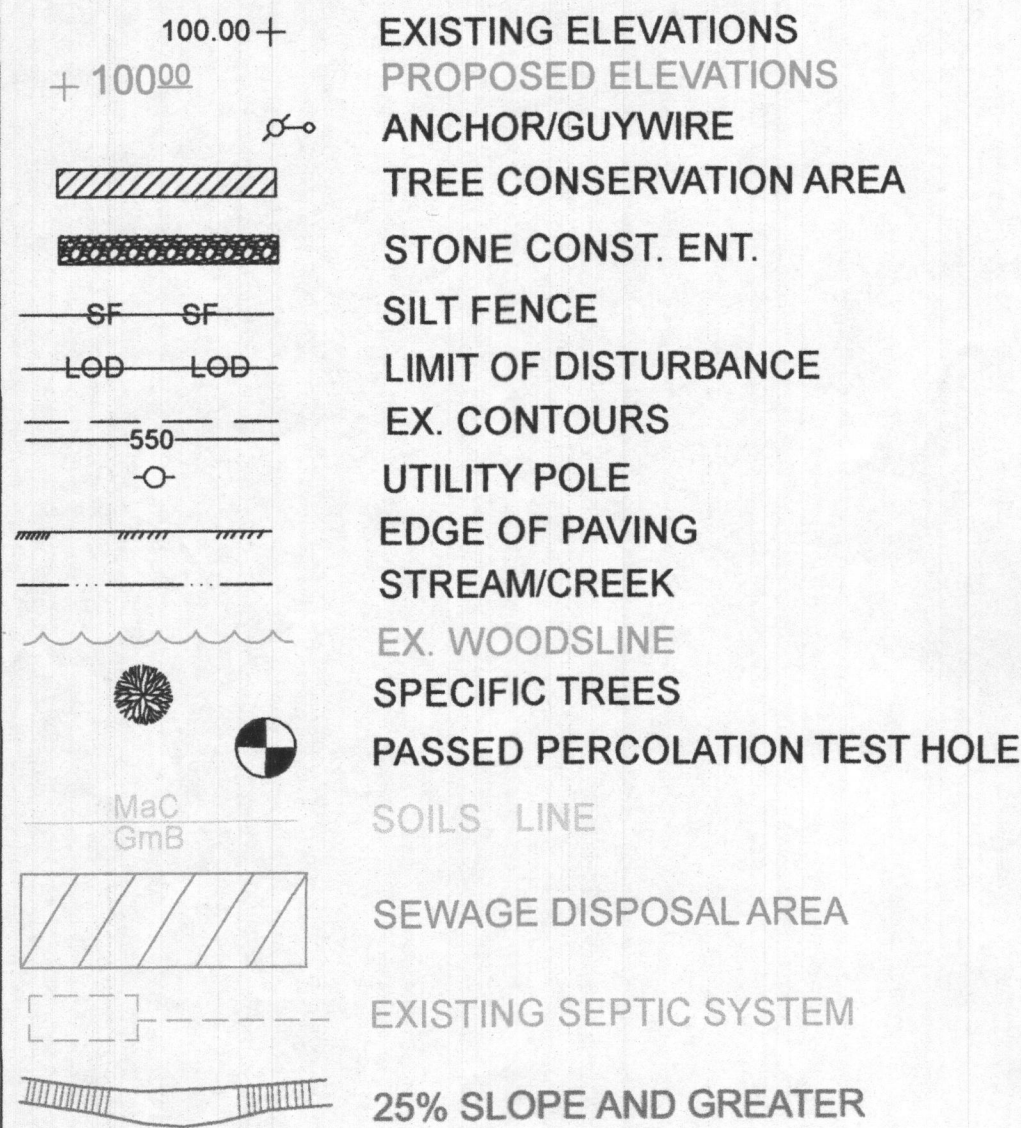


LEGEND

These standard symbols will be found in the drawing.



SEPTIC TRENCH DESIGN INFORMATION

Proposed 4 Bedroom House
Application Rate = Initial system = 1.2
1st replacement system = 0.8
2nd replacement system = 0.8
Effective area beginning depth = 3.5, Initial system
3.8, 1st repl. system.
3.7 2nd repl. system.

Design flow = 150 gallons per day (gpd) per bedroom
Design flow = 4 x 150 = 600 gpd.

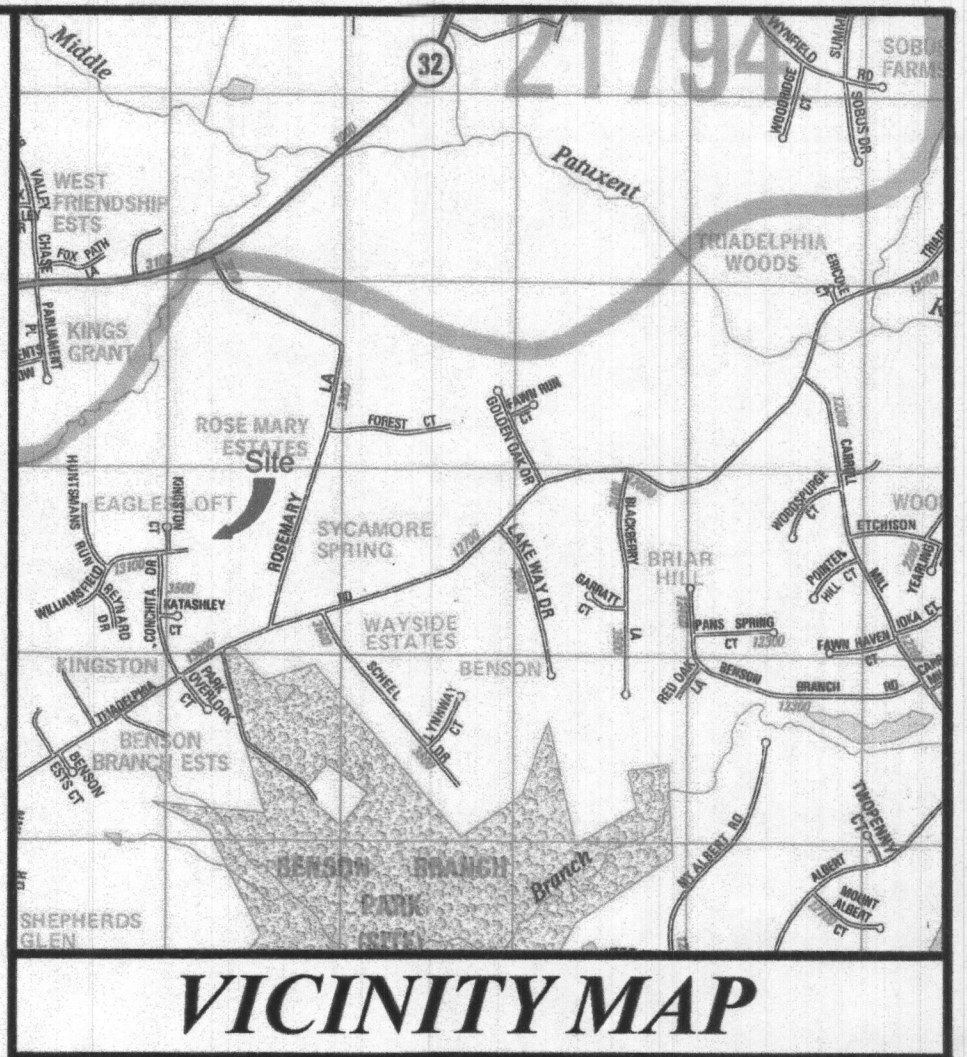
Initial System (existing trench)
Square footage of trench required: Initial = 600 gpd / 1.2 = 500 sf.
Linear length of trench required = 500 sf / 2' (width of trench) = 250 lf.
Linear length of trench (depth adjusted = 250' x 0.4 = 100.0 lf
Width of trench = 2 x 3.5 + 2.0' = 9.0' edge to edge
Invert at initial trench (existing).....545.00
(gravity)

1st Replacement System (existing trench)
Square footage of trench required = 600 gpd / 1.2 = 500 sf.
Linear length of trench required = 500 sf / 2' (width of trench) = 250 lf.
Linear length of trench (depth adjusted = 250' x 0.4 = 100.0 lf
Width of trench = 2 x 3.5 + 2.0' = 9.0' edge to edge
Invert at 1st replacement trench.....544.17

2nd Replacement System
Square footage of trench required = 600 gpd / 0.8 = 750 sf.
Linear length of trench required = 750 sf / 2' (width of trench) = 375 lf.
Linear length of trench (depth adjusted = 375' x 0.4 = 150.0 lf
Width of trench = 2 x 3.7 + 2.0' = 9.4' edge to edge
Invert at 2nd replacement trench.....543.85

Map Unit Legend (Rose Mary Estates)

Map Unit Symbol	Map Unit Name	Acres In AUI	Percent of AUI
GgB	Glenelg loam, 3 to 8 percent slopes	0.5	5.2%
GmB	Glenelg silt loam, 3 to 8 percent slopes	1.3	13.8%
GmC	Glenelg silt loam, somewhat poorly drained, 8 to 15 percent slopes	0.3	3.5%
MaB	Manor loam, 3 to 8 percent slopes	0.3	3.7%
MaC	Manor loam, 8 to 15 percent slopes	6.4	69.4%
McD	Manor loam, 15 to 25 percent slopes, very rocky	0.4	4.5%
Totals for Area of Interest		9.3	100.0%



GENERAL NOTES:

1. SITE ZONED: R-R DEO.
2. AREA OF SITE: 232,653 SF. OR 5.841 ACRES
3. SITE IS LOCATED ON TAX MAP 22, GRID 04, PARCEL 300.
4. SITE IS LOCATED ON ADC MAP PAGE 10, GRID 8-B.
5. PROPERTY ACCOUNT NUMBER: 294579.
6. WATER AND SEWER IS PRIVATE.
7. OWNER/DEVELOPER/APPLICANT:
Harsha P. Dissanayake & Devinka D. Puswella
13080 Williamsfield Drive
Ellicott City, MD 21042
8. PROPERTY DESCRIPTION: DEED LIBER 19314 AT FOLIO 341.
9. TOPOGRAPHY OBTAINED FROM HOWARD COUNTY RECORDS AND FIELD VERIFIED AND ADJUSTED BY SURVEY'S INC. JUNE 30, 2022.
10. PROPERTY ADDRESS: 13080 Williamsfield Drive
Ellicott City, Maryland 21042
11. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
12. THE TOPOGRAPHY OF THIS PLAT HAS BEEN FIELD SHOT BY SURVEY'S, INC. AND IS VERIFIED TO ACCURATELY REPRESENT THE RELATIVE CHANGES ON THE SUBJECT SEPTIC DISPOSAL AND AREA OF DISTURBANCES.
13. ANY ADJUSTMENTS/MODIFICATION TO THE EXISTING SEWAGE DISPOSAL AREA SHOWING AREA LOST AND AREA GAINED.
14. THE LOT WAS CREATED AFTER MARCH 1972, AS PER LIBER 671 AT FOLIO 540 RECORDED MARCH 4TH, 1974.
-THE LOT WAS CREATED AFTER MARCH 1972, A MINIMUM AREA OF 10,000 SF. IS REQUIRED AS THE DESIGNATED SEWAGE DISPOSAL AREA.
15. SEPTIC SYSTEM TO BE INSTALLED PRIOR TO BUILDING PERMIT ISSUANCE.
16. THIS PLAN IS UTILIZING THE ALREADY APPROVED AND EXISTING SEPTIC SYSTEM FOR THE INITIAL TRENCH. THE EXISTING 1000 GALLON TANK WILL BE ABANDONED AND NEW 1500 GALLON 2 COMPARTMENT TANK TO BE INSTALLED AND UTILIZING THE EXISTING DISTRIBUTION BOX OR REPLACEMENT DISTRIBUTION BOX AS PER THE HEALTH DEPARTMENT DISCRETION.

THE PURPOSE OF THIS PLAN IS TO UPDATE THE EXISTING SEPTIC SYSTEM TO ACCOMMODATE THE PROPOSED ADDITION.

TOTAL DISTURBED AREA = 7,764 SF.

Known as Lot 16, "ROSE MARY ESTATES"

SURVEYS, INC.

SURVEYORS • ENGINEERS • LAND PLANNERS

PERMIT SERVICES

350 MAIN STREET

LAUREL, MARYLAND, 20707

PHONE 301-714-0541 • E-MAIL SURVEYS@GMAIL.COM

DATE	REVISION
07/29/2022	Health Dept. comments
09/13/2022	Health Dept. comments
11/10/2022	Health Dept. comments
01/03/2023	Health Dept. comments

PERCOLATION CERTIFICATION PLAN
FOR GARAGE AND DRIVEWAY ADDITION
13080 Williamsfield Drive
DISSANAYSKE &
PUSWELLA PROPERTY
(3rd) Election District
Howard County, Maryland

SCALE	DESIGNER	CHECKED BY
1" = 50'	GB	GB
DATE	DRAFTER	FIELD BOOK
June, 2022	TB	
JOB NUMBER	SHEET NUMBER	FILE NUMBER
21-47	1 of 1	L - 566

OWNER / DEVELOPER / APPLICANT

Harsha P. Dissanayake & Devinka D. Puswella
13080 Williamsfield Drive
Ellicott City, MD 21042

Phone: 443-742-1139
Email: prasad.dissanayake@tideh2o.net

MDE Sewage Area Statement

This area designate a private sewage disposal area as required by The Maryland Department of Environment for individual sewage disposal; Improvement of any nature in this area are restricted. This sewage disposal area shall become null and void upon connection to a public sewerage system. The County Health Officer shall have authority to grant adjustments to the private sewage easement. Recordation of a revised sewage easement shall not be necessary.

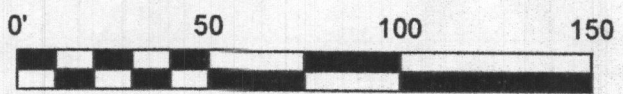
APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS

Health Officer, Howard County Health Department Date

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

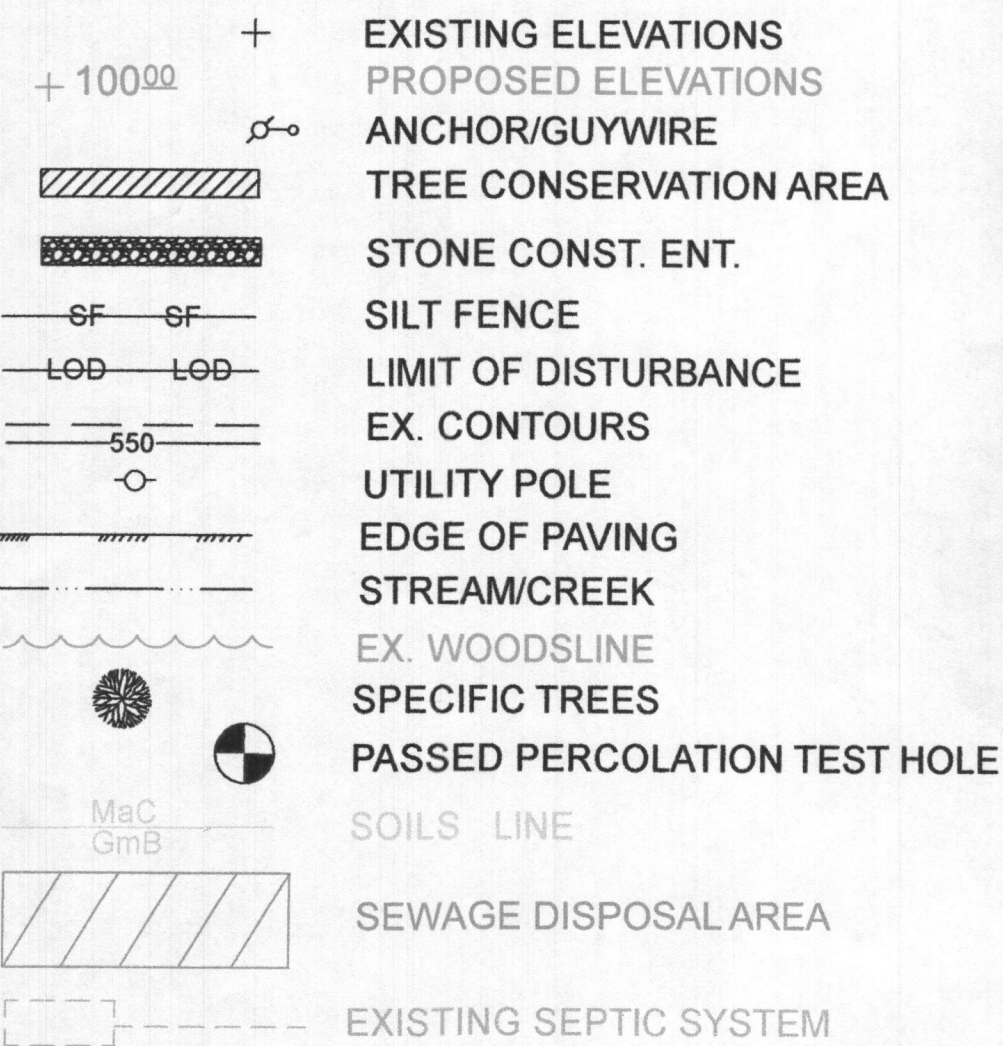
Nov. 10, 2022
DATE

GREGORY C. BENEPIEL
REGISTERED PROFESSIONAL
LAND SURVEYOR, MD No. 10994
LICENSE EXP. AUG. 8, 2024



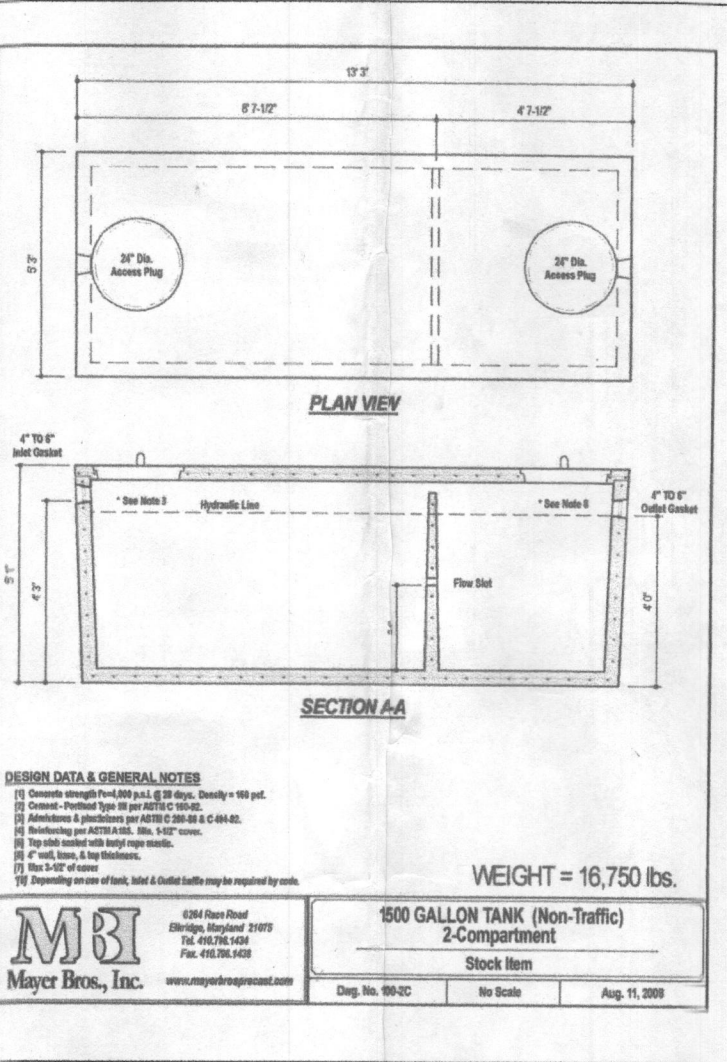
LEGEND

These standard symbols will be found in the drawing.



Map Unit Legend (Rose Mary Estates)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
GgB	Glenelg loam, 3 to 8 percent slopes	0.5	5.2%
GmB	Glenelg silt loam, 3 to 8 percent slopes	1.3	13.8%
GmC	Glenelg silt loam, somewhat poorly drained, 8 to 15 percent slopes	0.3	3.5%
MaB	Manor loam, 3 to 8 percent slopes	0.3	3.7%
MaC	Manor loam, 8 to 15 percent slopes	6.4	68.4%
McD	Manor loam, 15 to 25 percent slopes, very rocky	0.4	4.5%
Totals for Area of Interest		9.3	100.0%



SEPTIC TRENCH DESIGN INFORMATION

Proposed 4 Bedroom House
Application Rate = Initial system = 1.1
1st replacement system = 1.2
2nd replacement system = 0.8
Effective area beginning depth = 3.5, Initial system
3.8, 1st repl. system.
3.7, 2nd repl. system.

Design flow = 150 gallons per day (gpd) per bedroom
Design flow = 4 x 150 = 600 gpd.

Initial System (existing trench)
Square footage of trench required: Initial = 600 gpd / 1.2 = 500 sf.
Linear length of trench required = 500sf / 2' (width of trench) = 250 lf.
Linear length of trench (depth adjuster = 250' x 0.4 = 100.0 lf)
Width of trench = 2 x 3.5 + 2.0' = 9.0' edge to edge
Invert at initial trench (existing).....545.00 (gravity)

1st Replacement System (existing trench)
Square footage of trench required = 600 gpd / 1.2 = 500 sf.
Linear length of trench required = 500sf / 2' (width of trench) = 250 lf.
Linear length of trench (depth adjuster = 250' x 0.4 = 100.0 lf)
Width of trench = 2 x 3.8 + 2.0' = 9.6' edge to edge
Invert at 1st replacement trench.....544.17

2nd Replacement System
Square footage of trench required = 600 gpd / 0.8 = 750 sf.
Linear length of trench required = 750sf / 2' (width of trench) = 375 lf.
Linear length of trench (depth adjuster = 375 x 0.4 = 150.0 lf)
Width of trench = 2 x 3.7 + 2.0' = 9.4' edge to edge
Invert at 2nd replacement trench.....543.85

SEPTIC NOTES:

- Any changes to the locations of depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised Site Plan may be required.
- The maximum earth cover over septic tank is 3.0 feet. Greater earth cover will require a heavy load bearing tank.
- Electrical work for the installation must be performed by a licensed electrician. (If required).
- The well (tag # HO-81-2397) has been field located and is accurately shown.
- All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.

N 11° 21' 55" W
2525'

S 72° 42' 12" W
S 72° 42' 12" W
P. 309

To Williamsfield Drive

282.84'

282.84'

282.84'

282.84'

282.84'

282.84'

282.84'

282.84'

282.84'

282.84'

282.84'

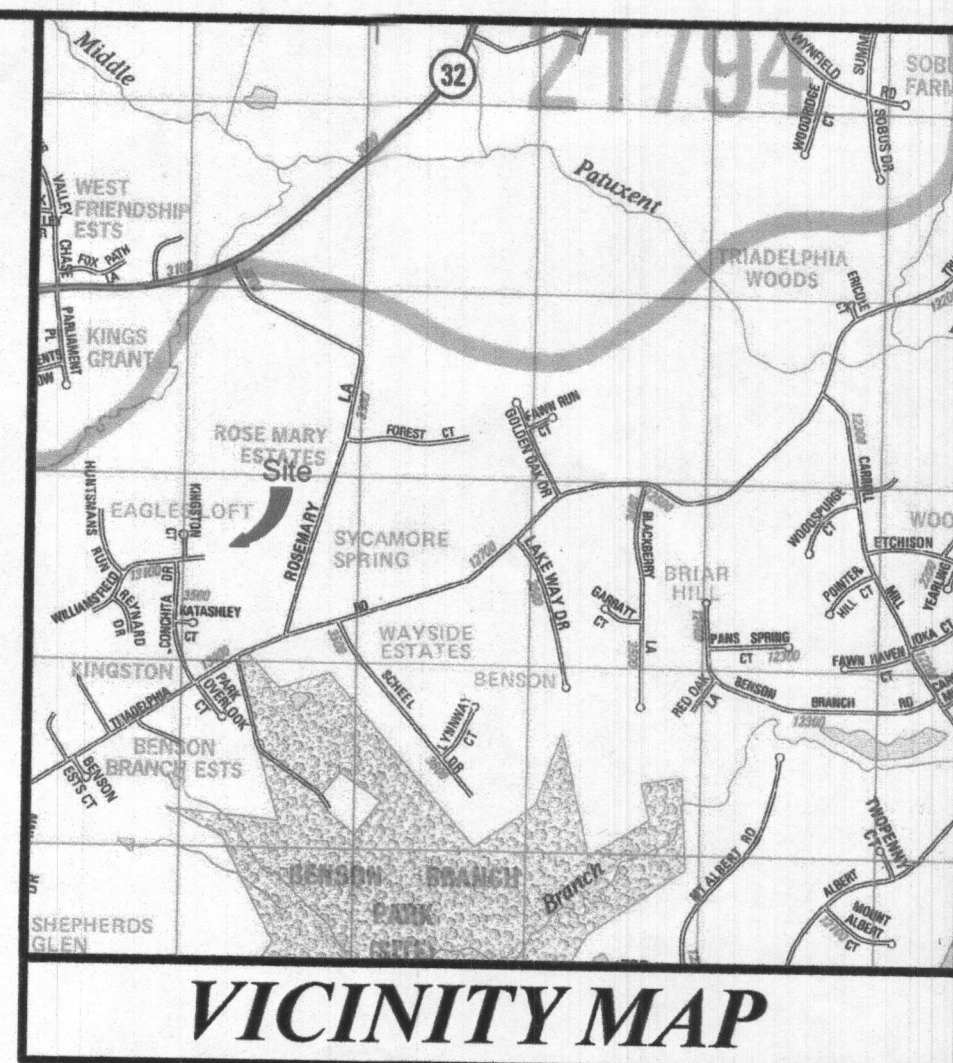
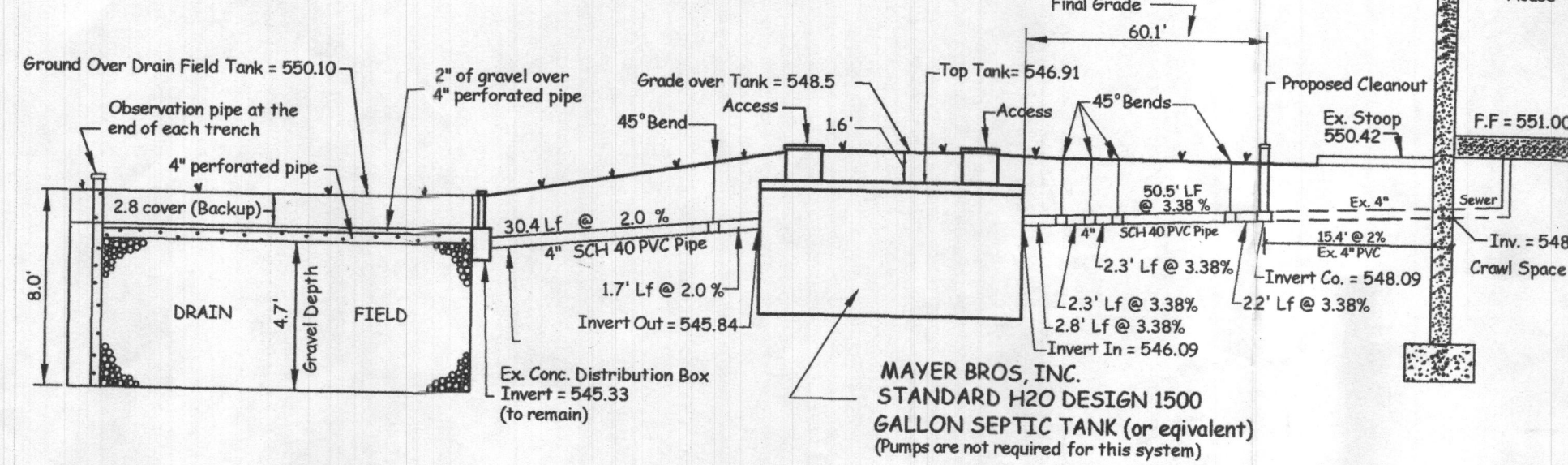
282.84'

282.84'

282.84'

282.84'

STANDARD H2O DESIGN 1500 GALLON TWO COMPARTMENT SEPTIC TANK (Not to Scale) (Initial System)



VICINITY MAP
SCALE = 1" = 2000'
Copyright ADC "The Map People" Permitted use no. 20492158

GENERAL NOTES:

- SITE ZONED: R-R DEO.
- AREA OF SITE: 232,653 SF. OR 5.841 ACRES
- SITE IS LOCATED ON TAX MAP 22, GRID 04, PARCEL 300.
- SITE IS LOCATED ON ADC MAP PAGE 10, GRID 8-B.
- PROPERTY ACCOUNT NUMBER: 294579.
- WATER AND SEWER IS PRIVATE.
- OWNER/DEVELOPER/APPLICANT:
Harsha P. Dissanayake & Devinka D. Puswella
13080 Williamsfield Drive
Ellicott City, MD 21042
- PROPERTY DESCRIPTION: DEED LIBER 19314 AT FOLIO 341.
- TOPOGRAPHY OBTAINED FROM HOWARD COUNTY RECORDS AND FIELD VERIFIED AND ADJUSTED BY SURVEY'S INC. JUNE 30, 2022.
- PROPERTY ADDRESS: 13080 Williamsfield Drive
Ellicott City, Maryland 21042
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- THE TOPOGRAPHY OF THIS PLAT HAS BEEN FIELD SHOT BY SURVEY'S, INC. AND IS VERIFIED TO ACCURATELY REPRESENT THE RELATIVE CHANGES ON THE SUBJECT PROPERTY.
- ANY ADJUSTMENTS/MODIFICATION TO THE EXISTING SEPTIC DISPOSAL AREA SHOWING AREA LOST AND AREA GAINED.
- THE LOT WAS CREATED AFTER MARCH 1972. A MINIMUM AREA OF 10,000 SF. IS REQUIRED AS THE DESIGNATED SEPTIC RESERVE AREA.
- THE LOT WAS CREATED AFTER MARCH 1972. AS PER LIBER 671 AT FOLIO 540 RECORDED MARCH 4TH, 1974.
- THE LOT WAS CREATED AFTER MARCH 1972. A MINIMUM AREA OF 10,000 SF. IS REQUIRED AS THE DESIGNATED SEPTIC RESERVE AREA.
- THIS PLAN IS UTILIZING THE ALREADY APPROVED AND EXISTING SEPTIC SYSTEM FOR THE INITIAL TRENCH. THE EXISTING 1000 GALLON TANK WILL BE ABANDONED AND NEW 1500 GALLON 2 COMPARTMENT TANK WILL BE INSTALLED AND UTILIZING THE EXISTING DISTRIBUTION BOX OR REPLACEMENT DISTRIBUTION BOX AS PER THE HEALTH DEPARTMENT DISCRETION.

THE PURPOSE OF THIS PLAN IS TO UPDATE THE EXISTING SEPTIC SYSTEM TO ACCOMMODATE THE PROPOSED ADDITION.

TOTAL DISTURBED AREA = 7,764 SF.

Known as Lot 16, "ROSE MARY ESTATES"

SURVEYS, INC.

SURVEYORS • ENGINEERS • LAND PLANNERS
PERMIT SERVICES
350 MAIN STREET
LAUREL, MARYLAND, 20701
PHONE 301-716-0541 • E-MAIL SURVEYS@GMAIL.COM

DATE	REVISION
07/29/2022	Health Dept. comments
01/29/2023	Health Dept. comments

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
FOR GARAGE AND DRIVEWAY ADDITION
13080 Williamsfield Drive
DISSANAYSKE & PUSWELLA PROPERTY
(3rd) Election District
Howard County, Maryland

SCALE	DESIGNER	CHECKED BY
1" = 50'	GB	GB
DATE	DRAFTER	FIELD BOOK
Jan, 2023	TB	
JOB NUMBER	SHEET NUMBER	FILE NUMBER
21-47	1 of 2	L - 566

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Jan. 30, 2023
DATE

GREGORY C. BENEFIEL
REGISTERED PROFESSIONAL
LAND SURVEYOR, MD No. 10994
LICENSE EXP. AUG. 8, 2024



OWNER / DEVELOPER / APPLICANT

Harsha P. Dissanayake & Devinka D. Puswella

13080 Williamsfield Drive
Ellicott City, MD 21042

Phone: 443-742-1139

Email: prasad.dissanayake@tideh2o.net

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS

Health Officer, Howard County Health Department Date

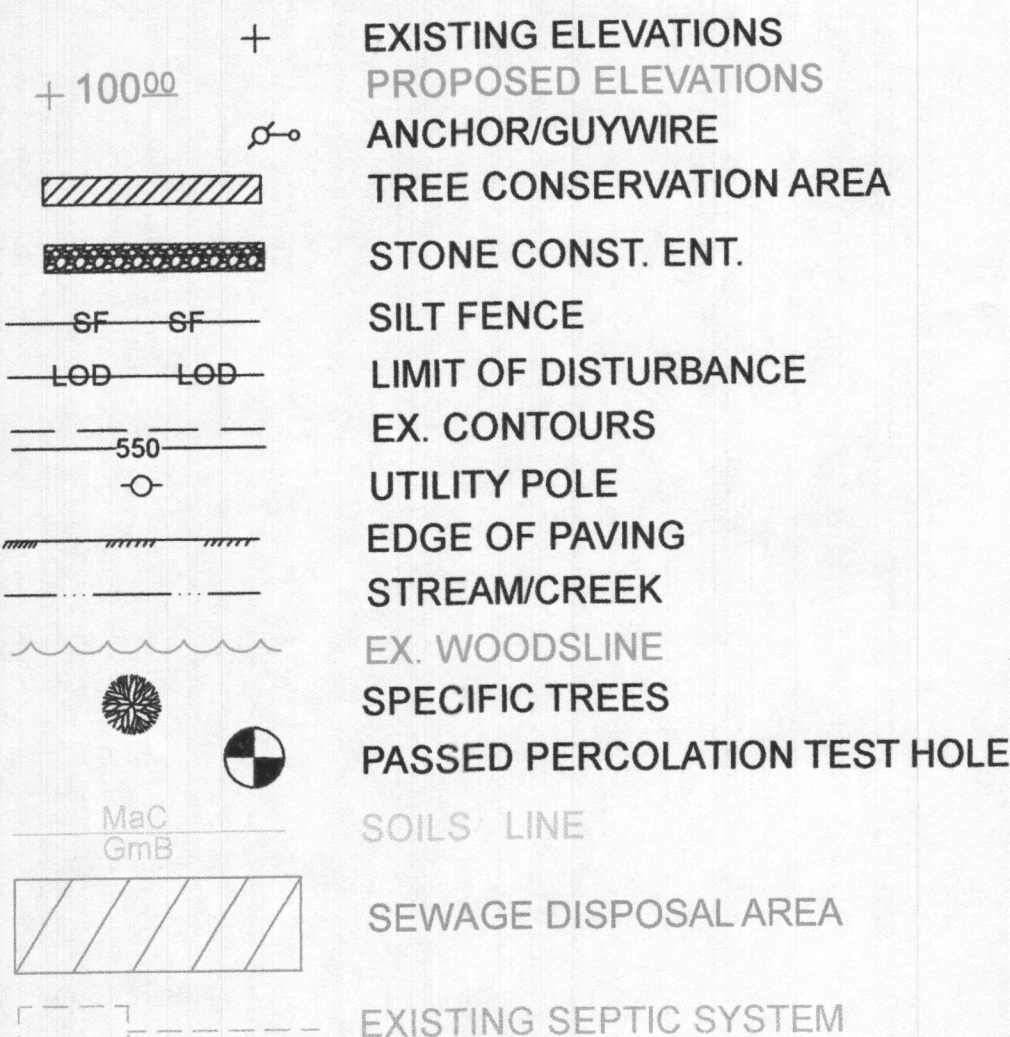
CALL "MISS UTILITY" TELEPHONE NUMBER 1-800-277-7777
FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION.



GRAPHIC SCALE

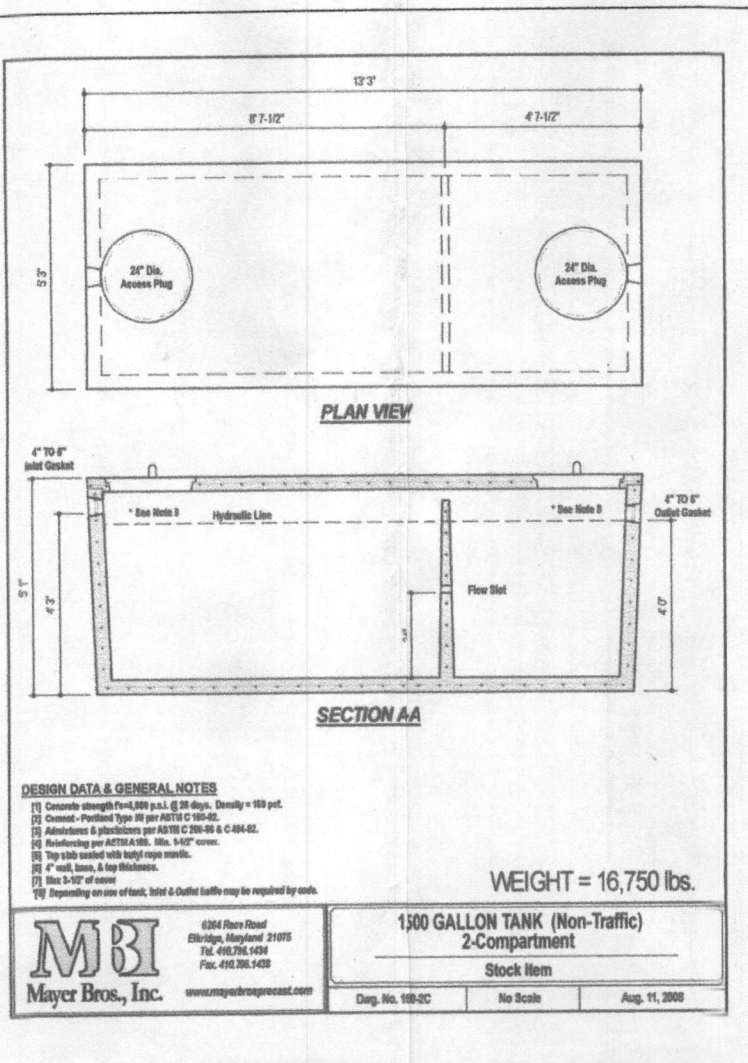
LEGEND

These standard symbols will be found in the drawing.



Map Unit Legend (Rose Mary Estates)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
GgB	Glenn loam, 3 to 8 percent slopes	0.5	5.2%
GmB	Glennville all loam, 3 to 8 percent slopes	1.3	13.8%
GmC	Glennville all loam, somewhat poorly drained, 8 to 15 percent slopes	0.3	3.5%
MaB	Manor loam, 3 to 8 percent slopes	0.3	3.7%
MaC	Manor loam, 8 to 15 percent slopes	6.4	69.4%
MoD	Manor loam, 15 to 25 percent slopes, very rocky	0.4	4.5%
Totals for Area of Interest		9.3	100.0%



SEPTIC TRENCH DESIGN INFORMATION

Proposed 4 Bedroom House
Application Rate = Initial system = 1.2
1st replacement system = 1.2
2nd replacement system = 0.8
Effective area beginning depth = 3.5, initial system
3.8, 1st repl. system.
3.7 2nd repl. system.

Design flow = 150 gallons per day (gpd) per bedroom
Design flow = 4 x 150 = 600 gpd.

Initial System (existing trench)
Square footage of trench required: Initial = 600 gpd / 1.2 = 500 sf.
Linear length of trench required = 500 sf / 2' (width of trench) = 250 lf.
Linear length of trench (depth adjusted) = 250' x 0.4 = 100.0 lf
Width of trench = 2 x 3.5 + 2.0' = 9.0' edge to edge
Invert at initial trench (existing).....545.00 (gravity)

1st Replacement System (existing trench)
Square footage of trench required = 600 gpd / 1.2 = 500 sf.
Linear length of trench required = 500 sf / 2' (width of trench) = 250 lf.
Linear length of trench (depth adjusted) = 250' x 0.4 = 100.0 lf
Width of trench = 2 x 3.8 + 2.0' = 9.6' edge to edge
Invert at 1st replacement trench.....544.17

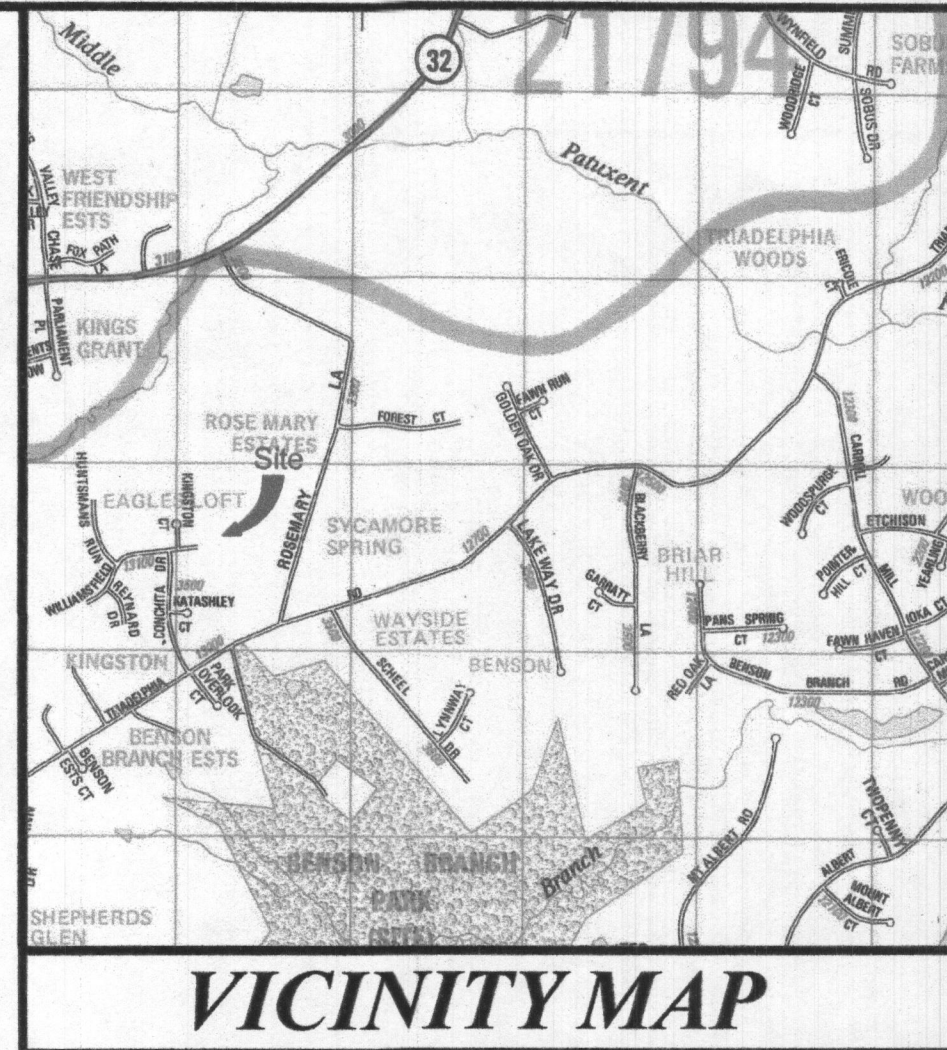
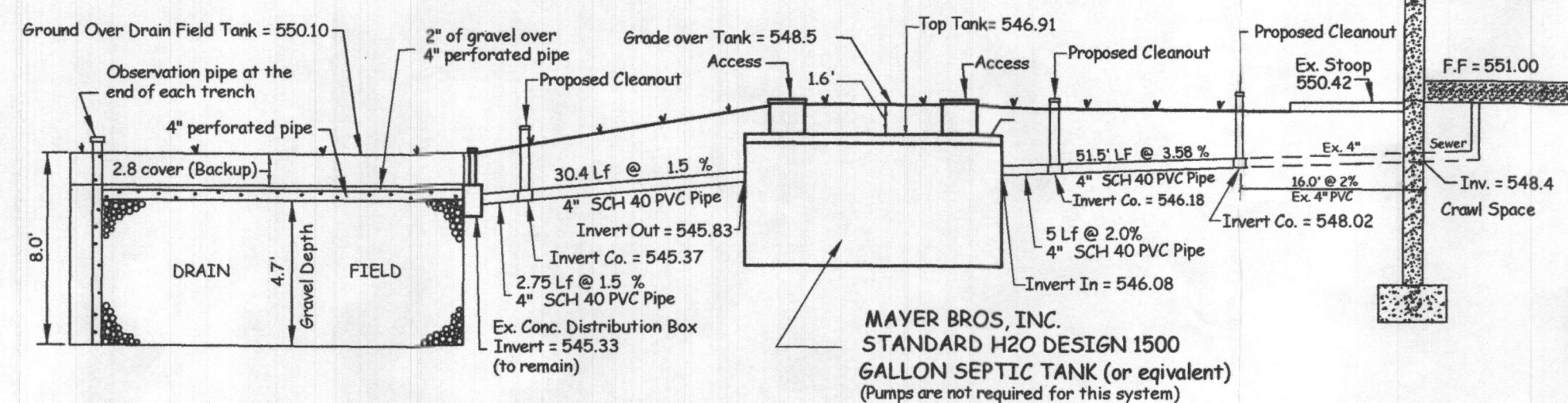
2nd Replacement System
Square footage of trench required = 600 gpd / 0.8 = 750 sf.
Linear length of trench required = 750 sf / 2' (width of trench) = 375 lf.
Linear length of trench (depth adjusted) = 375' x 0.4 = 150.0 lf
Width of trench = 2 x 3.7 + 2.0' = 9.4' edge to edge
Invert at 2nd replacement trench.....543.85

SEPTIC NOTES:

- Any changes to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised Site Plan may be required.
- The maximum earth cover over septic tank is 3.0 feet. Greater earth cover will require a heavy load bearing tank.
- Electrical work for the installation must be performed by a licensed electrician. (If required).
- The well (tag # HO-81-2397) has been field located and is accurately shown.
- All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.

STANDARD H2O DESIGN 1500 GALLON TWO COMPARTMENT SEPTIC TANK

(Not to Scale)
(Initial System)



SCALE = 1" = 2000'

Copyright ADC "The Map People" Permitted use no. 20492158

GENERAL NOTES:

- SITE ZONED: R-R DEO.
- AREA OF SITE: 232,653 SF. OR 5.841 ACRES
- SITE IS LOCATED ON TAX MAP 22, GRID 04, PARCEL 300.
- SITE IS LOCATED ON ADC MAP PAGE 10, GRID 8-B.
- PROPERTY ACCOUNT NUMBER: 294579.
- WATER AND SEWER IS PRIVATE.
- OWNER/DEVELOPER/APPLICANT:
Harsha P. Dissanayake & Devinka D. Puswella
13080 Williamsfield Drive
Ellicott City, MD 21042
- PROPERTY DESCRIPTION: DEED LIBER 19314 AT FOLIO 341.
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TOTAL DISTURBED AREA = 7,764 SF.

Known as Lot 16, "ROSE MARY ESTATES"

SURVEYS, INC.
SURVEYORS • ENGINEERS • LAND PLANNERS
PERMIT SERVICES
350 MAIN STREET
LAUREL, MARYLAND, 20707
PHONE 301-716-0541 • E-MAIL SURVEYS@VERIZON.NET

DATE: 07/29/2022
REVISION: Health Dept. comments

DATE	REVISION
07/29/2022	Health Dept. comments

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
FOR GARAGE AND DRIVEWAY ADDITION
13080 Williamsfield Drive
DISSANAYSKE & PUSWELLA PROPERTY
(3rd) Election District
Howard County, Maryland

SCALE	DESIGNER	CHECKED BY
1" = 50'	GB	GB
DATE	DRAFTER	FIELD BOOK
Jan, 2023	TB	
JOB NUMBER	SHEET NUMBER	FILE NUMBER
21-47	1 of 2	L - 566

OWNER / DEVELOPER / APPLICANT

Harsha P. Dissanayake & Devinka D. Puswella
13080 Williamsfield Drive
Ellicott City, MD 21042

Phone: 443-742-1139

Email: prasad.dissanayake@tideh2o.net

CALL "MISS UTILITY" TELEPHONE NUMBER 1-800-257-7777
FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS
IN CONFORMANCE WITH THE MASTER PLAN OF HOWARD COUNTY

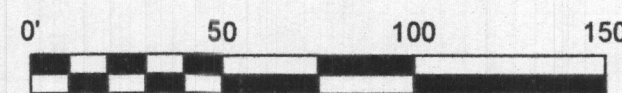
Health Officer, Howard County Health Dept. Date#

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED
ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION
AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Jan, 2023

DATE

GREGORY C. BENEFIEL
REGISTERED PROFESSIONAL
LAND SURVEYOR, MD. No. 10994
LICENSE EXP. AUG. 8, 2024



GRAPHIC SCALE

P. 300
254,434 sf. or 5.841 ac

10,186 sf. Sewage Disposal Area

Existing Woods

Proposed 2 story
Addition with
Garage Below

Proposed 1500 gallon
2 Compartment Septic
Tank

Ex. Conc. Distribution
Inv. 545.33 (to remain)
(Field located)

~~Initial System~~
~~Ex. septic treches~~
~~100 LF each Total 200~~
~~(Approximate location)~~
~~(Not field located)~~

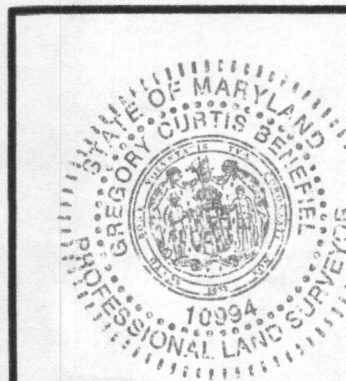
Prop. Well 100' R

Email: prasad.dissanayake@tideh2o.net

Health Officer, Howard County Health Department Date

GREGORY C. BENEFIEL
REGISTERED PROFESSIONAL
LAND SURVEYOR, MD No. 10994
LICENSE EXP AUG 8, 2024

SCALE 1" = 20'	DESIGNER GB	CHECKED BY GB
DATE Jan. 2023	DRAFTER TB	FIELD BOOK _____
JOB NUMBER 21-47	SHEET NUMBER 2 of 2	FILE NUMBER L - 566



GRAPHIC SCALE