



Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME ANNANDALE SECTION I
PROPERTY ADDRESS 1723 UNDERWOOD RD, SYKESVILLE 21784
STREET TOWN ZIP
TAX ACCOUNT # _____ TAX MAP 80 GRID _____ PARCEL _____ LOT NO. 7 PROPOSED LOT SIZE (ACRES) 1.76
ZONING CATEGORY RC-DEO TIER _____

PROPERTY OWNER(S) JEFFREY D. AND TRISSIE F. MANWILLER

DAYTIME PHONE 410-793-2961 CELL SAME EMAIL TMANWILLER@VERIZON.NET
MAILING ADDRESS 1723 UNDERWOOD RD, SYKESVILLE, MD, 21784
STREET CITY, STATE ZIP

APPLICANT DANIEL DEITEMYER RELATIONSHIP TO OWNER: CONTRACTOR
DAYTIME PHONE 443-463-8021 CELL SAME EMAIL KESWICK-Young@VERIZON.NET
MAILING ADDRESS 1514 GROSS LANE WOODSTOCK, MD, 21163
STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- ☐ SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE: _____
SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) ☐ MAJOR ☐ MINOR
☐ CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
☐ REPAIR OR REPLACE FAILING OSDS
☒ UPGRADE EXISTING OSDS

BUILDING:

- ☒ RESIDENTIAL WITH 5 EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
☐ COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- ☐ YES
☒ NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
- THE APPLICATION FEE IS NON-REFUNDABLE
- THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
- THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

SIGNATURE OF APPLICANT

DATE

Maura J. Rossman, M.D., Health Officer

Date: June 7, 2022

To: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

CC: Jeffery Manwiller
Via E-Mail: tmanwiller@verizon.net

RE: **Percolation Testing Report**
1723 Underwood: Tax Map 9: Parcel 300
Sykesville, MD 21784

Mr. Deitemyer,

Percolation testing was conducted on the referenced property on May 25th, 2021. The purpose for conducting these percolation tests was for an anticipated establishment of a sewage disposal area for the existing lot. A total of five (5) test holes evaluated and three (3) were found to be satisfactory to establish a sewage disposal area for the existing lot. Field data collected is shown on the Percolation Test Worksheet enclosed with this letter.

All percolation tests conducted were standard tests, measuring rate of fall for a pre-wet period followed by measurement and recordation of the time required for the water level to drop 1 inch. Areas that may be included in a septic reserve are represented by test locations having satisfactory soil conditions. The area of the septic reserve must be at least 10,000 square feet, though Howard County Code [3.805.A.2.X] requires that the area be large enough to accommodate an initial drain field and two repair drain fields for the planned residence.

Testing occurred to upgrade the existing septic system to support building proposal B21001433. A revised percolation certification plan showing the 2000-gallon septic tank upgrade and the abandonment of the old system. Once the percolation certification is approved and OSDS plan is submitted by your engineer; the next step will be to have your system upgraded. Once the final step of upgrading your system is complete your building permit will be approved. If you have any questions or correspondence regarding this evaluation or requirements for the Percolation Certification Plan, please contact me at the above address or by telephone at (410) 313-2775.

Respectfully,

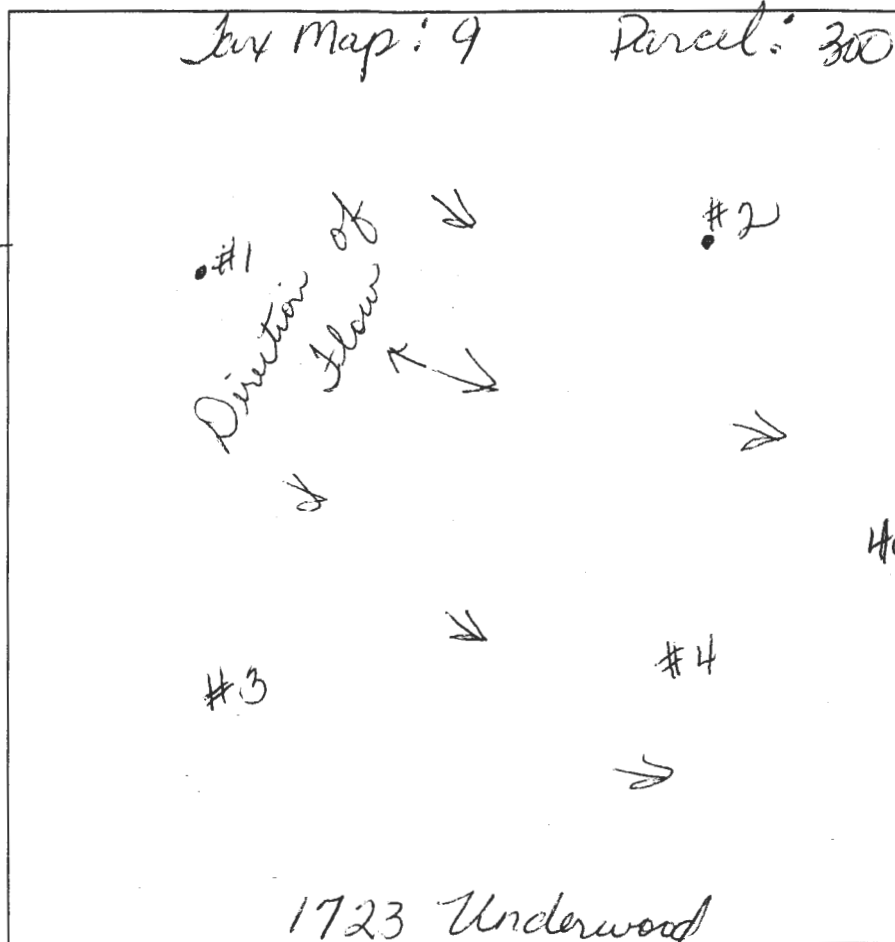


Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program
File

#1
Red Brown
yellow
SCL
4.5'
Red Brown
yellow
Sh
many
miller
5-10%
P4
↓
14'

#3
Red Brown
yellow
SCL
5'
Red Brown
yellow
Sh
5-10%
P4
↓
12'

#4
Red Brown
yellow
SCL
6'
Red Brown
yellow
Hard Sh
Bottom
@ 9'
50%
Lack



#4a'
Red Brown
yellow
SCL
5'
Red Brown
yellow
Sh
50%
P4 @ 7'
Refusal @ 9'
#2
Red Brown
yellow
SCL
6'
Red Brown
yellow
Sh
5-10%
P4
↓
12'

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5-25-22	1	4.8/14'	11:40	11:42	11:46	4min	P
5-25-22	3	5/12	12:00	12:04	12:08	4min	P
5-25-22	4	9	Refusal	@ 9'	-	-	F
5-25-22	2	6/12	12:31	12:36	12:42	6min	P
5-25-22	4a	10	Refusal	@ 10'	-	-	F

REMARKS Existing tank to be abandoned + New 2000 installed

SANITARIAN D Bernard BACKHOE OTHERS

TEST HOLES USED IN SDA 5 holes AVG. PERC TIME SQ. FT/BR

TRENCH WIDTH INLET DEPTH MAX. BOT DEPTH EFFECTIVE SW

LEAD DETECTION 0402

5014 MINERAL DRIVE STICKVILLE, MARYLAND 21786 PHONE (301) 752-2810

FILE NO. 1001
FBI WASH. 337-218

1/9/22



INSPECTOR John M. Wilson

5/10 (Shallow system in #0 area only) *See*
Hole

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Tuesday, July 25, 2023 7:47 AM
To: Natalia Dunlap
Cc: Rob Sell
Subject: RE: 1723 Underwood Drive

Thank you. I think that looks fine. As we discussed, the existing system does not need to be upgraded for 5 bedrooms. Given how long everything took here, I think I will approve the building permit with this plan used as evidence that 2 future systems can likely fit on the property. The owner should be aware that future additions, especially bedroom additions may be difficult if not impossible given the failing holes, the lack of an unencumbered 10,000 sq ft of disposal area, and the tight lot otherwise preventing us from easily moving to another area. Thanks
Jeff

From: Natalia Dunlap <ndunlap@mccrone-engineering.com>
Sent: Monday, July 24, 2023 3:59 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Rob Sell <rsell@mccrone-engineering.com>
Subject: Re: 1723 Underwood Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Mr. Williams,

We used their survey for the design drawings, so the topo and locations were already there.

Attached is the revised plan with added note for BAT unit (PDF format).

I tried to show the trenches somewhat within the original delineation of the septic area, somewhat on contour, away from failed percs and 10 ft away from the property line. I can rotate the trenches if you'd rather have them more parallel to the existing trenches but they will be less on a contour.

Thank you!
Natalia

Natalia S. Dunlap, P.E., LEED AP BD+C
Project Engineer
McCrone
20 Ridgely Avenue, Suite 201
Annapolis, MD 21401
Office [410.267.6947](tel:410.267.6947) x1006
ndunlap@mccrone-engineering.com
www.mccrone-engineering.com

On Mon, Jul 24, 2023 at 3:26 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Thanks. If you can take these points along with the location of the septic tank and run the assumed existing trenches relatively along contour, then I'm hoping there is room for 2 future 100' trenches in the remaining area before we get

to the failing holes. See if you can make that fit and I can probably sign off on the BP while we deal with getting the plans and signing them.

I'd like the perc cert to have a note stating that future replacement systems may require a BAT unit due to the downgrade well on the neighboring property. Thanks

Jeff

From: Natalia Dunlap <ndunlap@mccrone-engineering.com>
Sent: Monday, July 24, 2023 3:17 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Rob Sell <rsell@mccrone-engineering.com>
Subject: Fwd: 1723 Underwood Drive

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good afternoon, Mr. Williams.

Please see below the contact information for the registered land surveyor (re: 1723 Underwood Drive project site survey).

Shanaberger and Lane suite 201

8726 Town and Country Blvd.

Ellicott City, Md. 21043

410-461-9563

The email below from them confirms that they did a field-run survey and located the perc test locations on the same day. Attached is the copy of the survey in CAD and PDF format. Also, the Client indicated that he sent this information to the County on March 3, 2022. I am concerned that the surveyed locations do not match your sketches in your files. Please advise how to proceed with the perc locations and additional notes for the re-submittal.

Due to extenuating circumstances and review time, would it be possible for the Client to obtain the permit or conditional acceptance while we are finalizing the plans?

Thank you.

Natalia

Natalia S. Dunlap, P.E., LEED AP BD+C

Project Engineer

McCrone

20 Ridgely Avenue, Suite 201

Annapolis, MD 21401

Office 410.267.6947 x1006

ndunlap@mccrone-engineering.com

www.mccrone-engineering.com

----- Forwarded message -----

From: <home@shanlane.com>

Date: Mon, Jul 24, 2023 at 2:26 PM

Subject: Re: 1723 Underwood Drive

To: Natalia Dunlap <ndunlap@mccrone-engineering.com>

Natalia,

Sorry for the delay.

The topography was field-run by Shanaberger & Lane on 10/06/2022. The perc test locations and elevations were field-measured on that date.

Hope this helps!

Guy



Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
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Maura J. Rossman, M.D., Health Officer

APPLICATION FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME ANN ANDALE SECTION I
PROPERTY ADDRESS 1723 UNDERWOOD RD, SYKESVILLE 21784
STREET TOWN ZIP
TAX ACCOUNT # _____ TAX MAP 80 GRID _____ PARCEL _____ LOT NO. 7 PROPOSED LOT SIZE (ACRES) 1.76
ZONING CATEGORY RC-DEO TIER _____

PROPERTY OWNER(S) JEFFREY D. AND TRISSIE F. MANWILLER

DAYTIME PHONE 410-793-2961 CELL SAME EMAIL TMANWILLER@VERIZON.NET
MAILING ADDRESS 1723 UNDERWOOD RD, SYKESVILLE, MD, 21784
STREET CITY, STATE ZIP

APPLICANT DANIEL DEITEMYER RELATIONSHIP TO OWNER: CONTRACTOR
DAYTIME PHONE 443-463-8021 CELL SAME EMAIL KESWICK-Young@VERIZON.NET
MAILING ADDRESS 1514 GROSS LANE WOODSTOCK, MD, 21163
STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- ☐ SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE: _____
SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) ☐ MAJOR ☐ MINOR
☐ CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
☐ REPAIR OR REPLACE FAILING OSDS
☒ UPGRADE EXISTING OSDS

BUILDING:

- ☒ RESIDENTIAL WITH 5 EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
☐ COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- ☐ YES
☒ NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
- THE APPLICATION FEE IS NON-REFUNDABLE
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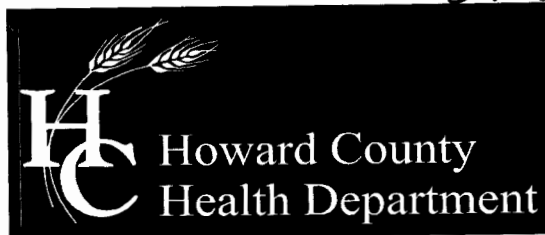
I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

SIGNATURE OF APPLICANT

DATE

Initial Letter



Office of the Health Officer

8930 Stanford Drive, MD 21045

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

DATE: June 26, 2023

TO: Robert Sell (Engineer)

Via E-mail: RSell@mccrone-engineering.com

CC: Daniel Deitemyer

Via E-mail: keswickyoung@verizon.net

CC: Jeffery Manwiller

Via E-mail: tmanwiller@verizon.net

RE: **Building Permit #B21001433**

1723 Underwood

Tax Map:9 Parcel 300

Mrs. Sell,

I have received your proposed percolation certification plan and variance request; however, we cannot review your request until we receive the information requested back on November 11, 2021. We requested floor plans for the existing house, and we still have not received them. This information will be needed as part of your review for the building permit, variance request, and for percolation certification plan review.

Your percolation certification plan must be revised to show the following:

To address septic area creation:

- Your area cannot include failed percolation testing holes 4 and 4a. This area must be delineated to show only passed percolation holes (new and original). And the area must be 10,000 square feet.
- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled. Existing passing percolation holes must be shown on the plan.
- Alternate well for the property must be shown on the plan. Two alternate wells must be shown 50 feet apart or you must show a 1500 sq. ft. well box.

- Well sites for surrounding properties such as Lot #8.
- Your lot was created AFTER March 1972 a minimum area of 10,000 sq. ft. is required as designated septic reserve area.

To address the variance request:

Addressing #1. The subject property has three existing deep trenches and there is no evidence of failure

This is correct and the length of trenches can be used for the four bedrooms requested. No extension is needed.

Addressing #2. The state/county's requirement to provide 10,000 square feet septic area must be shown on Percolation Certification Plan correctly. You cannot include failed perc test holes in your septic area. To correct; redesign the area to delineate the failed testing holes and then show the existing area used and 2 replacement areas along with calculation for verification. When designing your area make sure the failed holes are 25 feet away from the area you intend to use. Once the area and 2 replacements have been established and if you do not have 10,000 square feet at that time you can apply for a waiver. (See Attached Form)

Please remember your building permit will be placed "on hold" until all Health Department requirements are met. (i.e., Percolation Certification Plan/Approved, installation of the septic tank, and any waivers applied for.) If you have any questions or correspondence, I can be reached by e-mail or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard 

Dana Bernard, REHS/RS
Environmental Specialist II
Well and Septic Program
Phone (410) 313-2775

Maura J. Rossman, M.D., Health Officer

DATE: July 14, 2023

TO: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

CC: Jeffery Manwiller
Via E-mail: tmanwiller@verizon.net

CC: Natalia Dunlap
Via E-mail: nudunlap@mccrone-engineering.com

RE: **Percolation Certification Revised Plan**
1723 Underwood: Tax Map: 9 Parcel 300

Ms. Natalia per our meeting at 2:00 p.m.

Based on the plan you submitted, it clearly shows additional percolation testing will be needed. And unfortunately, I confirmed that your soil (GmB) is wet season testing soil. Wet season will occur during the months of February and May based on the water table. At that time, we can complete testing. In the meantime, I am recommending you send a revised percolation testing plan to be reviewed and approved. When wet season arrives, we can move forward quickly to complete your project.

The area in which the failed percolation test is located cannot be used to install trenches so you will have to delineate the area to reflect. The area cannot be included in the **minimum area of 10,000 sq. ft.** required. The septic reserve area must be large enough to accommodate 3 systems (**an initial and 2 replacements**). When 3 systems are proposed calculation must be shown on plans for confirmation.

Your revised plan must be prepared and stamped by a professional surveyor or engineer and must show the following:

- The topography must be surveyed and verified by an engineer and shown on all surrounding lots. Including 1719 Underwood Road and 13392 Pipes Lane.
- Houses must be shown for surrounding properties such as: 1719 Underwood Road and 13392 Pipes Lane. I have provided you with the files for each property. Show all of the septic components for the surrounding properties and the existing. (PIA's provided/ handed to Natalia)

Maura J. Rossman, M.D., Health Officer


- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled.
- Topography at two-foot intervals and **statement verifying such**. Along with soil type boundaries. Soil types should be included on site plan and not on additional exhibits.
- **Two alternate wells must** be shown 50 feet apart or you must show a 1500 sq. ft. well box. This is required to show the wells and septic of the surrounding lots all are within compliance.
- A legend to guide the reviewer. Legend symbols to distinguish plan features (i.e. well, septic etc.) and all test holes that passed, failed, or were held for re-review (e.g., for wet season), and any previously documented holes.
- **Floor plans for the existing house.**
- **The new tank cannot be placed in the same spot of the existing tank.**

The following statements must be added to support your plan.

- **The topography of this plat is and is verified to accurately represent the relative changes on the subject property by (your engineers name should be placed here).**
Note: In line 4 on your plan notes, states that the information was taken from others, and this is not compliant to our requirements. This was stated on the first communication back on August 3, 2022. This statement should be included with the engineering notes.
- **Any changes to a private sewage easement shall require a revised percolation certification plan. This statement should be included with the engineering notes.**

The items above must be addressed and resubmitted. Please note in order to get your building permit approved you must also submit an Onsite Sewerage Disposal System Plan for approval. Once your percolation plan is approved it will be much easier to submit your OSDS. If you have any questions don't hesitate to reach out.

Respectfully,



Dana Bernard

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program

Maura J. Rossman, M.D., Health Officer

DATE: July 14, 2023

TO: Natalia Dunlap
Via E-mail: nudunlap@mccrone-engineering.com

CC: Jeffery Manwiller
Via E-mail: tmanwiller@verizon.net

CC: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

RE: **Percolation Certification Revised Plan**
1723 Underwood: Tax Map: 9 Parcel 300

Ms. Natalia per our meeting at 2:00 p.m.

Thank you for meeting with me today to discuss your project. Based on the plan you submitted, it clearly shows additional percolation testing will be needed. And unfortunately, I confirmed that your soil (GmB) is wet season testing soil. Wet season will occur during the months of February through May based on the water table. At that time, we can complete testing. In the meantime, I am recommending you send a revised percolation testing plan to be reviewed and approved. When wet season arrives, we can move forward quickly to complete your project. The following information can be used to revise your percolation testing plan:

The area in which the failed percolation test is located cannot be used to install trenches so you will have to delineate the area to reflect. The area cannot be included in the **minimum area of 10,000 sq. ft.** required. The septic reserve area must be large enough to accommodate 3 systems (**an initial and 2 replacements**). When 3 systems are proposed, calculation must be shown on plans for confirmation.

Your revised plan must be prepared and stamped by a professional surveyor or engineer and must show the following:

- The topography must be surveyed and verified by an engineer and shown on all surrounding lots. Including 1719 Underwood Road and 13392 Pipes Lane.
- Houses must be shown for surrounding properties such as: 1719 Underwood Road and 13392 Pipes Lane. I have provided you with the files for each property. Show all of the septic components for the surrounding properties and the existing. (PIA's provided/ handed to Natalia)

Maura J. Rossman, M.D., Health Officer

- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled.
- Topography at two-foot intervals and **statement verifying such**. Along with soil type boundaries. Soil types should be included on site plan and not on additional exhibits.
- **Two alternate wells must** be shown 50 feet apart or you must show a 1500 sq. ft. well box. This is required to show the wells and septs of the surrounding lots all are within compliance.
- A legend to guide the reviewer. Legend symbols to distinguish plan features (i.e. well, septic etc.) and all test holes that passed, failed, or were held for re-review (e.g., for wet season), and any previously documented holes.
- Floor plans for the existing house.
- The new tank cannot be placed in the same spot of the existing tank. The tank must be pumped and crushed in place. Please label "to be abandoned" and find a new location for the proposed tank.

The following statements must be added to support your plan.

- The topography of this plat is and is verified to accurately represent the relative changes on the subject property by (your engineers name should be placed here).
Note: In line 4 on your plan notes, states that the information was taken from others, and this is not compliant to our requirements. This was stated on the first communication back on August 3, 2022. This statement should be included with the engineering notes.
- Any changes to a private sewage easement shall require a revised percolation certification plan.
This statement should be included with the engineering notes.

The items above must be addressed and resubmitted. Please note in order to get your building permit approved you must also submit an Onsite Sewerage Disposal System Plan for approval. Once your percolation plan is approved it will be much easier to submit your OSDS. If you have any questions don't hesitate to reach out.

Respectfully,

Dana Bernard

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program


Bernard, Dana

From: Bernard, Dana
Sent: Monday, May 9, 2022 3:57 PM
To: keswickyoung@verizon.net
Subject: 1723 Underwood

Good Afternoon,

I am offering the following day for percolation testing May 25th. Let me know if this day works for you.

Thank You

Dana Bernard 
Well and Septic Program

McCRONE

ENGINEERS ■ SURVEYORS ■ PLANNERS

June 7, 2023

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program

Subject: Percolation Certification Revised Plan
1723 Underwood: Tax Map: 9 Parcel 300

Ms. Bernard,

The purpose of this letter is to request variances for the subject property:

- 1) The subject property has three (3) existing deep trenches that, based on the conversation with the Owners show no evidence of failure. We request that the Owners continue to use these trenches as the primary field. The septic tank is required to be replaced to accommodate the additional bedroom addition.
- 2) It is the County's requirement to provide 10,000 sf septic area, which was shown on the plans. We ask that the septic area is reduced where the percolation tests failed to allow Owners to use this land in the future, if desired. Two reserve fields were shown in the area of passed percolation tests.

Thank you. Please let us know if you have any questions.

Sincerely,
McCrone



Robert M. Sell, P.E.
Principal
Water/Wastewater Division Manager
McCrone
20 Ridgely Avenue, Suite 201
Annapolis, MD 21401
410.267.6947 ext. 1003
www.mccrone-engineering.com

rsell@mcrone-engineering.com

Maura J. Rossman, M.D., Health Officer

DATE: August 3, 2022

TO: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

CC: Jeffery Manwiller
Via E-mail: tmanwiller@verizon.net

RE: **Percolation Certification Revised Plan**
1723 Underwood: Tax Map: 9 Parcel 300

Mr. Deitemyer,

Your site plan must be prepared and stamped by a professional surveyor or engineer and must show the following:

- Identification of the property, road, street address if applicable, subdivision name, tax map, parcel, etc.

Response: Provided on Sheet S-2

- The topography must be surveyed and verified by an engineer.

Response: Verified.

- If the lot was created AFTER March 1972 a minimum area of 10,000 sq. ft. is required as designated septic reserve area. For lots created PRIOR to March 1972 a septic reserve area large enough to accommodate 3 systems (an initial and 2 replacements) must be proposed. When 3 systems are proposed calculation must be shown on plans for confirmation. I have included septic specs to help with calculations. (see attached)

Response: Please see Sheet S-3 indicating 10,000 sf septic area. Calculations are provided on Sheet S-2.

- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled.

Response: Septic easement is not applicable to this project.

Maura J. Rossman, M.D., Health Officer

- Topography at two-foot intervals and statement verifying such. Along with soil type boundaries.

Response: *Topography is provided on the site plan, please refer to Sheet S-3. Soil type boundaries are not available; USDA soil maps indicate that the site is predominantly in GgB soil type.*



- Two alternate wells must be shown 50 feet apart or you must show a 1500 sq. ft. well box.
- Response:** *N/A, the project does not involve installation of a new potable water well.*

- A legend to guide the reviewer. Legend symbols to distinguish plan features (i.e. well, septic etc.) and all test holes that passed, failed, or were held for re-review (e.g., for wet season), and any previously documented holes.

Response: *All site features are labeled for convenience of the reviewer.*

- Show the wells and septs of the surrounding lots to verify all are within compliance.

Response: *Addressed. Please see the site plan.*

The following statements must be added to support your plan.

Maura J. Rossman, M.D., Health Officer

- All wells and septic systems within 100' of the property boundaries and all existing or proposed wells less than 200' down-gradient of a septic system and/or septic easement have been shown.

Response: Added.

- The topography of this plat is and is verified to accurately represent the relative changes on the subject property by (your engineers name should be placed here).

Response: Added.

- Any changes to a private sewage easement shall require a revised percolation certification plan.

Response: Added.

- A purpose statement indicating the purpose of the plan.
(The purpose statement indicates the reason for the percolation certification plan.)

Response: Added.

- A professional seal or signed statement:

"I certify that the information shown herein is based on field work performed by me or under my direct supervision, and is correct, to the best of my knowledge and belief."

Response: Added.

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment.

Response: Added.

- Certification of compliance with MDE ownership width and lot area requirements for lots created after 1985:

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment

- MDE statement for lots created after March 1972:

"This area designates a private sewage disposal area of at least 10,000 sq. ft. as required by the Maryland Department of Environment for individual sewage disposal. Improvements of any nature in this area are restricted. This sewage disposal area shall become null and void upon connection to a public sewerage system. The County Health Officer shall have authority to grant adjustments to the private sewage easement

Maura J. Rossman, M.D., Health Officer

Recordation of a revised sewage easement shall not be necessary.”

OR

- MDE statement for lots created before March 1972:

“This area designates a private sewage area as required by the Maryland Department of the Environment for individual sewage disposal. For lots created prior to March of 1972 it provides at least enough area to accommodate an initial and two replacement septic systems approved For Private Water and Private Sewerage Systems Health Officer, Howard County Health. Dept. systems as required by the Howard County Health Department. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.”

- Health Officer signature box as shown:

Approved for Private Water and Private Sewer System	
_____ Howard County Health Officer	_____ Date

Response: Added.

Considering the complexity of your request I am suggesting you hire an engineer to help you complete your percolation certification plan. The items above must be addressed and resubmitted. If you have any questions don't hesitate to reach out.

Respectfully,

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program

Bernard, Dana

From: keswickyoung@verizon.net
Sent: Thursday, June 29, 2023 6:57 AM
To: Bernard, Dana; Trissie Manwiller; Natalia Dunlap
Subject: Re: 1723 Underwood- Existing Residence Floor Plan
Attachments: Manweiler Accessory Apt.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Dana,

Please see the attached floor plan for 1723 Underwood Rd.

Thank you,

Dan Deitemyer, President
Keswick Young Co.
443-463-8021

On Wednesday, June 28, 2023 at 02:54:56 PM EDT, Bernard, Dana <dbernard@howardcountymd.gov> wrote:

Good Afternoon Mr. Sell,

I have attached the information needed to move forward with your percolation certification plan. If you have any questions don't hesitate to send me an e-mail.

Dana Bernard, LEHS

Environmental Health Specialist II

Howard County Health Department

Well and Septic Program

8930 Stanford Blvd. Columbia, MD 21045

410-313-2775 office

www.hchealth.org

Bernard, Dana

From: Trissie Manwiller <tmanwiller@verizon.net>
Sent: Thursday, June 22, 2023 4:39 PM
To: Bernard, Dana
Subject: 1723 Underwood Road - Manwiller

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good afternoon Dana,

I wanted to follow up with you to see if you had received a package with the septic plans from the Engineer. It was sent almost 2 weeks ago? We still have not seen or heard anything.

I am sorry I keep bugging you on this but we are in a desperate situation here as we have been struggling to get this completed with the county now since April, 2020.

Thank you so much,
Trissie Manwiller
tmanwiller@verizon.net
410-804-8884

1723 Underwood Road
Sykesville, MD 21784

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, May 31, 2023 10:10 AM
To: Jeff Manwiller
Subject: RE: 1723 Underwood Road, Sykesville, MD 21784

Jeff,

I responded to your engineer if you need any additional help . Just give me a call. The project needed research before I responded because the percolation testing was done last year and the file was not on my desk. I did not know the stage of the project. Call or email me with any additional questions if you have them.

Thanks
Dana

From: Jeff Manwiller <jeff.manwiller@gmail.com>
Sent: Tuesday, May 30, 2023 11:08 AM
To: Bernard, Dana <dbernard@howardcountymd.gov>
Subject: Re: 1723 Underwood Road, Sykesville, MD 21784

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Dana,

I just want to follow up from our email exchange last week. I know you are probably swamped coming off the holiday weekend, so let me know when we can connect on this. Again, I am trying to connect our contractor, septic engineer, and yourself to clarify various questions/points of confusion coming from the engineer.

My number is (410) 707-8897.

Jeff

On Thu, May 25, 2023 at 2:53 PM Jeff Manwiller <jeff.manwiller@gmail.com> wrote:

Dana,

Thank you in advance for your help on this matter!!!

Have a great holiday weekend.

Jeff

On Thu, May 25, 2023 at 2:21 PM Bernard, Dana <dbernard@howardcountymd.gov> wrote:

Please disregard the previous email. Mr. Manwiller I'm sorry I mixed you up with another client. I will be in the office on Tuesday and will follow up first thing on Tuesday morning.

Bernard, Dana

From: Bernard, Dana
Sent: Monday, November 14, 2022 10:00 AM
To: keswickyoung@verizon.net; tmanwiller@verizon.net
Cc: Silvast, Zackary
Subject: RE: 1723 Underwood

Good Morning All,

I received a call from the homeowner wanting to know the status of your project at 1723 Underwood. I tried to call this morning however there was no answer. So I am reaching out through email to give an update. This email was sent out August 3, 2022 and I have not received a response or acknowledgement of receipt. I know the email addresses are good because I have received and sent messages to both. Please review the previous email sent out August 3, 2022 and revise your percolation certification plan and resubmit.

Thank You
Dana Bernard
Well and Septic Program

From: Bernard, Dana
Sent: Wednesday, August 3, 2022 12:19 PM
To: keswickyoung@verizon.net; tmanwiller@verizon.net
Cc: Silvast, Zackary <zsilvast@howardcountymd.gov>
Subject: 1723 Underwood

Good Morning Mr. Deitemyer,

I have attached the information needed to revise your percolation certification plan. Please note in order to move forward, our office will need to approve your percolation certification plan and an OSDS plan in order to approve your building permit. I am recommending you get an engineer to help you complete your project. I have attached updated information regarding OSDS requirements and If you have any additional question don't hesitate to send me an email.

Respectfully
Dana Bernard
Well and Septic Program

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, July 12, 2023 9:09 AM
To: ndunlap@mccrone-engineering.com
Subject: 1723 Underwood Drive

Good Morning Natalia,

I would like for you to come in for a meeting to discuss your plan for 1723 Underwood. I have the following days available:

1. Friday, July 14, 2023 at 2:00 p.m.
2. Tuesday, July 18th, 2023 at 2:00 p.m.

Let me know which day works for you.

Dana Bernard, LEHS
Environmental Health Specialist II
Howard County Health Department
Well and Septic Program
8930 Stanford Blvd. Columbia, MD 21045
410-313-2775 office
www.hchealth.org
Social Media: @hocohealth





**HOWARD COUNTY
HEALTH DEPARTMENT**

*Initial
Letter*

Bureau of Environmental Health

8930 Stanford Blvd | Columbia, MD 21045

410.313.2640 - Voice/Relay

410.313.2648 - Fax

1 866 313 6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

DATE: August 3, 2022

TO: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

CC: Jeffery Manwiller
Via E-mail: tmanwiller@verizon.net

RE: **Percolation Certification Revised Plan**
1723 Underwood: Tax Map: 9 Parcel 300

Mr. Deitemyer,

Your site plan must be prepared and stamped by a professional surveyor or engineer and must show the following:

- Identification of the property, road, street address if applicable, subdivision name, tax map, parcel, etc.
- The topography must be surveyed and verified by an engineer.
- If the lot was created AFTER March 1972 a minimum area of 10,000 sq. ft. is required as designated septic reserve area. For lots created PRIOR to March 1972 a septic reserve area large enough to accommodate 3 systems (an initial and 2 replacements) must be proposed. When 3 systems are proposed calculation must be shown on plans for confirmation. I have included septic specs to help with calculations. (see attached)
- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled.
- Topography at two-foot intervals and statement verifying such. Along with soil type boundaries.
- Two alternate wells must be shown 50 feet apart or you must show a 1500 sq. ft. well box.

Maura J. Rossman, M.D., Health Officer

- A legend to guide the reviewer. Legend symbols to distinguish plan features (i.e. well, septic etc.) and all test holes that passed, failed, or were held for re-review (e.g., for wet season), and any previously documented holes.
- Show the wells and septic systems of the surrounding lots to verify all are within compliance.

The following statements must be added to support your plan.

- All wells and septic systems within 100' of the property boundaries and all existing or proposed wells less than 200' down-gradient of a septic system and/or septic easement have been shown.
- The topography of this plat is and is verified to accurately represent the relative changes on the subject property by (your engineers name should be placed here).
- Any changes to a private sewage easement shall require a revised percolation certification plan.
- A purpose statement indicating the purpose of the plan.
(The purpose statement indicates the reason for the percolation certification plan.)
- A professional seal or signed statement:

"I certify that the information shown herein is based on field work performed by me or under my direct supervision, and is correct, to the best of my knowledge and belief."

• The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment.
- Certification of compliance with MDE ownership width and lot area requirements for lots created after 1985:

• The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment
- MDE statement for lots created after March 1972:

"This area designates a private sewage disposal area of at least 10,000 sq. ft. as required by the Maryland Department of Environment for individual sewage disposal.

Maura J. Rossman, M.D., Health Officer

Improvements of any nature in this area are restricted. This sewage disposal area shall become null and void upon connection to a public sewerage system. The County Health Officer shall have authority to grant adjustments to the private sewage easement. Recordation of a revised sewage easement shall not be necessary."

OR


- MDE statement for lots created before March 1972:

"This area designates a private sewage area as required by the Maryland Department of the Environment for individual sewage disposal. For lots created prior to March of 1972 it provides at least enough area to accommodate an initial and two replacement septic systems approved For Private Water and Private Sewerage Systems Health Officer, Howard County Health. Dept. systems as required by the Howard County Health Department. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary."

- Health Officer signature box as shown:

Approved for Private Water and Private Sewer System	
Howard County Health Officer	Date

Considering the complexity of your request I am suggesting you hire an engineer to help you complete your percolation certification plan. The items above must be addressed and resubmitted. If you have any questions don't hesitate to reach out.

Respectfully,


Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program



**HOWARD COUNTY
HEALTH DEPARTMENT**

*Response
to
Email*

Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

DATE: August 3, 2022

TO: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

CC: Jeffery Manwiller
Via E-mail: tmanwiller@verizon.net

RE: **Percolation Certification Revised Plan
1723 Underwood: Tax Map: 9 Parcel 300**

Mr. Deitemyer,

Your site plan must be prepared and stamped by a professional surveyor or engineer and must show the following:

- Identification of the property, road, street address if applicable, subdivision name, tax map, parcel, etc.

Response: Provided on Sheet S-2

- The topography must be surveyed and verified by an engineer.

Response: Verified.

- If the lot was created AFTER March 1972 a minimum area of 10,000 sq. ft. is required as designated septic reserve area. For lots created PRIOR to March 1972 a septic reserve area large enough to accommodate 3 systems (an initial and 2 replacements) must be proposed. When 3 systems are proposed calculation must be shown on plans for confirmation. I have included septic specs to help with calculations. (see attached)

Response: Please see Sheet S-3 indicating 10,000 sf septic area. Calculations are provided on Sheet S-2.

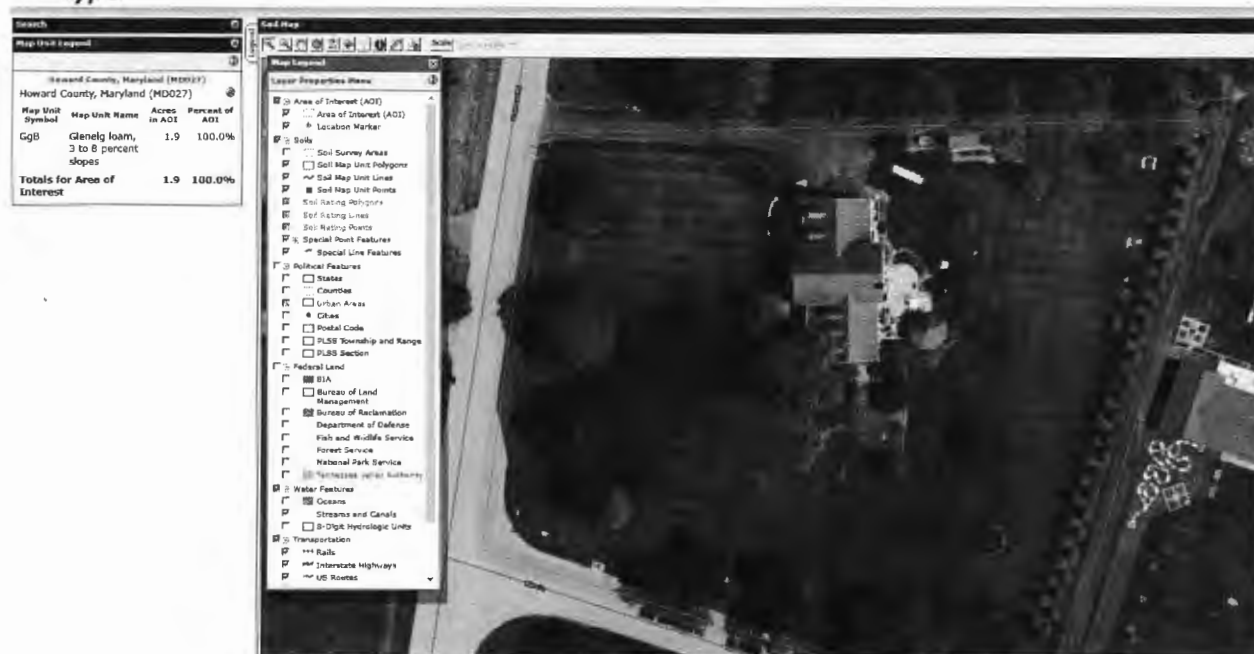
- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled.

Response: Septic easement is not applicable to this project.

Maura J. Rossman, M.D., Health Officer

- Topography at two-foot intervals and statement verifying such. Along with soil type boundaries.

Response: *Topography is provided on the site plan, please refer to Sheet S-3. Soil type boundaries are not available; USDA soil maps indicate that the site is predominantly in GgB soil type.*



- Two alternate wells must be shown 50 feet apart or you must show a 1500 sq. ft. well box.

Response: *N/A, the project does not involve installation of a new potable water well.*

- A legend to guide the reviewer. Legend symbols to distinguish plan features (i.e. well, septic etc.) and all test holes that passed, failed, or were held for re-review (e.g., for wet season), and any previously documented holes.

Response: *All site features are labeled for convenience of the reviewer.*

- Show the wells and septic of the surrounding lots to verify all are within compliance.

Response: *Addressed. Please see the site plan.*

The following statements must be added to support your plan.

Maura J. Rossman, M.D., Health Officer

- All wells and septic systems within 100' of the property boundaries and all existing or proposed wells less than 200' down-gradient of a septic system and/or septic easement have been shown.

Response: Added.

- The topography of this plat is and is verified to accurately represent the relative changes on the subject property by (your engineers name should be placed here).

Response: Added.

- Any changes to a private sewage easement shall require a revised percolation certification plan.

Response: Added.

- A purpose statement indicating the purpose of the plan.
(The purpose statement indicates the reason for the percolation certification plan.)

Response: Added.

- A professional seal or signed statement:

"I certify that the information shown herein is based on field work performed by me or under my direct supervision, and is correct, to the best of my knowledge and belief."

Response: Added.

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment.

Response: Added.

- Certification of compliance with MDE ownership width and lot area requirements for lots created after 1985:

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment

- MDE statement for lots created after March 1972:

"This area designates a private sewage disposal area of at least 10,000 sq. ft. as required by the Maryland Department of Environment for individual sewage disposal. Improvements of any nature in this area are restricted. This sewage disposal area shall become null and void upon connection to a public sewerage system. The County Health Officer shall have authority to grant adjustments to the private sewage easement

Maura J. Rossman, M.D., Health Officer

Recordation of a revised sewage easement shall not be necessary."

OR

- MDE statement for lots created before March 1972:

"This area designates a private sewage area as required by the Maryland Department of the Environment for individual sewage disposal. For lots created prior to March of 1972 it provides at least enough area to accommodate an initial and two replacement septic approved For Private Water and Private Sewerage Systems Health Officer, Howard County Health. Dept. systems as required by the Howard County Health Department. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary."

- Health Officer signature box as shown:

Approved for Private Water and Private Sewer System	
Howard County Health Officer	Date

Response: Added.

Considering the complexity of your request I am suggesting you hire an engineer to help you complete your percolation certification plan. The items above must be addressed and resubmitted. If you have any questions don't hesitate to reach out.

Respectfully,

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program

Transmittal Sheet

June 8, 2023

McCrone

20 Ridgely Avenue
Suite 201
Annapolis, MD 21401
Ph: 410.267.6947
Fax: 410.267.6326
Email:

McCRONE**ENGINEERS ■ SURVEYORS ■ PLANNERS****To:**

Ms. Dana Bernard,
REHS/L.E.H.S. Environmental Specialist II
Well and Septic Program
Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 2104

Attention: Ms. Dana Bernard, REHS/L.E.H.S.**Re:** 1723 Underwood Drive, Sykesville**Job Number:** C1230009**Via:**

- ☐ U.S. Mail ☐ Hand Carried
☒ United Parcel ☐ To Be Picked Up
☐ Federal Express ☐ Other _____
☐ Courier _____

If the enclosed is not as noted, please contact us at once.

Copies	Sheet No(s)	Description	As Requested	For Your Use	For Your File	For Review/Comment	Submittal for Approval	Resubmittal for Approval	Returned	Other
3		Design Drawings				X				
3		Response Letter				X				
3		Variance Letter				X				

Comments:**Copy to:**

Signature: Natalia Dunlap



McCRONE

ENGINEERS ■ SURVEYORS ■ PLANNERS

June 7, 2023

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program

Subject: Percolation Certification Revised Plan
1723 Underwood: Tax Map: 9 Parcel 300

Ms. Bernard,

The purpose of this letter is to request variances for the subject property:

- 1) The subject property has three (3) existing deep trenches that, based on the conversation with the Owners show no evidence of failure. We request that the Owners continue to use these trenches as the primary field. The septic tank is required to be replaced to accommodate the additional bedroom addition.
- 2) It is the County's requirement to provide 10,000 sf septic area, which was shown on the plans. We ask that the septic area is reduced where the percolation tests failed to allow Owners to use this land in the future, if desired. Two reserve fields were shown in the area of passed percolation tests.

Thank you. Please let us know if you have any questions.

Sincerely,
McCrone



Robert M. Sell, P.E.
Principal
Water/Wastewater Division Manager
McCrone
20 Ridgely Avenue, Suite 201
Annapolis, MD 21401
410.267.6947 ext. 1003
www.mccrone-engineering.com

Maura J. Rossman, M.D., Health Officer

DATE: August 3, 2022

TO: Daniel Deitemyer
Via E-Mail: keswickyoung@verizon.net

CC: Jeffery Manwiller
Via E-mail: tmanwiller@verizon.net

RE: **Percolation Certification Revised Plan**
1723 Underwood: Tax Map: 9 Parcel 300

Mr. Deitemyer,

Your site plan must be prepared and stamped by a professional surveyor or engineer and must show the following:

- Identification of the property, road, street address if applicable, subdivision name, tax map, parcel, etc.

Response: Provided on Sheet S-2

- The topography must be surveyed and verified by an engineer.

Response: Verified.

- If the lot was created AFTER March 1972 a minimum area of 10,000 sq. ft. is required as designated septic reserve area. For lots created PRIOR to March 1972 a septic reserve area large enough to accommodate 3 systems (an initial and 2 replacements) must be proposed. When 3 systems are proposed calculation must be shown on plans for confirmation. I have included septic specs to help with calculations. (see attached)

Response: Please see Sheet S-3 indicating 10,000 sf septic area. Calculations are provided on Sheet S-2.

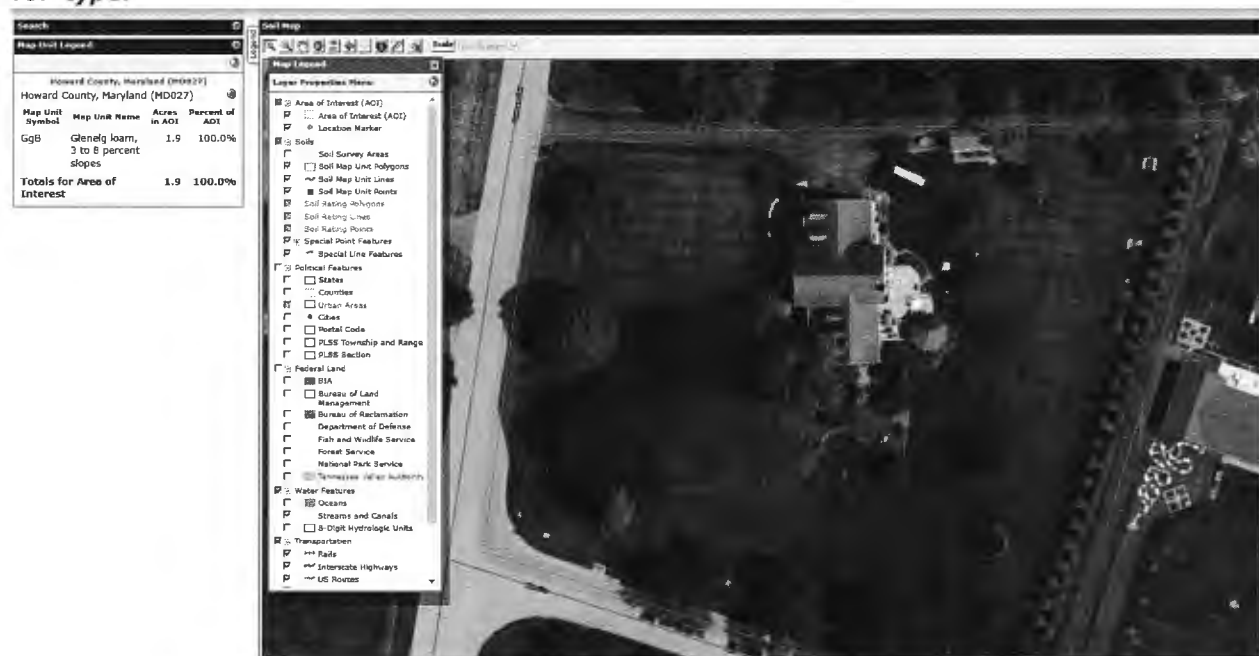
- Any adjustments/modifications to the existing septic easement showing area lost and area gained should be shown on the plan and labeled.

Response: Septic easement is not applicable to this project.

Maura J. Rossman, M.D., Health Officer

- Topography at two-foot intervals and statement verifying such. Along with soil type boundaries.

Response: *Topography is provided on the site plan, please refer to Sheet S-3. Soil type boundaries are not available; USDA soil maps indicate that the site is predominantly in GgB soil type.*



- Two alternate wells must be shown 50 feet apart or you must show a 1500 sq. ft. well box.

Response: *N/A, the project does not involve installation of a new potable water well.*

- A legend to guide the reviewer. Legend symbols to distinguish plan features (i.e. well, septic etc.) and all test holes that passed, failed, or were held for re-review (e.g., for wet season), and any previously documented holes.

Response: *All site features are labeled for convenience of the reviewer.*

- Show the wells and septs of the surrounding lots to verify all are within compliance.

Response: *Addressed. Please see the site plan.*

The following statements must be added to support your plan.

Maura J. Rossman, M.D., Health Officer

- All wells and septic systems within 100' of the property boundaries and all existing or proposed wells less than 200' down-gradient of a septic system and/or septic easement have been shown.

Response: Added.

- The topography of this plat is and is verified to accurately represent the relative changes on the subject property by (your engineers name should be placed here).

Response: Added.

- Any changes to a private sewage easement shall require a revised percolation certification plan.

Response: Added.

- A purpose statement indicating the purpose of the plan.
(The purpose statement indicates the reason for the percolation certification plan.)

Response: Added.

- A professional seal or signed statement:

"I certify that the information shown herein is based on field work performed by me or under my direct supervision, and is correct, to the best of my knowledge and belief."

Response: Added.

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment.

Response: Added.

- Certification of compliance with MDE ownership width and lot area requirements for lots created after 1985:

- The lot(s) shown herein complies/comply with the minimum ownership width and lot area as required by the Maryland Department of Environment

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Maura J. Rossman, M.D., Health Officer

Recordation of a revised sewage easement shall not be necessary.”

OR

- MDE statement for lots created before March 1972:

“This area designates a private sewage area as required by the Maryland Department of the Environment for individual sewage disposal. For lots created prior to March of 1972 it provides at least enough area to accommodate an initial and two replacement septic systems approved For Private Water and Private Sewerage Systems Health Officer, Howard County Health. Dept. systems as required by the Howard County Health Department. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.”

- Health Officer signature box as shown:

Approved for Private Water and Private Sewer System	
_____ Howard County Health Officer	_____ Date

Response: Added.

Considering the complexity of your request I am suggesting you hire an engineer to help you complete your percolation certification plan. The items above must be addressed and resubmitted. If you have any questions don't hesitate to reach out.

Respectfully,

Dana Bernard, REHS/L.E.H.S.
Environmental Specialist II
Well and Septic Program

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, February 9, 2022 2:24 PM
To: 'tmanwiller@verizon.net'
Subject: FW: 1723 Underwood

Mr. Manwiller,

I am contacting you in regards to a percolation testing application you submitted to our office for 1723 Underwood Road.

To get started, please schedule a percolation testing date with the Howard County Health Department. And complete the following.

1. Submit a percolation certification plan. Your plan will have to be reviewed prior to scheduling percolation testing.
2. You will be responsible for hiring and scheduling a septic contractor for percolation testing.
3. Please make sure the percolation testing holes are staked before the day of your scheduled test.
4. Call Miss Utility before the scheduled date to mark any areas that will need to be avoided.

Any building permits submitted on your behave will be placed on hold until percolation testing is completed, a percolation certification plan has been submitted, and any necessary upgrades have been approved by the Health Department.

Should you have any questions, please don't hesitate to reach out.

Thank you & Have a*""
,.,',.,.,*""),.,.*")
(.,.' (.,.' * Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov