



HOWARD COUNTY HEALTH DEPARTMENT

72691

DATE 11/16/22

Received From

PHONE #

For

☐ CASH
☒ CHECK

NO.

Dollars

\$

Received By



Howard County
Health Department

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 11/16/22

ONSITE SEWAGE DISPOSAL SYSTEM

P 572691

APPROVAL DATE: 3/16/23

PERMIT:

REPAIR

A

PROPERTY ADDRESS: 12910 SW. Wexford Park

SUBDIVISION: Waterford

LOT: 4

TAX ID:

CONTRACTOR: Fogle's Septic Clean Inc.

EMAIL: kim@foglesinc.com

CONTRACTOR ADDRESS: 580 Obrecht Road, Sykesville, MD 21784

PHONE: 410-795-5670

PROPERTY OWNER: Zachary Jones

EMAIL:

OWNER ADDRESS: 12910 Wexford Park, Clarksville, MD 21029

PHONE:

SEPTIC TANK SIZE (GALLONS):

Existing

TANK MANUFACTURER:

N/A

PUMP MODEL:

PUMP SIZE

PUMP TANK CAPACITY:

DISTRIBUTION SYSTEM:



GRAVITY



PRESSURE DOSED

BEDROOMS:

6

APPLICATION RATE:

1.2

TRENCHES:	LINEAR FEET REQUIRED:	<u>140</u>	INLET DEPTH:	<u>3.5'</u>
	TRENCH WIDTH:	<u>2'</u>	MAXIMUM BOTTOM DEPTH:	<u>9'</u>
	MINIMUM SPACE BETWEEN TRENCHES:	<u>10'</u>	EFFECTIVE AREA BEGINNING DEPTH:	<u>5'</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.			
NOTES:	<u>Install system per approved design plan.</u>			

ISSUED BY:

K. Wolf

ISSUE DATE:

1/13/2023

EXPIRATION DATE:

1/13/2024

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM



ELECTRICAL PERMIT ISSUED

E

N/A

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE

T1-119' to A
152' to B

T2-115' to A
148' to B

74'

70'

dbx-50' to A
105' to B

44'

Ex. S.R.

29'

48'

A

B

Ex. House

Ex. Pond
Drain

25'

60'

Ex. Well
(Drilled Hole)

ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
2'	3.5'	9'
NUMBER OF TRENCHES		2
TOTAL LENGTH		144'
ABSORPTION AREA		288 sq. ft.
DISTRIBUTION BOX LEVEL		YES
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

Ex. SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL

MANUFACTURER N/A
CAPACITY _____ GAL
SEAM LOC mid
TANK LID DEPTH 2-2 1/2'
BAFFLES _____
BAFFLE FILTER —
MANHOLE LOC front
6" PORT LOC —
WATERTIGHT TEST OK
SLOTTED no
DATE ON LID N/A

PUMP/SEPTIC TANK LEVEL N/A

MANUFACTURER _____
CAPACITY _____ GAL
SEAM LOC _____
TANK LID DEPTH _____
BAFFLES _____
BAFFLE FILTER _____
MANHOLE LOC _____
6" PORT LOC _____
WATERTIGHT TEST _____
SLOTTED _____
DATE ON LID _____

PRE-CONSTRUCTION:

12/8/2022 Elevation shot in field @ time of perc, system to be installed above perc A. Waiting for design plan. per

1/12/2023 Design plan received and approved. per

3/13/23 - Site inspection - 2 trenches have been staked; well has been GPS'd. per

INSTALLATION: 3/14/23 - site insp. contractor on site, not much completed yet, Mike (Fogles)

was excavating the first trench (only about 10-15 feet) - OK to continue. per 3/15/23 - Site inspection, contractor on site waiting for stone delivery, both trenches excavated, T1 trench was already backfilled but I could see the geotextile fabric. Contractor said the end of T1 trench had soft sandy material that kept collapsing, so he added approx 4-5' to the end of T1 trench, observed Contractor using transit to shoot the 9' bottom of T2 trench. Inlet is good, soils consistent w/ perc data, observation ports installed on dbx and trench ends, OK to continue. per 3/16/23 - Site insp. contractor not on site, dbx leveled and line from tank to dbx completed OK to backfill. per

FINAL INSPECTOR

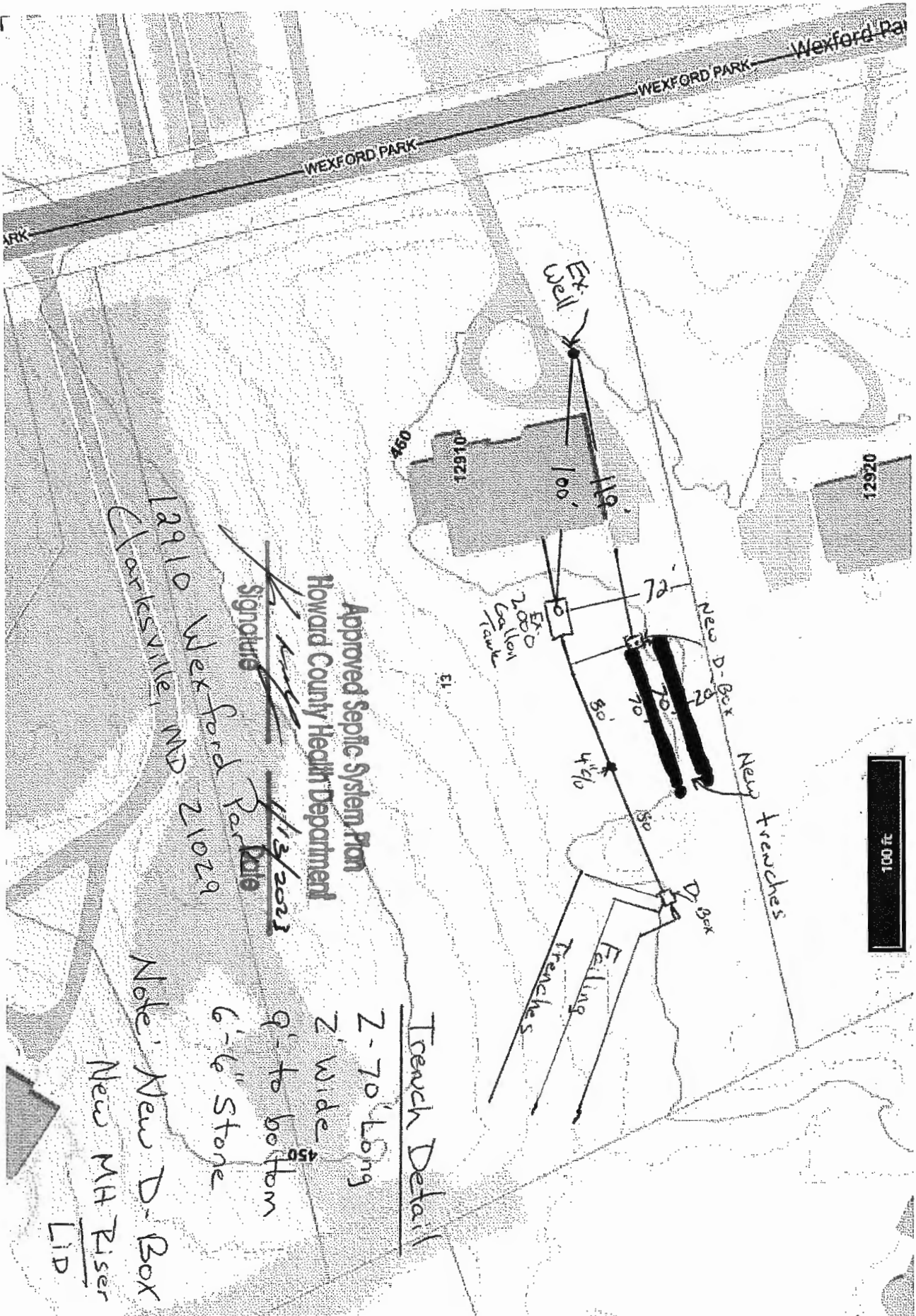
R. Rappaport

DATE OF APPROVAL

3/16/23

3/21/23 - dbx measurements taken for as-built (no access on 3/16/23) per

Sent to Kevin Wolf
@ HCHD on 1-13-23



Approved Septic System Plan
Howard County Health Department

Signature

11/3/2023

Date

12910 Wexford Park
Clarksville, MD 21029

Trench Detail

2-70' Long

2' Wide

9'-to bottom

6'-6" Stone

Note: New D-Box

New MH Riser

LID

FILE INQUIRY NOTES

[illegible]

Maura J. Rossman, M.D., Health Officer

INFORMATION FORM - SEPTIC SYSTEM REPAIR/UPGRADE

Reason for Request:

- ☒ Failing System
☐ System relocation for proposed addition
☐ System upgrade for proposed addition
☐ Inadequate treatment zone
☐ Collapsed septic tank
☐ Collapsed drywell

Existing system design

- ☐ Drywell
☒ Trench
☐ Mound
☐ Unknown
☐ Other: _____

Is discharge surfacing on the ground?

☒ Yes
☐ No

Additional Comments:

Homeland report from April 2022 found outlet and d-box submerged; new homeowners have been nursing the system and are ready to proceed with repair.

*For REPAIRS, are the owners proposing, or do they plan to add in the future any additions or modifications to the property, i.e. pools, living space additions, garages, etc? This information must be disclosed at the time of this application. The Health Department will not be able to accommodate requests in the field for property modifications unrelated to the repair request. Such requests may require an additional fee, testing, and submittal of a Percolation Certification Plan, if the property does not meet current Code and Regulations.

Septic Contractor: Fogle's Septic Clean, Inc.

Contractor's Phone: 410-795-5670

Contractor's Address: 580 Obrecht Rd Sykesville, MD 21784

Property Address: 12910 Wexford Park

County File: 05-407532

Subdivision: Waterford

Lot: 13 Year Built: 1989

Owner's Name: Zachary Jones

Existing bedrooms: 6

Name of previous owners: Bharat M. Patel

Existing bedrooms: _____

John M. Flaherty

Proposed bedrooms: _____

*A Sanitarian will be in contact within three business days, depending upon the urgency of the situation, to coordinate the scheduling/review of the repair or upgrade.

Prior to scheduling inspections, scaled plans should be submitted to clarify the nature of the addition.

Print out a copy of Real Property Data via Dept. of Taxation website _____ Indexed file found _____

If soil/site conditions are limited and sewer and/or Metro District status is not conducive to connection, the Sanitarian may recommend pursuit of Emergency Sewer Extension or Emergency Metro District Inclusion. The Owner should contact the Bureau of Utilities for details.

No permit is to be issued nor inspection to be scheduled without prior fee collection at the office unless an emergency exists.

The contractor is to notify the office of the emergency as soon as possible.

WS-SP-APP-22-20276

WS-PT-22-03555

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Front of the House

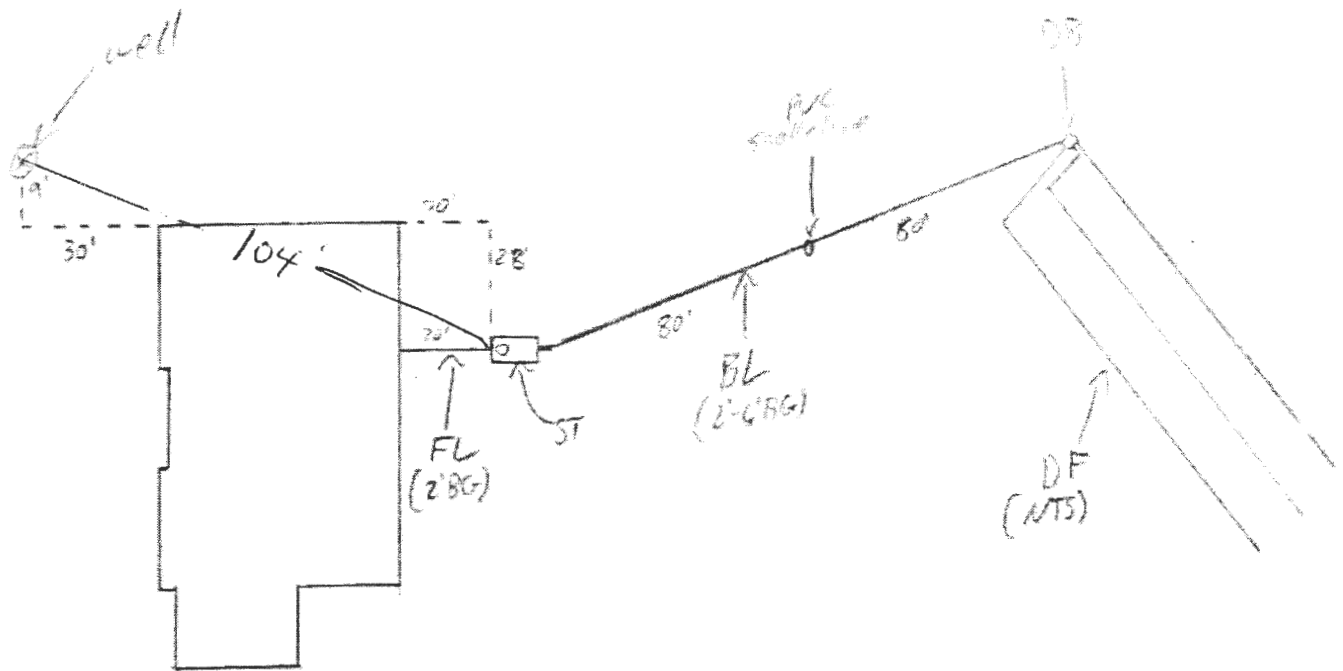
All measurements are approximate distances.

ADDRESS: 12910 Weyford Park
Clarksville, MD 21029

ST=Septic Tank; DB=Distribution Box; DF=Drainfield; DW=Drywell
FL=Front Line; BL=Back Line; BG=Below Grade; ' = Feet; " = Inches

SCALE: 1"=40'

~NTS~



Note: No Neighboring Wells
within 100 ft

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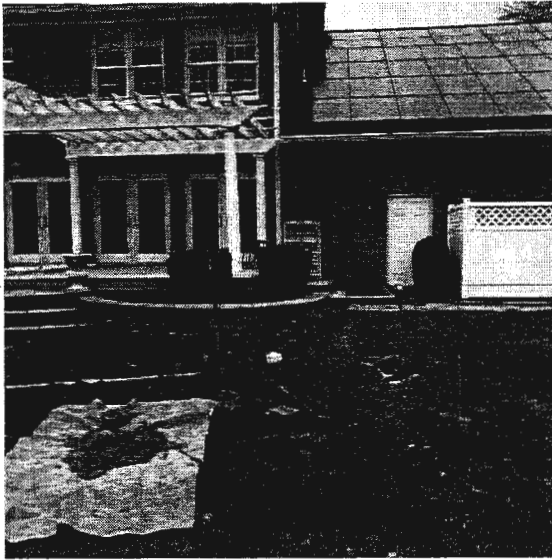
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Date: April 18, 2022 Name of Evaluator: Mitchel Ruhkamp Time: 11:30 AM Property Address: 12910 Wexford Park Clarksville, MD 21029 Recent Weather Conditions: Normal		Ordered By: Kate Kachovec Buyers: Zachary Jones Homeowner Interview: The homeowner interview was sent but was not received prior to the evaluation.		Occupied: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Length of Time Vacant: N/A # of People Living in Home: 5 # of People moving in: 3-4 Property Age: 1989 System Age: 1989 Last Date of Cleaning: Unknown Recomm'd Pumping Freq: 2-3 Years	
Liquid level in tank is: <input checked="" type="checkbox"/> Above Normal <input type="checkbox"/> Normal <input type="checkbox"/> Below Normal				Bottom Solids Depth: 26 Inches	
Depth of tank: 12 Inches		Type of Tank Access: 6-inch Cleanout		Depth of tank access: At Grade	
Maintenance appears: <input type="checkbox"/> Good <input type="checkbox"/> Fair <input checked="" type="checkbox"/> Poor				Depth to Distribution Box: -72 Inches	
Effluent Filter present: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Previous high liquid level: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Distance to well: -100 Feet	
Records Search: Records were requested and were received from Howard County prior to the evaluation.					
Were there any impermeable surfaces above the septic system (i.e. driveway)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
Type of Tank <input checked="" type="checkbox"/> Septic Tank (1 tank) <input type="checkbox"/> Aeration System <input type="checkbox"/> Other:		Tank Composition and Size <input type="checkbox"/> Metal <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Plastic Tank Size: 1,250 gallons		Type of Absorption System <input checked="" type="checkbox"/> Leaching Field <input type="checkbox"/> Raised Mound <input type="checkbox"/> Drywell (Number of:) <input type="checkbox"/> Cesspool <input type="checkbox"/> Unknown:	
System Component		Condition		Comments	
Septic Tank		<input type="checkbox"/> Acceptable <input type="checkbox"/> Unacceptable <input checked="" type="checkbox"/> Needs Further Evaluation		The septic tank is composed of concrete and is approximately 1250 gallons in total capacity. The septic tank is 12 inches below grade and is accessible via a PVC cleanout at grade. It is recommended a manhole riser be installed to grade to facilitate future maintenance. Currently, there are 28 inches of solids in the septic tank. The septic tank is due for a cleaning. Upon arrival the liquid level in the septic tank was above normal operating level indicating a backup. Due to the backup back baffle placement and composition could not be determined. Once the backup is remediated back baffle placement and composition will need to be verified. Please refer to page 2 and the camera septic report for further information.	
Absorption System		<input type="checkbox"/> Acceptable <input checked="" type="checkbox"/> Unacceptable <input type="checkbox"/> Needs Further Evaluation		Per county records three drainfields service this property. The drainfields were probed and found to be dry within 55 inches below grade. A camera was used during the inspection. During the camera inspection the back line and distribution box were observed to be submerged due to a backup. The cause of the backup will need to be determined and remediated by a licensed septic contractor. Remediation could include replacement of the absorption system.	

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Picture 1:

This shows the septic tank in relation to the house.



Picture 2:

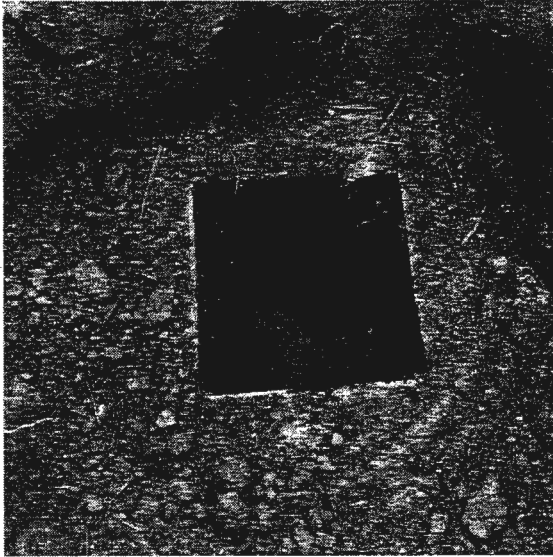
This shows the drainfields in relation to the house.

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Picture 3:

Visual of high liquid level and submerged outlet line in septic tank upon arrival.

No Picture

Picture 4:

Space intentionally left blank.

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Sketch of System

Please refer to separate sketch of the system.

DISCLAIMERS

- This is a subjective and visual inspection only, the conclusions of which are based on the observed condition of the system components that could reasonably be accessed, and information known about the system at the time this report was completed. There may be unknown historical problems or unseen conditions which may compromise the conclusions stated in this report.
- Suggestions or recommendations for repairs or remediation may result in the need for further repair or remediation once the system components are fully excavated.
- A 'Satisfactory' evaluation does not mean the system will meet the local approving authority's criteria for determining compliance with state code: COMAR 26.04.02.02 D(4).
- The evaluation of the Sewage Disposal System as reported is based on the conditions observed on the day of the inspection.
- This report is neither a WARRANTY nor does it GUARANTEE continued acceptable functionality or performance of the Sewage Disposal Systems operations.
- If the house has been unoccupied the findings in this report may not be accurate, as limited or no use of the system may conceal or mask problems that may be revealed under typical sewage loading.
- If the general ground condition is excessively wet at the time of inspection, the findings in this report may not be accurate, as ground moisture may cover or hide septic effluent that may be on or near the ground surface.
- If the house is vacant or the conditions excessively wet during inspection, it is recommended that the system be reevaluated at a later date and/or alternate techniques be used to address those potential issues.
- Payment and/or use of this evaluation signify understanding and acceptances of the above clauses, as well as any noted faults with the system.

Representative's Signature:



Date: 4/18/2022

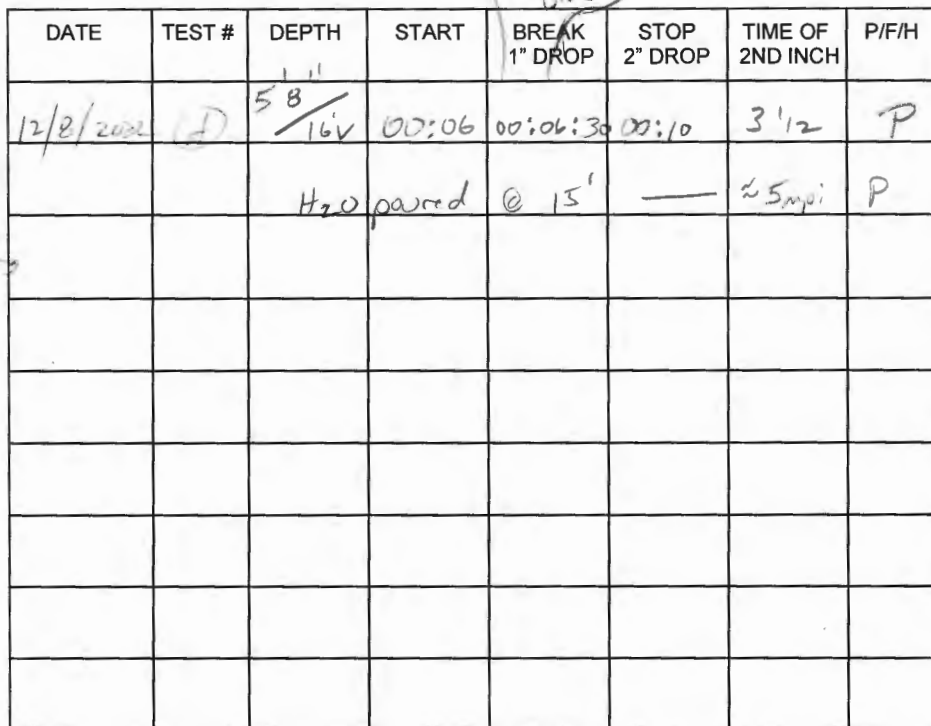
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DrK OM, L
mz SBK

Br Cl,
WK COSAK,
Fiddle, CW

11 Br / Rd Sig
WK F SBK,
CW Fiddle,
10% chances

11 Br / R / MS
WK F SBK,
Fiddle, wcd
10% men sbk
consistent



REMARKS Ex system trenches failed. Did not dig up per
 SANITARIAN K. Wolf BACKHOE Mike - Eagle OTHERS Permy (help)
 TEST HOLES USED IN SDA 1 AVG. PERC TIME 1.2 SQ. FT/BR
 TRENCH WIDTH 2' INLET DEPTH 3.5' MAX. BOT DEPTH 9' EFFECTIVE SW 5'-9' (.34)

$$BR = \frac{900}{1.2} = 750 \div 2 = 375 (1.34) = 135$$

View Map		View GroundRent Redemption		View GroundRent Registration	
Special Tax Recapture None					
Account Identifier:		District - 05 Account Number - 407532			
Owner Information					
Owner Name:		JONES ZACHARY		Use: RESIDENTIAL	
		JONES RISHANKA		Principal Residence: YES	
Mailing Address:		12910 WEXFORD PARK		Deed Reference: /21541/ 00036	
		CLARKSVILLE MD 21029-1400			
Location & Structure Information					
Premises Address:		12910 SW WEXFORD PARK		Legal Description: LOT 13 3.2825 A	
		CLARKSVILLE 21029-0000		12910 WEXFORD PARK	
				WATERFORD S 2 RSB LOT 4	
Map: Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:
0034	0009 0261	5010102.14	1002	13	2023
Assessment Year:					Plat No: 7670
					Plat Ref:
Town: None					
Primary Structure Built		Above Grade Living Area		Finished Basement Area	
1989		6,081 SF		1400 SF	
				Property Land Area	
				3.2800 AC	
Stories		Basement Type		Exterior Quality	
2		YES		STANDARD UNIT BRICK/ 6	
				Full/Half Bath	
				4 full/1 half	
				Garage	
				1 Attached	
Last Notice of Major Improvements					
Value Information					
		Base Value		Value	
				As of	
				01/01/2020	
Land:		242,100		242,100	
Improvements		1,010,800		1,010,800	
Total:		1,252,900		1,252,900	
Preferential Land:		0		1,252,900	
Transfer Information					
Seller: PATEL BHARAT M		Date: 05/26/2022		Price: \$1,570,000	
Type: ARMS LENGTH IMPROVED		Deed1: /21541/ 00036		Deed2:	
Seller: FLAHERTY JOHN M		Date: 08/13/2003		Price: \$740,000	
Type: ARMS LENGTH IMPROVED		Deed1: /07484/ 00522		Deed2:	
Seller: BRIGHTON GROUP THE		Date: 06/14/1988		Price: \$98,000	
Type: ARMS LENGTH IMPROVED		Deed1: /01838/ 00714		Deed2:	
Exemption Information					
Partial Exempt Assessments:		Class		07/01/2022	
County:		000		0.00	
State:		000		0.00	
Municipal:		000		0.00	
Special Tax Recap		ur		None	
Homestead Application Information					
Homestead Application Status: No Application					
Homeowners' Tax Credit Application Information					
Homeowners' Tax Credit Application Status: No Application Date:					

