

2/21/01
NOON - Layout
2/22/01 10AM

RPS# 364945

PERMIT
SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
410-313-2640

P 514917

A 46956

ISSUE DATE 2/2/2001

APPROVAL DATE 2/27/01

INDEXED

Barnard Brothers Construction

IS PERMITTED TO INSTALL X ALTER

ADDRESS 1612 Brittle Branch Way, Woodbine, MD 21797 PHONE 410-489-7621

SUBDIVISION Brendel Ag Lot LOT NUMBER 1 ADDRESS 15400 Union Chapel Road

PROPERTY OWNER Bruce Brendel PROPERTY OWNER'S ADDRESS P.O. 580

SEPTIC TANK CAPACITY 1250 GALLONS Lisbon, MD 21765

PUMP CHAMBER CAPACITY N/A GALLONS

NUMBER OF BEDROOMS 4 ** TOP SEAMED SEPTIC TANK ONLY **

SQUARE FEET PER BEDROOM 180

LINEAR FEET OF TRENCH REQUIRED 240

TRENCHES: Trenches to be 3 feet wide. Inlet 2 feet below original grade. Bottom maximum depth

4 feet below original grade. 2 feet of stone below distribution box.

LOCATION: Place distribution box 140 feet from the west (419.14) lot line and 90 feet

from the north (137.58') lot line. Run trenches on contour as shown on approved building permit plan.

- CALL FOR TRENCH LAYOUT INSPECTION SO AS TO
MINIMIZE LOSSES OF SEPTIC CORNERS -

PLANS APPROVED Amy McMillen OK SRK 11/30/00 DATE 11/28/2000

PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: TOP OF SEPTIC TANKS ARE TO BE NO DEEPER THAN 3.0 FEET BELOW FINISH GRADE

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS ARE NOT ACCEPTABLE

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, DRAINFIELDS) TO BE 100 FEET FROM ANY WATER WELL UNLESS OTHERWISE SPECIFICALLY AUTHORIZED

NOTE: NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH UNLESS SPECIFICALLY AUTHORIZED

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

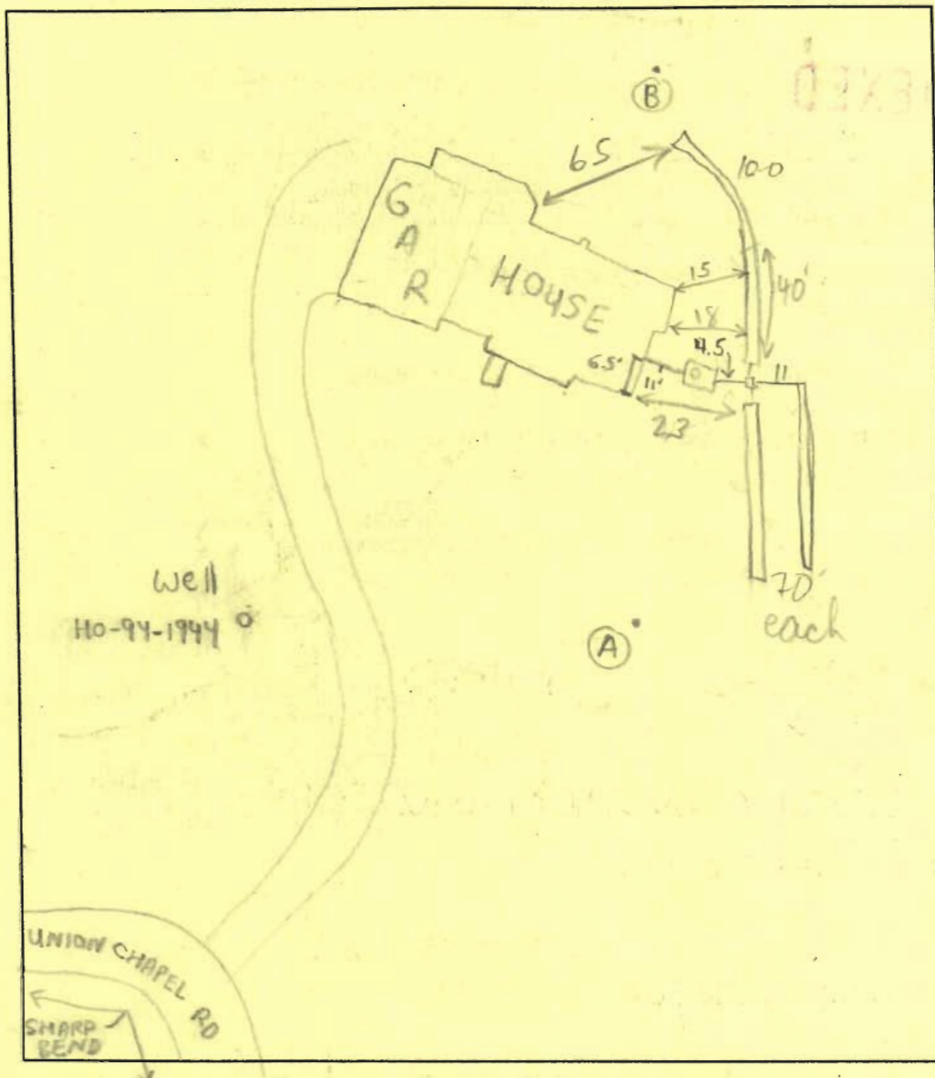
NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

NOTE: IF PUMPED SEPTIC SYSTEM REQUIRED, (1) SEPTIC PUMP DETAIL TO BE PROVIDED BY INSTALLER PRIOR TO ISSUANCE OF SEPTIC PERMIT (2) PUMP PERFORMANCE TEST IS NECESSARY PRIOR TO HEALTH DEPARTMENT APPROVAL OF SEPTIC PERMIT

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE
SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

P514917

NOT TO SCALE



TRENCH DATA

TRENCH WIDTH 3
TRENCH INLET DEPTH 2-2 1/2
TRENCH BOTTOM DEPTH 4-4 1/2
DEPTH OF STONE 2
NUMBER OF TRENCHES 3
TOTAL TRENCH LENGTH 240
ABSORBENT AREA 720
DISTRIBUTION BOX LEVEL ✓
BAFFLE IN DISTRIBUTION BOX ✓

SEPTIC TANK DATA BAFFLES

SEPTIC TANK 1250 T.S. GALLONS
MANHOLE RISER NA less than 18" cover will remain
6 INCH INSPECTION PORT on front

PUMP CHAMBER DATA

PUMP CHAMBER GALLONS NA
MANHOLE RISER NA
ALARM NA
PUMP PERFORMANCE TEST NA

PRE-CONSTRUCTION INSPECTION: 2/21/01-MET INSTALLER, WENT OVER LAYOUT, OK TO RUN 2-70' TRENCHES TOWARDS STAKE (A) AND 1-100' TRENCH TOWARDS STAKE (B) OK TO BE 1' DEEPER IN SOME PARTS IN ORDER TO CONSERVE SEPTIC AREA - (SRW)

INSPECTION COMMENTS: 2/22/01 TWO 70' TRENCHES, S.T. OK TO COVER; FIRST 40' OF 100' TRENCH IS ONLY 15'-18' TO HOUSE; INSTALLER INSTRUCTED TO ABANDON AND REPLACE THIS TRENCH PORTION, AND INSTALL COMPACTED EARTH BARRIER (MIN 10' LONG) WHERE 20' MIN. SEPARATION IS ESTABLISHED (MR)

2/27/01 INSTALLER GIVEN APPROVAL OF TRENCHES AS INSTALLED (MR)

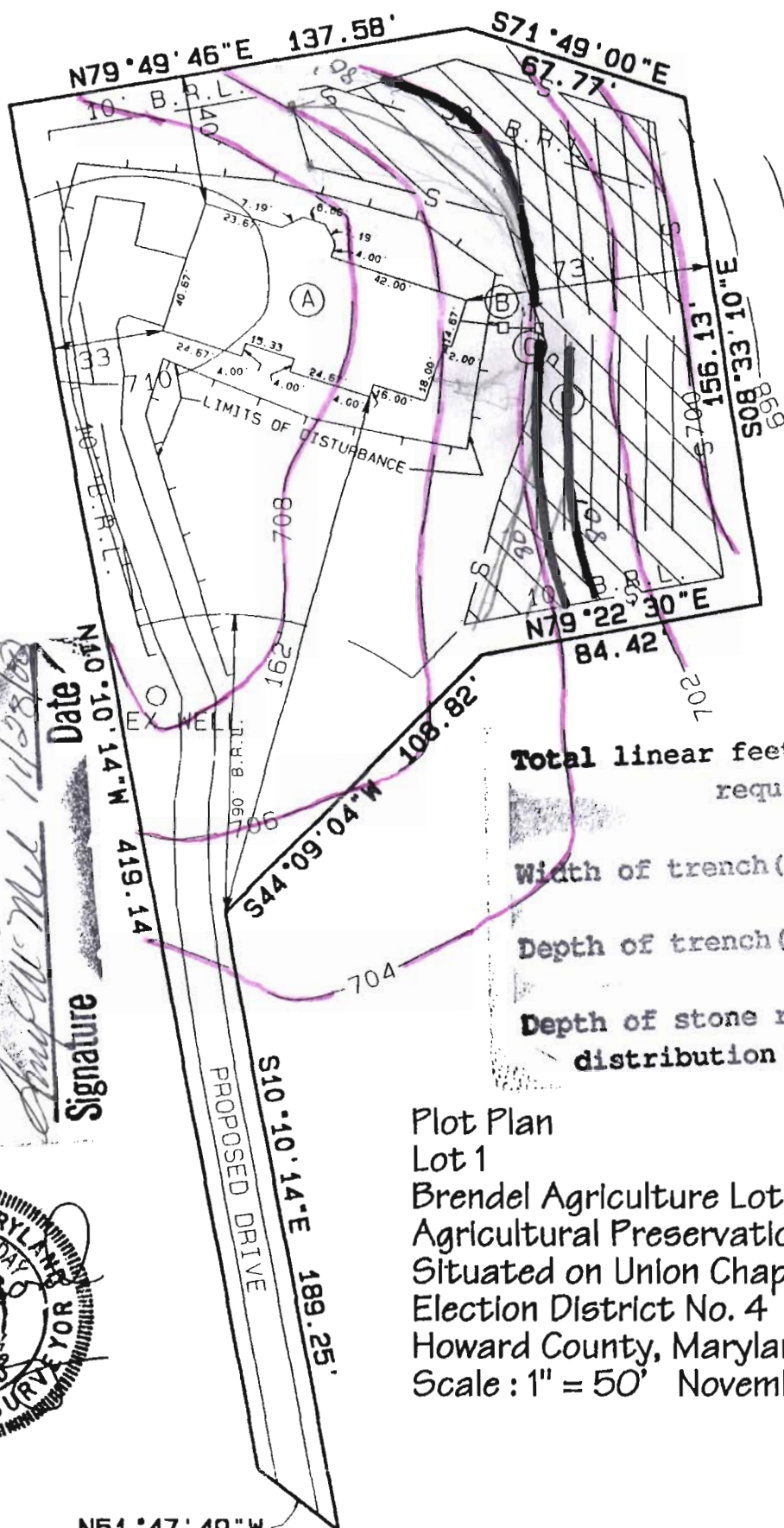
INSPECTOR

M. Ritkin

DATE SYSTEM APPROVED

2/27/01

- (A) Prop. 4 Bedroom House
F.F.L. = 714.0
Ult. Elev. = 704.0
Inv. Elev. = 702.7
- (B) Prop. Septic Tank
Ex. Elev. = 704.6
Inv. In = 702.4
Inv. Out = 702.2
- (C) Drop Dist. Box
Ex. Elev. = 703.7
Inv. Elev. = 702.0
- (D) Drop Trenches
Inv. Elev. = 701.7
Length to be determined
at time of septic permit
issuance



65 66
765 766
170 182
100
240
-100
140

Total linear feet of trench
required 240 feet

Width of trench(es) 3.0 feet

Depth of trench(es) 4.0 feet

Depth of stone required below
distribution pipe 2.0 feet

Plot Plan

Lot 1

Brendel Agriculture Lot

Agricultural Preservation Subdivision

Situated on Union Chapel Road

Election District No. 4

Howard County, Maryland

Scale: 1" = 50' November 2000



N51°47'49"W
30.11'

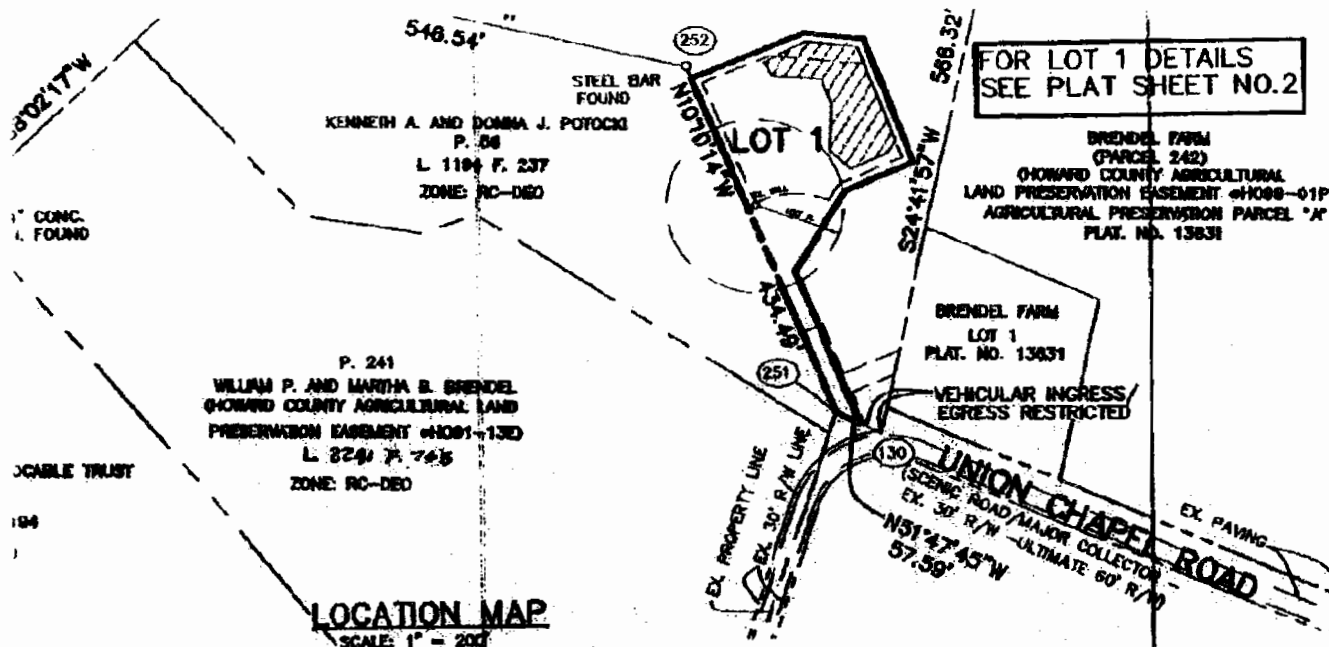
UNION CHAPEL ROAD
30' R/W

I CERTIFY THIS PLAT TO BE CORRECT; IT IS THE RESULT OF AN
ACTUAL FIELD SURVEY, BASED ON DATA FOUND AMONG THE LAND
RECORDS OF Howard COUNTY, MARYLAND, AS
REFERENCED HEREON.

REFERENCE
Plat No. 14382

JOB NO.

RAYMOND J. DAY
LAND SURVEYOR
65 DRIFTWOOD DRIVE
SWANTON, MARYLAND 21561
301-387-8573



ANNOTATED CODE OF MARYLAND, 1988 REPL. (AS SUPPLEMENTED) AS FAR AS THEY RELATE OF THIS PLAT AND THE SETTING OF MARKERS COMPLIED WITH.

PETER J. DARE
MARYLAND PROPERTY LINE SURVEYOR #224

William P. Brendel
WILLIAM P. BRENDL

Martha B. Brendel
MARTHA B. BRENDL

OWNER

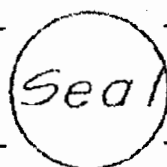
WILLIAM P. BRENDL AND MARTHA B
15298 UNION CHAPEL ROAD
WOODBINE, MARYLAND 21797
(410) 442-2101

OWNER'S DEDICATION

WILLIAM P. BRENDL AND MARTHA B. BRENDL, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES, AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON. (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS, FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE. (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE, AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY, WITNESS OUR HAND THIS 10TH DAY OF APRIL 2000.

William P. Brendel
WILLIAM P. BRENDL
DATE: 4/10/00

Martha B. Brendel
MARTHA B. BRENDL
DATE: 4/10/00



Bruce B. All
WITNESS
DATE: 4/10/00

Bruce B. All
WITNESS
DATE: 4/10/00

RECORDED AS PLAT 1438
ON 8/18/00 AMONG THE
RECORDS OF HOWARD COUN

LOT 1
BRENDL AGRICULT
PARCEL 243 (L.2241)
AGRICULTURAL PRESERVATION

4th ELECTION DISTRICT OF HOWARD C

TAX MAP NO. 14, GRIDS 13 & 14
PARCEL NO. 243
ZONED: RC-DEO

F-00-9