

PERMIT NUMBER: B 21004698

DATE ACCEPTED:

RECEIVED

DEC 07 2021



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 12489 West Nuggett Ct

Unit:

City: Highland

State: MD

Zip Code: 20777

Subdivision/Village/Complex Name: Highland Acres

SDP/WP/BA #:

Lot: 14

Tax Map:

Parcel: 05-34148

Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Single Family

Proposed Use:

Estimated Cost: \$10,000

Trade Work to Be Completed (Separate Permits Required): ☐ Mechanical (HVACR) ☐ Electrical ☐ Plumbing ☐ None

Extend existing master bath 3 feet

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Stephen Casavant

Primary Residence: ☒ Yes ☐ No

Owner's Street Address: 12489 West Nuggett Court

City: Highland

State: MD

Zip Code: 20777

Phone: (301) 322-0569

Email: ryan.casavant@gmail.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name:

Contact Name: Rebecca Casavant

Street Address: 12489 West Nuggett Court

City: Highland

State: MD

Zip Code: 20777

Phone: 202-664-7797

Email: beka509@gmail.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Springbrook Home Improvement

Licensee's Name: Matthew Malanoski

License #: 29392

Street Address: 8670 Reservoir Road

City: Fulton

State: MD

Zip Code: 20759

Phone: (301) 604-6909

Email: springbrookron@verizon.net

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:

Name:

Street Address:

City:

State:

Zip Code:

Phone:

Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*) Condo: ☐ Yes ☒ NoUtilities: ☒ Electric ☐ Gas Water Supply: ☐ Public ☒ Private (Well) Sewage Disposal: ☐ Public ☒ Private (Septic)Heating System: ☒ Electric ☐ Natural Gas ☐ Propane ☐ Other: Roadside Tree Project: ☐ No ☐ Yes: #Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D ☒ None Fire Alarm System: ☒ Yes ☐ No ☐ Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:

of Bedrooms (SF): 2 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):

Rooms: # Full Baths: 2 # Half Baths: # Fireplaces: 1

Garage/Carport Info: ☐ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ NoneBasement/Foundation Info: ☐ Slab on Grade ☒ Post & Pier ☐ Unfinished Basement ☐ Finished Basement: ☐ Full or ☐ Partial1st Fl Width: 53 1st Fl Depth: 30 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth: 8Energy Method: ☐ Prescriptive ☐ Performance ☐ UA Alternative ☐ ERI Gross Area: 1,590 24 sq ft Occupiable Area: 1,590 24 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

Rebecca Casavant
APPLICANT'S ORIGINAL SIGNATURE

12-7-21
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

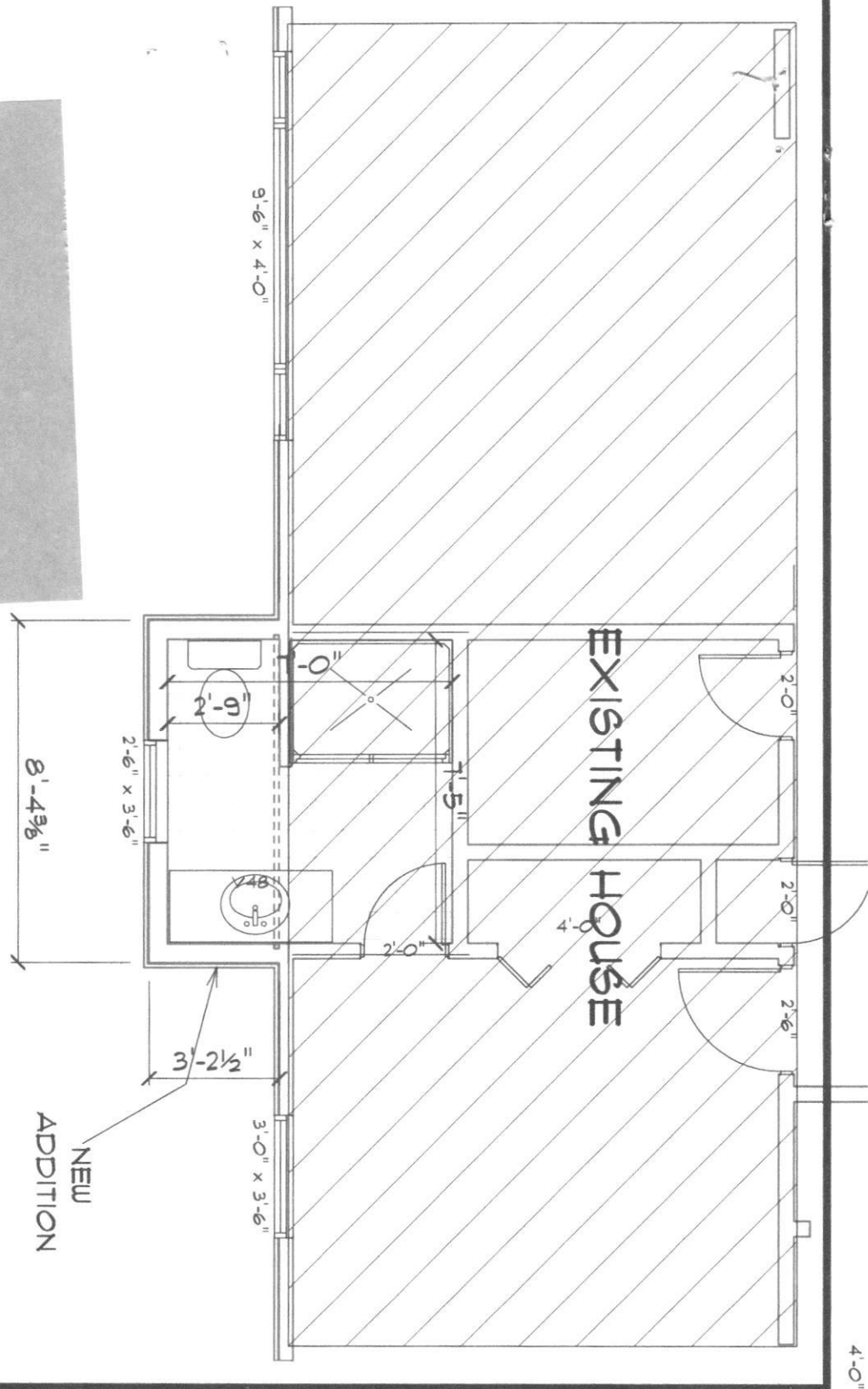
☒ PR ☒ DPZ ☒ DED ☒ Health 2/4/22 ☐ SHA ☐ CID

SUBMITTAL FEES: 25

PAYMENT: CK # 1532

ACCEPTED BY: Lisa

Health Dept.
 8930 Stanford Blvd
 Columbia, MD 21045



8670 Reservoir Road, Fulton, MD
 phone 301.604.6909 Fax 301.604.6956
 Email-springbrookron@verizon.net

CASAVANT M. BATH ADDITION

12489 West Nuggett Court, Highland, MD 20777

PAGE # 1

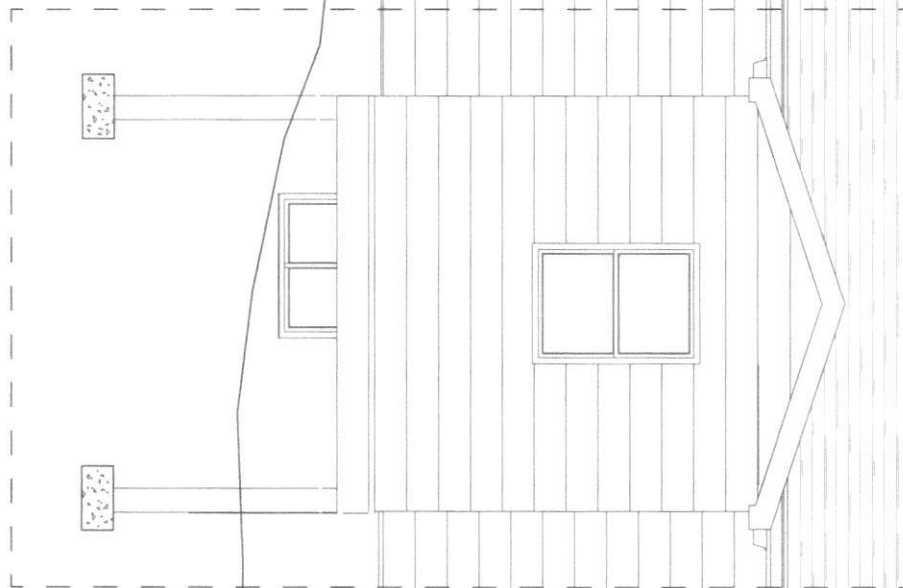
DRAWN BY: RGH

SCALE: 1/4" = 1'

DATE: December 06, 2021

B21004698

ADDITION



Springbrook
Home Improvements

8670 Reservoir Road, Fulton, MD

phone 301.604.6909 Fax 301.604.6956

Email-springbrookron@verizon.net

CASAVANT REAR ELEVATION

12489 Weat Nuggett Ct, Highland, MD 20777

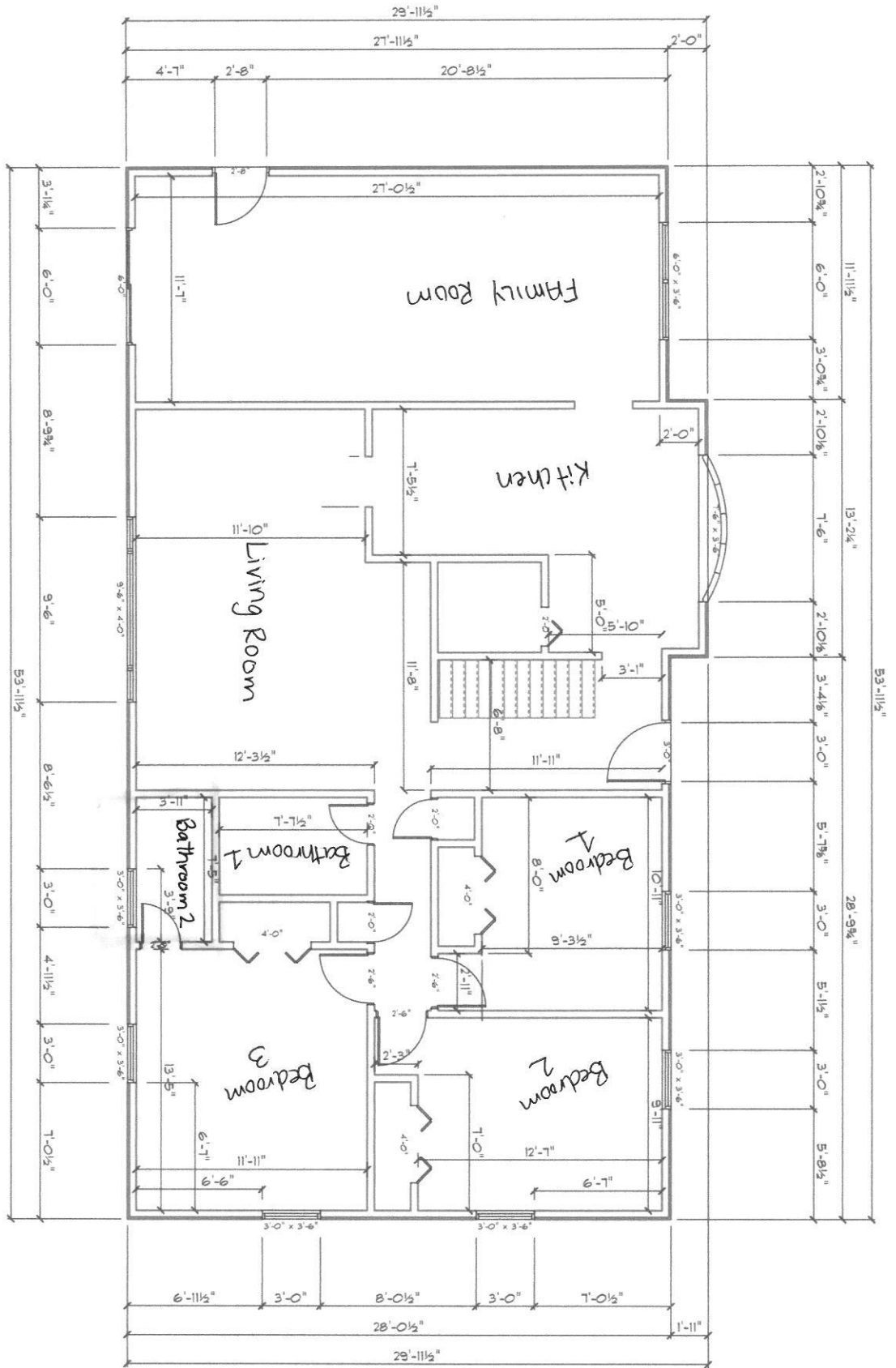
PAGE #

7

DRAWN BY: RGH

SCALE: 1/4" = 1'

DATE: December 06, 2021



Oswald, Hank

From: Ryan Casavant <ryan.casavant@gmail.com>
Sent: Thursday, February 3, 2022 3:25 PM
To: Rebecca Casavant
Cc: Oswald, Hank; Ron Higgins; Williams, Jeffrey
Subject: Re: B21004698_12489 West Nugget Court
Attachments: Invoice #12619343.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello,
Attached is our paid invoice and some images of the well and new bladder.

Regards, Ryan







On Thu, Feb 3, 2022 at 3:21 PM Rebecca Casavant <beka509@gmail.com> wrote:
Mr. Oswald,

Thank you for following up. Yes, the well was upgraded on December 30th, by Fogle's Well Pump and Water Treatment, LLC. A gentleman from Howard County was out to inspect/review the work on the day it was completed. I don't recall his name. You are welcome to conduct another site visit if needed.

Thank you,
Rebecca Casavant

On Thu, Feb 3, 2022 at 2:37 PM Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hi Rebecca:

I received your call and left you a message. Was the well upgraded? I was just waiting on this before I approve the building permit.

Thanks,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Well & Septic Program

410.313.1786

hoswald@howardcountymd.gov

From: Ryan Casavant <ryan.casavant@gmail.com>

Sent: Friday, December 17, 2021 8:50 AM

To: Williams, Jeffrey <jewilliams@howardcountymd.gov>

Cc: Rebecca Casavant <beka509@gmail.com>; Ron Higgins <springbrookron@verizon.net>; Oswald, Hank <hoswald@howardcountymd.gov>

Subject: Re: B21004698_12489 West Nugget Court

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello,

Thank you for your prompt response and the details of the required upgrades. If you still have time between 11 and 12 today I will have my cell phone with me so we can speak. Thanks so much!

Regards, Ryan 301-332-0569

On Fri, Dec 17, 2021 at 8:22 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:



Fogle's Well Pump & Water Treatment, LLC
580 Obrecht Rd, Sykesville, Maryland 21784
(410) 795-5670
www.fogleswellpump.com

Invoice 12619343
Invoice Date 12/30/2021
Completed Date
Customer PO

Billing Address
Ryan Casavant
12489 West Nuggett Court
Highland, MD 20777 USA

Job Address
Ryan Casavant
12489 West Nuggett Court
Highland, MD 20777 USA

Description of Work

Convert jet pump system to a submersible well pump system. Install a new 1/2hp 115V Goulds well pump in well. Install new pitless adapter for well pump to hang on (minimum of 36" below grade). Run wire from well to pressure tank. Install a new 33 gallon pressure tank. Install new 2 piece bug proof cap. Chlorinated well. Raise steel well casing to code (Minimum of 8" above grade).

Task #	Description	Quantity	Your Price	Your Total
Convert to submersible pump sys	Convert jet pump system to a submersible well pump system. Install a new 1/2hp 115V Goulds well pump in well. Install new pitless adapter for well pump to hang on (minimum of 36" below grade). Run wire from well to pressure tank. Install a new 33 gallon pressure tank. Install new 2 piece bug proof cap. Chlorinated well. Raise steel well casing to code (Minimum of 8" above grade). Homeowner will be digging out/exposing well casing. Hole will need to be about 3-4' deep and large enough for a technician or two to get into hole. * 2 year warranty on pump and pressure tank from date of installation * * 1 year warranty on labor from date of installation *	1.00	\$3,575.00	\$3,575.00

Paid On	Type	Memo	Amount
12/30/2021	Mobile Check Capture		\$3,575.00
			Potential Savings \$0.00
			Sub-Total \$3,575.00
			Tax \$0.00
			Total Due \$3,575.00
			Payment \$3,575.00
			Balance Due \$0.00

Thank you for choosing Fogle's Well Pump & Water Treatment, LLC

This invoice is agreed and acknowledged. Payment is due upon receipt. A service fee will be charged for any returned checks, and a financing charge of 1% per month shall be applied for overdue amounts.

12/30/2021

I find and agree that all work performed by Fogle's Well Pump & Water Treatment, LLC has been completed in a satisfactory and workmanlike manner. I have been given the opportunity to address concerns and/or discrepancies in the work provided, and I either have no such concerns or have found no discrepancies or they have been addressed to my satisfaction. My signature here signifies my full and final acceptance of all work performed by the contractor.

12/30/2021

Oswald, Hank

From: Ryan Casavant <ryan.casavant@gmail.com>
Sent: Friday, December 17, 2021 8:50 AM
To: Williams, Jeffrey
Cc: Rebecca Casavant; Ron Higgins; Oswald, Hank
Subject: Re: B21004698_12489 West Nugget Court

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello,
Thank you for your prompt response and the details of the required upgrades. If you still have time between 11 and 12 today I will have my cell phone with me so we can speak. Thanks so much!

Regards, Ryan 301-332-0569

On Fri, Dec 17, 2021 at 8:22 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello Mr. Casavant. I should have a window to call you closer to 11 or 12 today. I did review your property with Hank before he gave you the comments regarding the well. The current well setup is an inherent contamination risk and does not meet the current code requirements for the well upper terminal. According to the completion report, the well has a steel casing that was 1 foot above grade at the time it was constructed. I don't know what happened after that time to be buried in a tube with that plastic vent, but that is not an approved upper terminal setup nor is it safe for the water supply. The good news is that the well is likely easily upgradable given the construction noted on the completion report. We would look for the well casing to be extended to at least 8 inches above grade or the grading changed so that the casing is at least 8 inches above grade. An approved 2 piece cap and pitless adaptor will need to be installed on the well to make it safe from surface water contamination and bugs. You can talk to the well driller you choose to do the work, but they could either install a special pitless adaptor that works with jet pumps or you could replace the jet pump with a submersible pump. Thanks

Jeff

From: Ryan Casavant <ryan.casavant@gmail.com>
Sent: Friday, December 17, 2021 8:10 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Rebecca Casavant <beka509@gmail.com>; Ron Higgins <springbrookron@verizon.net>
Subject: Fwd: B21004698_12489 West Nugget Court

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good morning Mr. Williams,

My name is Ryan Casavant, one of the homeowners at 12489 West Nugget Court in Highland, and I am reaching out today seeking some understanding about our recent permit denial. Mr. Oswald came to my home this week for a site visit and then shared with my wife that after consulting with you we would need to make some well upgrades before a permit for our small addition to our existing master could be approved. Please see the email below that I sent to Mr. Oswald yesterday.

I called the office yesterday as per Mr. Oswald's suggestion and you were not available when I called. The person that answered the phone mentioned that you would be teleworking today and suggested I email you to communicate with you. Is there a way we can schedule a call to discuss our addition and our permit today after 10:00 am? My cell phone number is 301-332-0569 or I am available over Zoom or Google Meet if you prefer. I look forward to speaking with you in the near future. Thank you.

Regards, Ryan Casavant

----- Forwarded message -----

From: **Ryan Casavant** <ryan.casavant@gmail.com>

Date: Thu, Dec 16, 2021 at 9:29 AM

Subject: Fwd: B21004698_12489 West Nugget Court

To: Oswald, Hank <hoswald@howardcountymd.gov>

Cc: Rebecca Casavant <beka509@gmail.com>, Ron Higgins <springbrookron@verizon.net>

Good morning Mr. Oswald,

First, I want to thank you for coming out to 12489 West Nuggett Court this week to take a look at our property for the small master bathroom addition. I also want to thank you for communicating with us so quickly after your site visit. My wife shared your email about the well upgrade your supervisor, Mr. Williams, is requiring and I wanted to provide you with some well data and ask a few follow up questions so both me and my wife can better understand this process and our options.

Attached you will find our original well completion document of which you personally provided me when we purchased the property in the summer of 2018. It provides the specs on our working existing well when it was constructed. You will also find two well water tests that we have had on the well - one from the summer of 2018 and one from this past summer, 2021. Both tests found that our well water is clean and that our flow rate is well within an acceptable range for our home and family of four. Both of these tests did indicate one area our well water could be improved and that was with the low pH of our water. We took steps to neutralize that pH in November and on November 19th we had National Water Service install a \$2500 solution feeder so that our pH is now where it should be. I have attached the quote given to us for those services so you can see the details of what was installed. I am happy to reach out to the company for a digital receipt if you would like to see that to confirm the work. You can also return to the property and see the well pump and the solution feeder too since I do not believe that was a part of the inspection this past week.

I share all of this information with you so that you, and your supervisor, can see that we are responsible homeowners that have tested our well frequently for safety as well as tested the flow rate. We have also spent money to mitigate the acidity of our water so that our well water is safe. My wife and I are confused at how a small addition of less than 25 square feet to our master bathroom, where we will still have one shower, one toilet and one sink, requires a well "upgrade" to approve our permit. Our master bathroom currently has one shower, one toilet and one sink so there will be no additional demand on our well. If anything, we will be replacing the old faucet and upgrading the old pipes so there will be less demand on our system with the low flow fixtures and upgraded plumbing. As we understood the county health department laws, our bathroom addition only had to be in compliance with the septic setback distance, which we are well within per your email. Can you please help us understand why the well is now considered part of the project when we will have no additional water demands than we have now, the water is clean, it exceeds minimum flow rates for our home and we have neutralized the acidity?

I thank you in advance for your time. If you would prefer to forward all of this information on to Mr. Williams and have us communicate with him we are happy to do that instead. Your previous email mentioned calling Mr. Williams but it did not provide an email address so we could not send the attachments on this email directly to him.

Regards, Ryan (and Rebecca) Casavant

Cell: 301-332-0569

Begin forwarded message:

From: "Oswald, Hank" <hoswald@howardcountymd.gov>
Date: December 15, 2021 at 1:06:18 PM EST
To: Becky Casavant <beka509@gmail.com>
Cc: Ron Higgins <springbrookron@verizon.net>
Subject: RE: B21004698_12489 West Nugget Court

Hi Mrs. Casavant:

I heard back from Supervisor Jeff Williams regarding your well. The pit well will need to be upgraded prior to building permit approval. I've attached a list of well drillers to consult with. We also discussed

the setback distance from the bump out on piers to the existing septic tank. You will need maintain a setback distance of 5 feet.

Should you have any questions, please don't hesitate to ask. If you wish to speak with Mr. Williams regarding your well, please call the main program # at 410.313.1771.

Thanks,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Well & Septic Program

410.313.1786

hoswald@howardcountymd.gov

From: Becky Casavant <beka509@gmail.com>
Sent: Tuesday, December 14, 2021 1:04 PM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Cc: Ron Higgins <springbrookron@verizon.net>
Subject: Re: B21004698_12489 West Nugget Court

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Mr. Oswald,

It was great chatting with you today. Thank you for taking the time to visit and answer my questions. Look forward to hearing from you.

Thank you,

Rebecca Casavant

On Dec 13, 2021, at 3:56 PM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello all:

I need to conduct a quick site visit to put eyes on the well and septic system. I was planning on doing that sometime tomorrow. No one needs to meet with me. It will only take me a minute. I just wanted to let you know, so maybe you can inform the homeowner.

Thanks,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Well & Septic Program

410.313.1786

hoswald@howardcountymd.gov

Oswald, Hank

From: Oswald, Hank
Sent: Wednesday, December 15, 2021 1:06 PM
To: 'Becky Casavant'
Cc: Ron Higgins
Subject: RE: B21004698_12489 West Nugget Court
Attachments: Well Drillers.pdf

Hi Mrs. Casavant:

I heard back from Supervisor Jeff Williams regarding your well. The pit well will need to be upgraded prior to building permit approval. I've attached a list of well drillers to consult with. We also discussed the setback distance from the bump out on piers to the existing septic tank. You will need maintain a setback distance of 5 feet.

Should you have any questions, please don't hesitate to ask. If you wish to speak with Mr. Williams regarding your well, please call the main program # at 410.313.1771.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program
410.313.1786
hoswald@howardcountymd.gov

From: Becky Casavant <beka509@gmail.com>
Sent: Tuesday, December 14, 2021 1:04 PM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Cc: Ron Higgins <springbrookron@verizon.net>
Subject: Re: B21004698_12489 West Nugget Court

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Mr. Oswald,

It was great chatting with you today. Thank you for taking the time to visit and answer my questions. Look forward to hearing from you.

Thank you,
Rebecca Casavant

On Dec 13, 2021, at 3:56 PM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hello all:

I need to conduct a quick site visit to put eyes on the well and septic system. I was planning on doing that sometime tomorrow. No one needs to meet with me. It will only take me a minute. I just wanted to let you know, so maybe you can inform the homeowner.

Thanks,

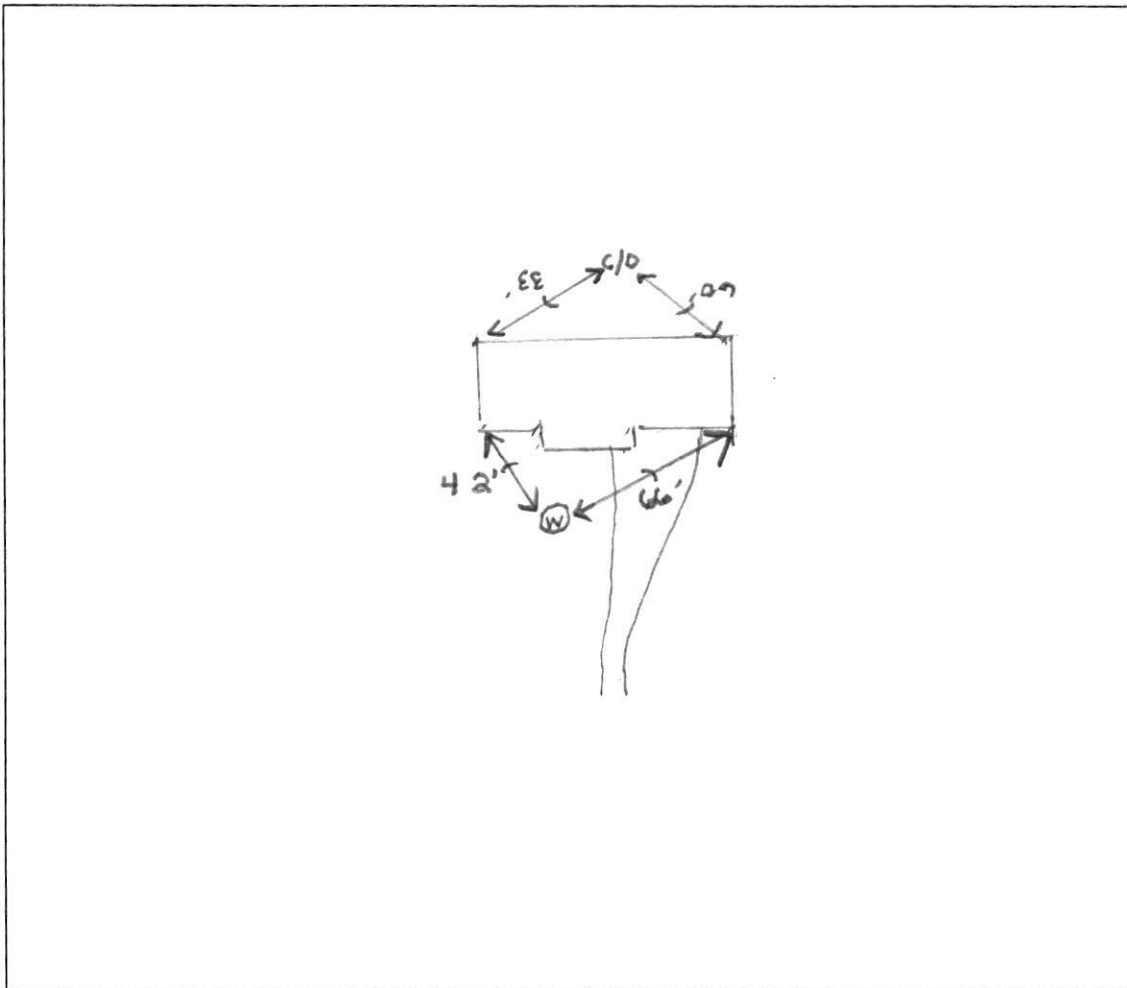
Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program
410.313.1786
hoswald@howardcountymd.gov

SITE INSPECTION SHEET

OWNER: Stephan & Becky Casavant PHONE #: _____
ADDRESS: 12489 West Nugget Ct CONTRACTOR: _____
Highland, MD 20777 WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: _____
PROPOSAL: Small extension to the master bath Building
permit # B21004698.

LOCATION DIAGRAM



COMMENTS: Pit wall (see pic). No noted issues w/ the
septic system.

DATE: 12.1.14 / 21 INSPECTOR: Hank Oswald

needs to
upgrade
well

Site Inspection – 12/14/21
12489 West Nuggett Court
Highland, MD 20777



**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 1-5-22

To: Residential Building Permits
(Person's Name and Division)

From: Rebecca Casavant (202) 664-7797
(Your Name, Company Name and Telephone Number)

Subject: Project name _____
Project site address 12489 W. Nuggett Ct., Highland MD 20777
Permit # 321 004698 SDP # _____
Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

- ____ Letter of response to address plan review comment letter
- ✓ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ____ Letter Summarizing Changes
- ____ Energy conservation calculations
- ____ Copies of _____ (be specific).
- ____ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request
- ____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- ____ Other _____

Contact Person Information: (Required)

Rebecca Casavant
Please Print Name

Telephone No: 202-664-7797

E-Mail Address: beKa509@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by XLA

CC: Health Dept

DILP 2022 JAN 6 PM 3:02

DESIGN CRITERIA

All construction shall be in conformance with the International Residential Code (IRC) and International Energy Conservation Code (IECC), 2018 edition

Minimum design live load values shall conform to IRC

Roofs	40 psf
Dwelling units	40 psf
Sleeping rooms	30 psf
Garage	50 psf
Decks	40 psf
Stairs	40 psf

Climatic and Geographic Design Parameters

Ground Snow Load: 30psf
Wind Speed: 115mph
Seismic Design Category: B
Weathering: Severe
Frost Line Depth: 30 inches (minimum)
Termites: Moderate to Heavy
Winter Design Temperature: 13°F
Ice Shield Underlayment Required: Yes
Flood Hazard: July 2, 1979
Air Freezing Index: 300
Mean Annual Temperature: 55°F

BUILDING INFORMATION

Building height - 13'-0" (top of addition ridge)
No. of levels - 1

REVISED
Date: 1/6/22
521004698
Comments: Revised Plans
per comments

TABLE OF CONTENTS

Coverpage

Plan

1. Plan
2. Section
3. Foundation
4. Floor Frame
5. Roof Frame
6. Wall Bracing
7. Rear Elevation
8. Side Elevation

January 03, 2022

SCALE: 1/4" = 1'

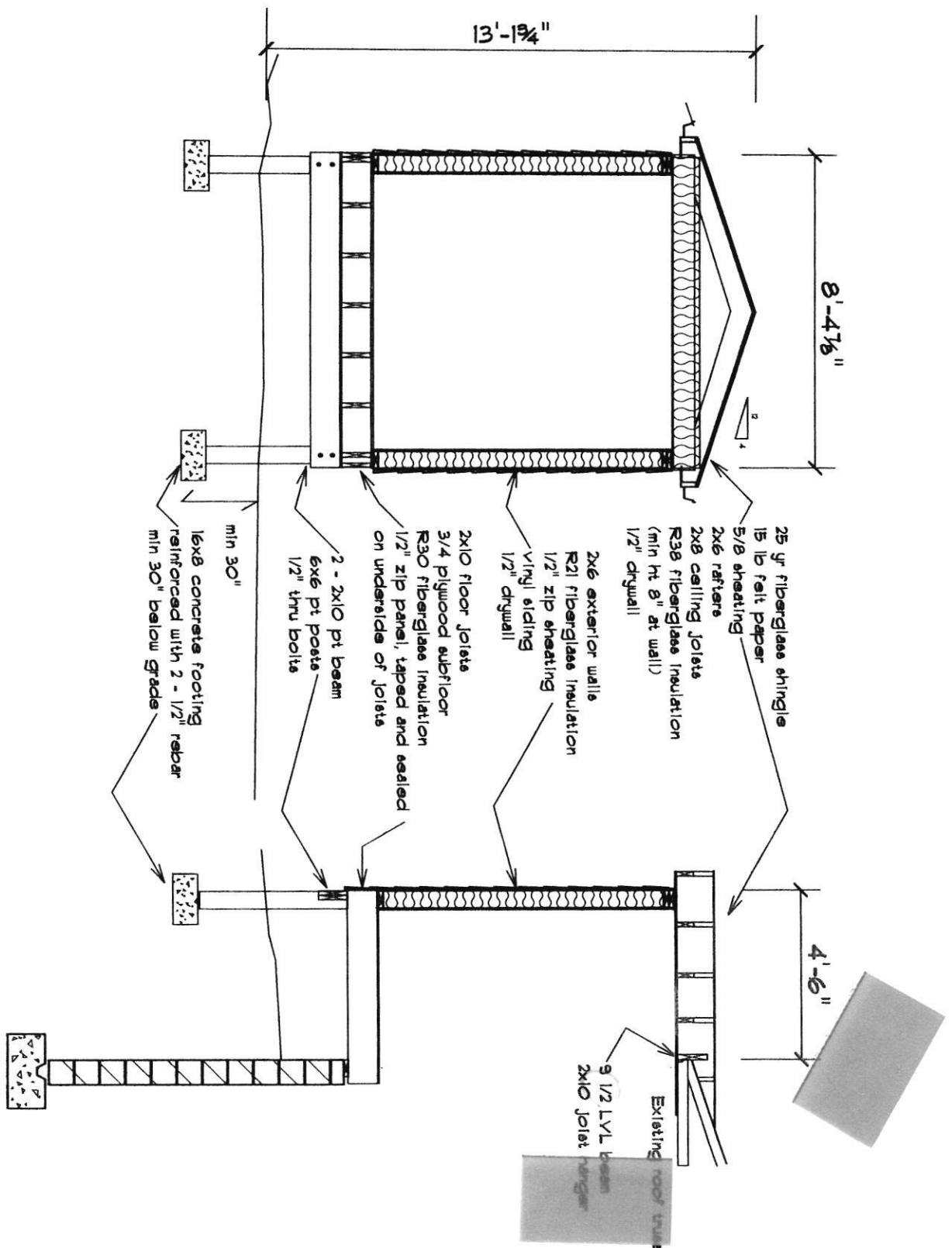
DRAWN BY: RGH

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

CASAYANT COVERPAGE

12499 West Nuggett Ct, Highland, MD 20771

Health Dept.



SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

January 03, 2022

2

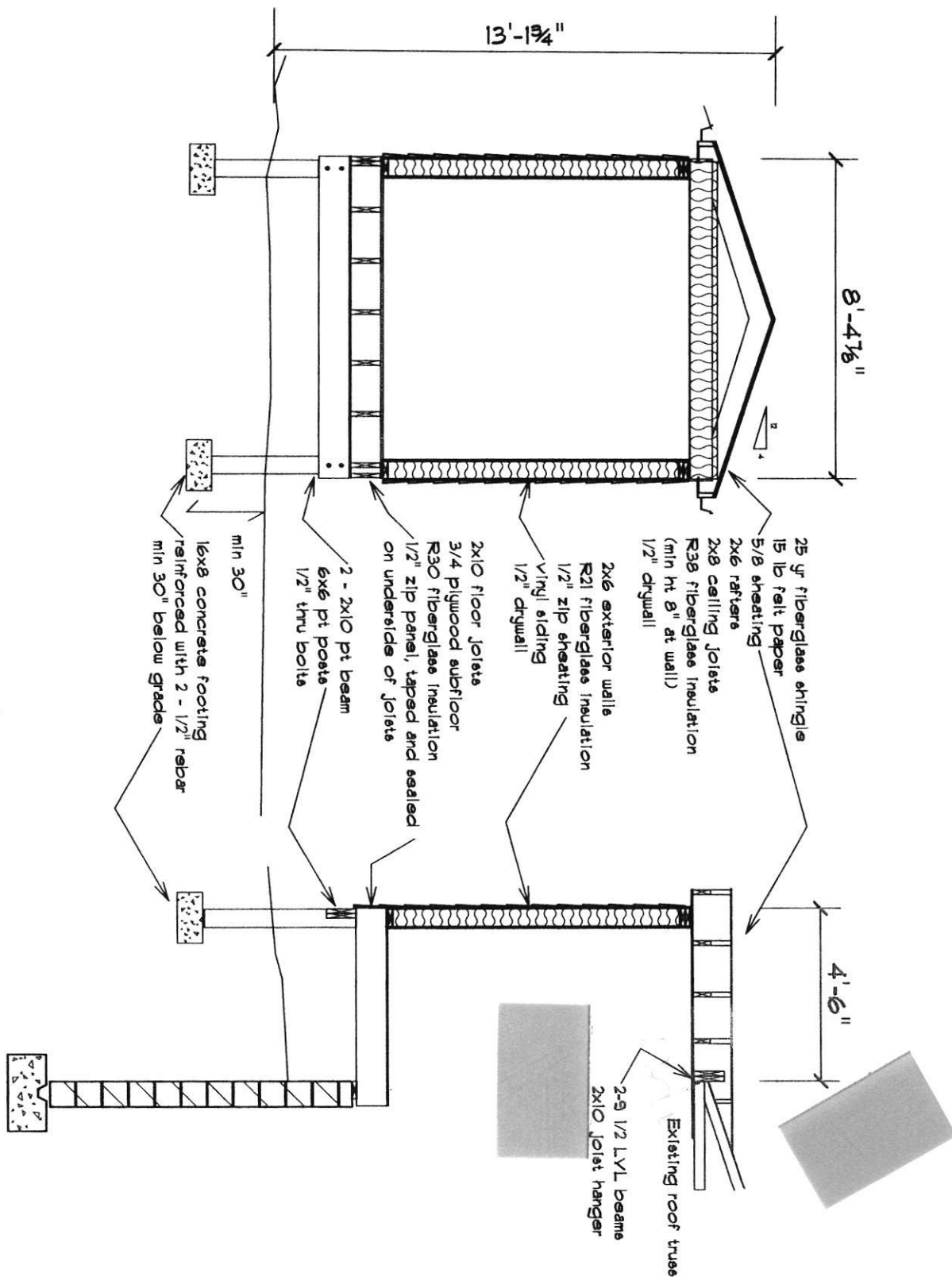
CASAVANT ADDITION SECTION (rev)

12489 West Nuggett Ct, Highland, MD 20771

SCALE: 1/4" = 1'

DRAWN BY: RGH

original



Amended

2

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

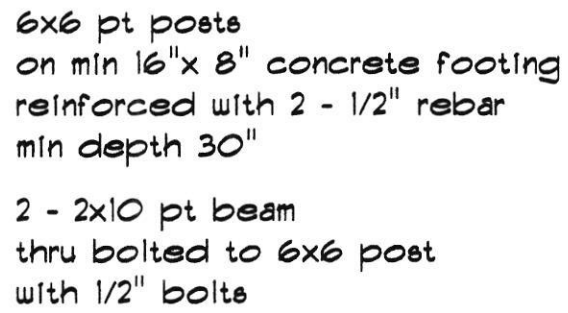
January 04, 2022

CASAVANT ADDITION SECTION (rev)

12489 West Nuggett Ct, Highland, MD 20771

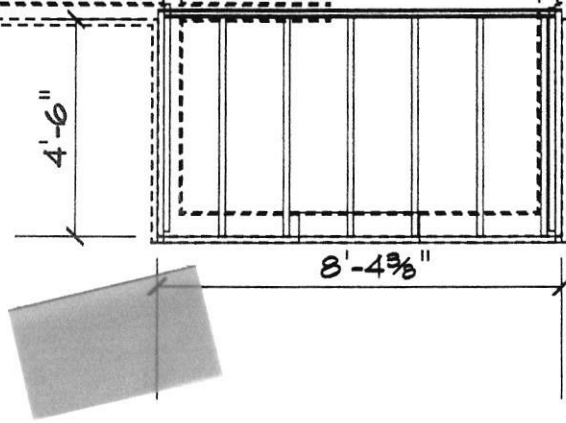
SCALE: 1/4" = 1'

DRAWN BY: RGH

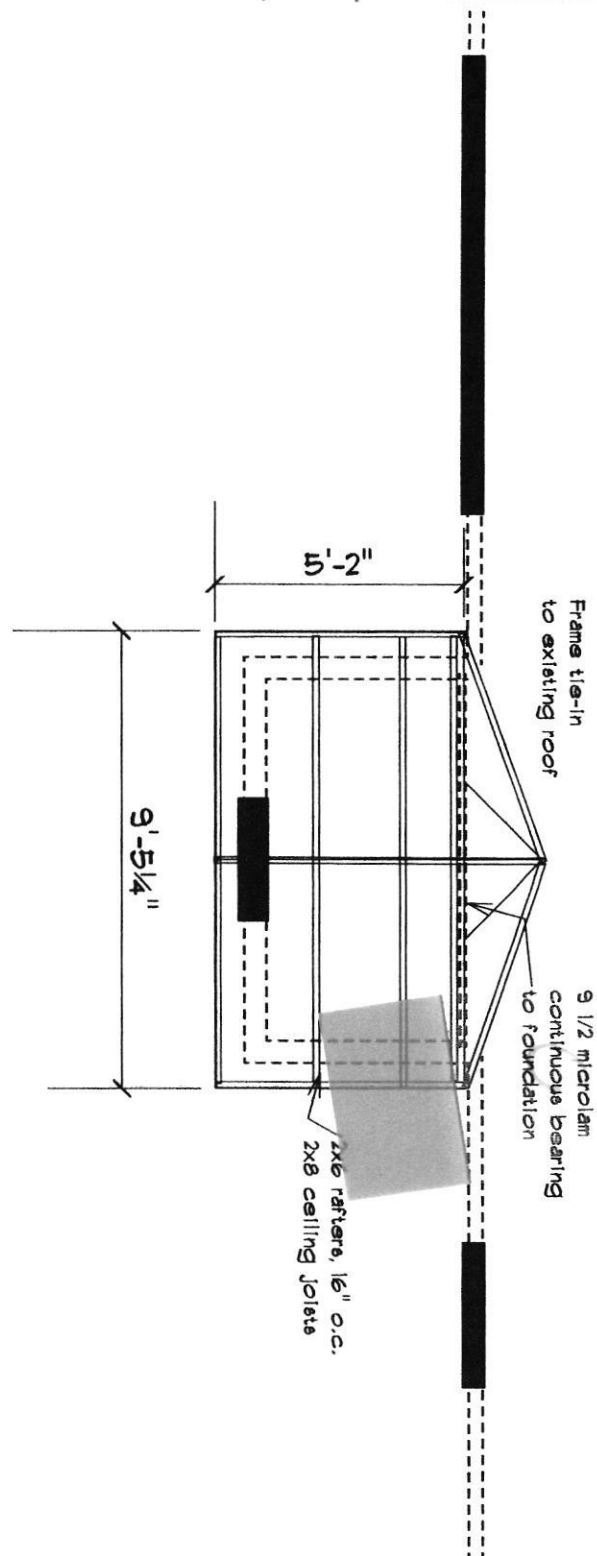


CASA YANT FOUNDATION (rev)

DRAWN BY: RGH



2 x 10 joists, 16" o.c.
 pocket existing ban board
 rest joists on existing foundation
 3/4 plywood subfloor
 R30 fiberglass insulation
 1/2 zip panel, taped and sealed
 underside of joists



5

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

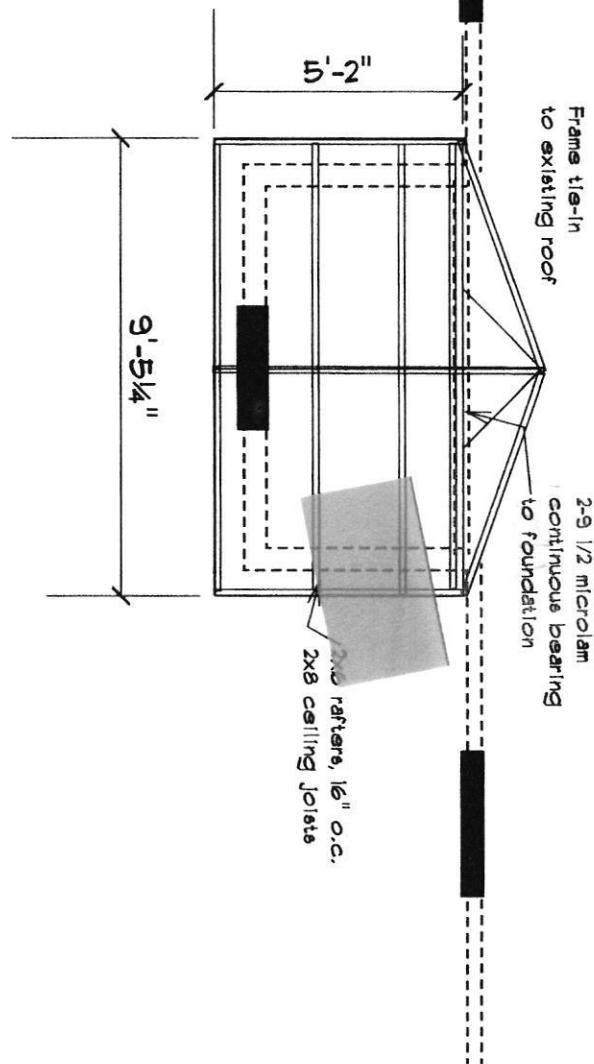
CASAVANT ROOF FRAME (rev)

12489 West Nuggett Ct, Highland, MD 20771

January 03, 2022

SCALE: 1/4" = 1'

DRAWN BY: RGH



5

SPRINGBROOK HOME IMPROVEMENTS 8610 Reservoir Road, Fulton, MD 20759

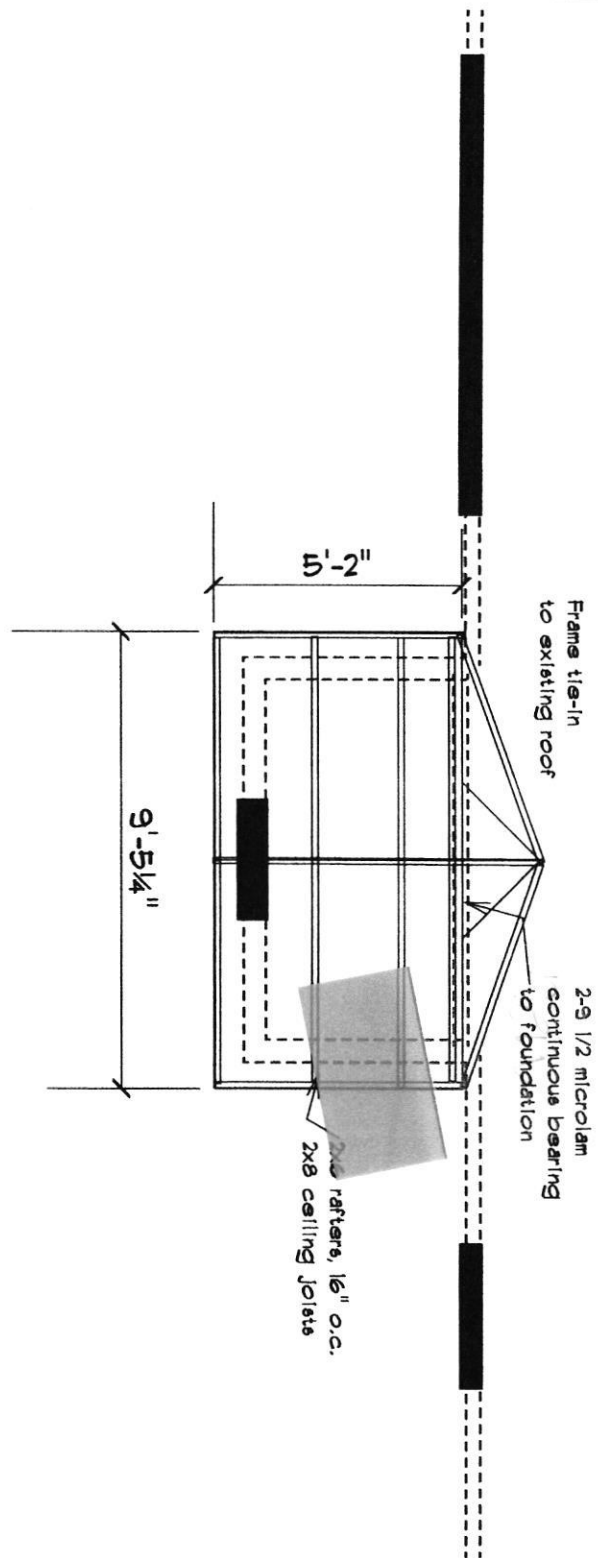
January 04, 2021

CASAVANT ROOF FRAME (rev)

12489 West Nuggett Ct, Highland, MD 20771

SCALE: 1/4" = 1'

DRAWN BY: RGH



5

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

CASAYANT ROOF FRAME (rev)

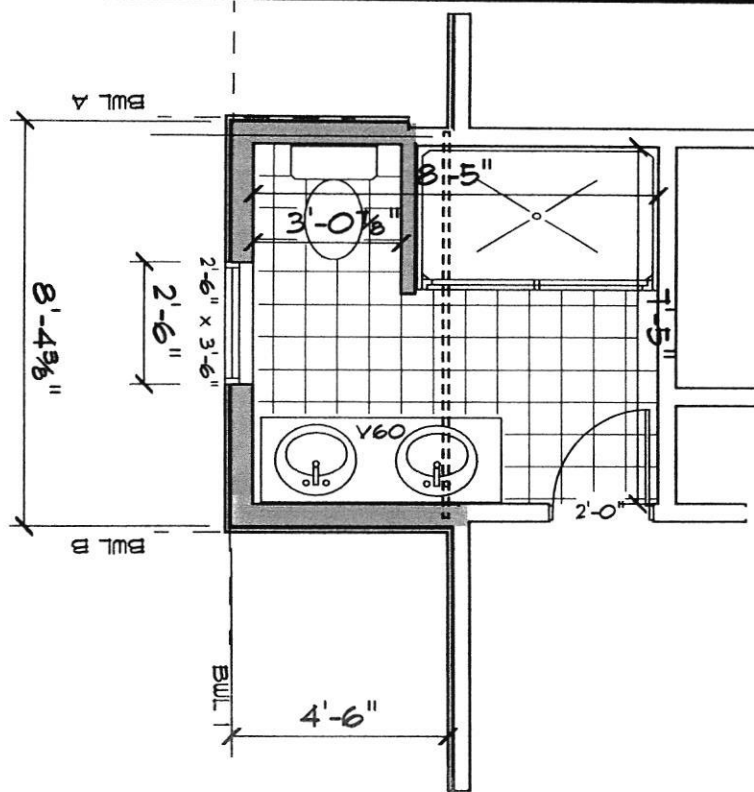
12489 West Nuggett Ct, Highland, MD 20777

January 04, 2022

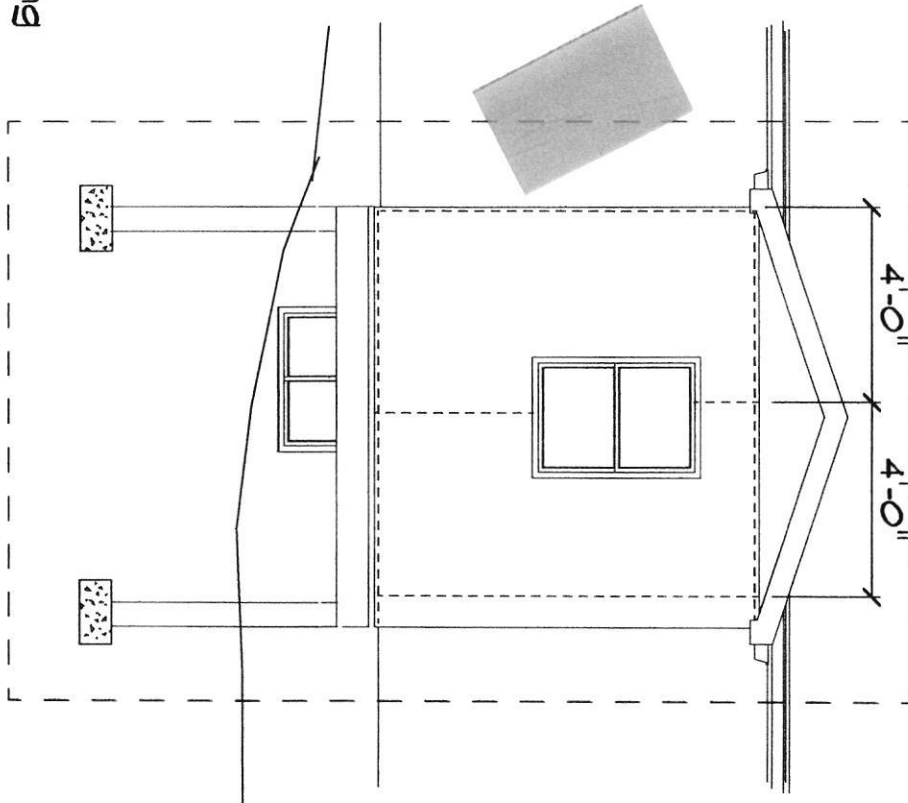
SCALE: 1/4" = 1'

DRAWN BY: RGH

Continuous
1/2" OSB sheathing
nail spacing
6" edges
12" field



Ref. to 2018
IRC table R602.10.3



6

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

CASAVANT WALL BRACING (rev)

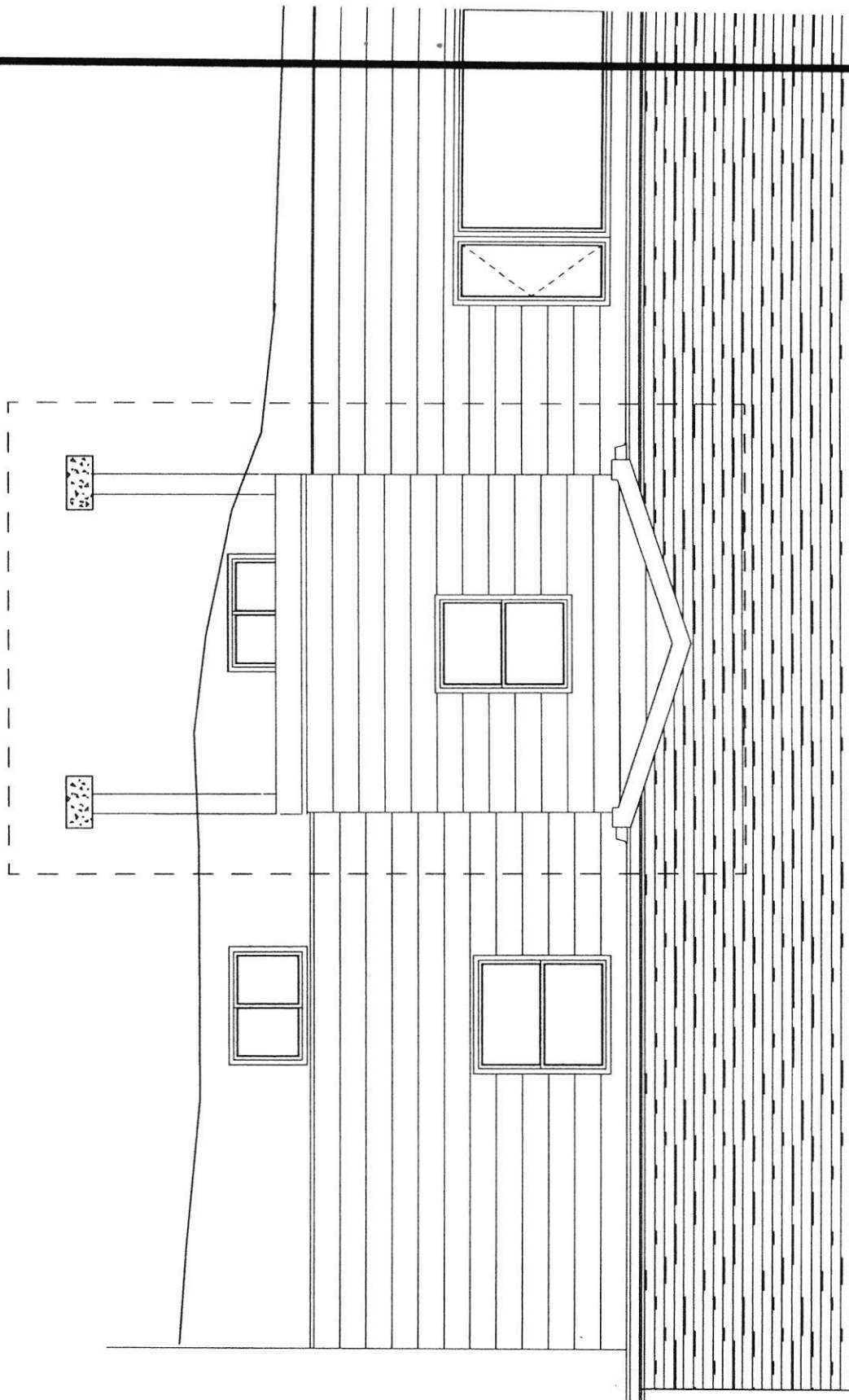
12489 West Nuggett Ct, Highland, MD 20771

January 03, 2022

SCALE: 1/4" = 1'

DRAWN BY: RGH

ADDITION



7

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

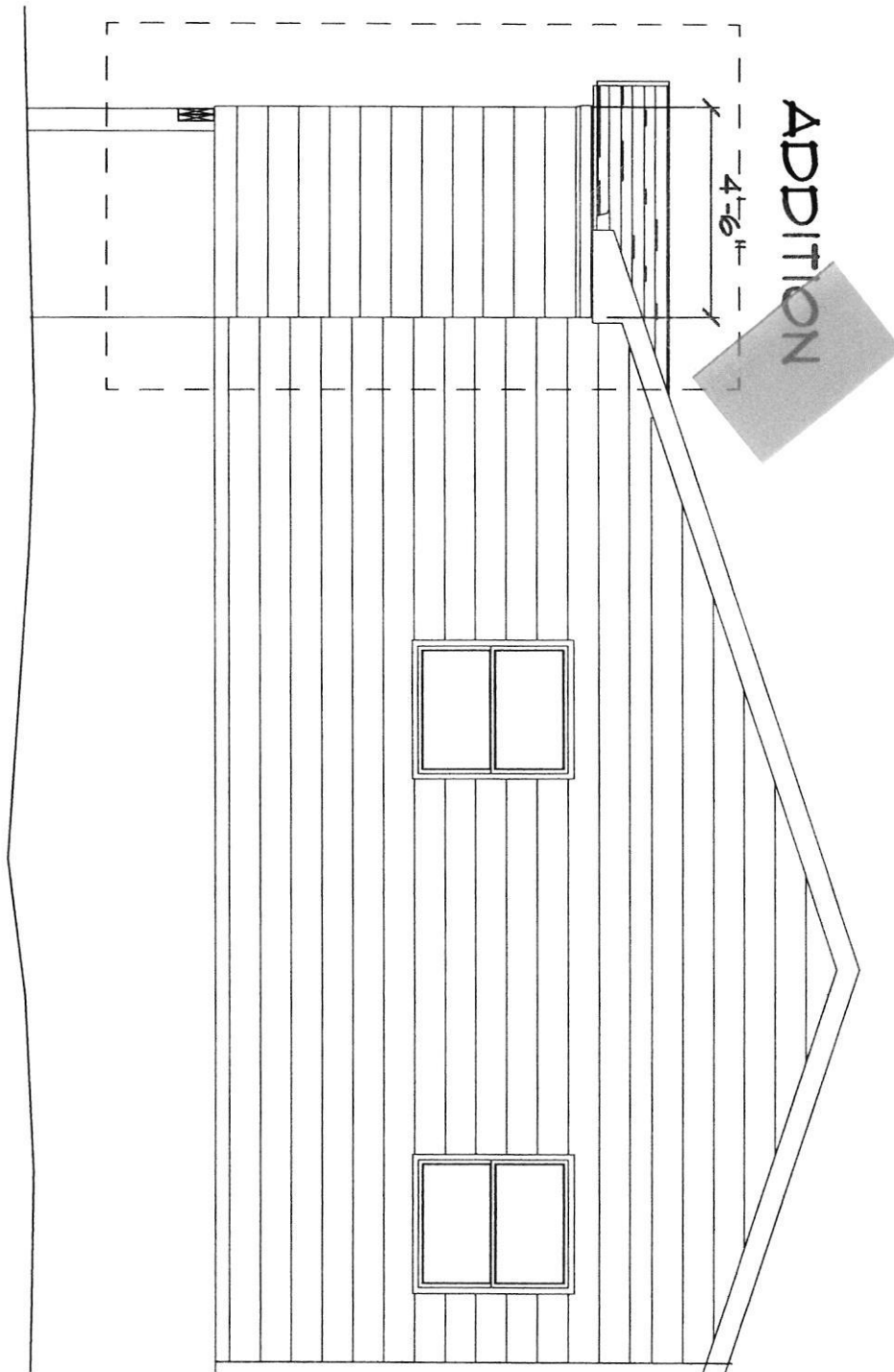
January 03, 2022

CASAVANT REAR ELEVATION

12489 West Nuggett Ct, Highland, MD 20771

SCALE: 1/4" = 1'

DRAWN BY: RGH



8

SPRINGBROOK HOME IMPROVEMENTS 8670 Reservoir Road, Fulton, MD 20759

CASAVANT SIDE ELEVATION (rev)

West Nuggett Ct, Highland, MD 20771

January 03, 2022

SCALE: 1/4" = 1'

DRAWN BY: RGH

REVISED
 Date: 1/6/22
 Ba/004618
 Comments:

