

Record Detail * (This section is required.)

Approved
3/31/2022

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B22001007	03/24/2022

Description of Work

SFD/ CONSTRUCT 1-STORY POOL HOUSE ADDITION WITH ENTERTAINMENT, BAR, BATH, MECHANICAL AND TWO DRESSING ROOMS; CONSTRUCT ON EXISTING FOUNDATION., 1 STORY, Existing, 5R, 1FB, 1HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method, undefined.

[check spelling](#)

Address * (This section is required.)

Search	Reset	Clear	Get Parcel & Owner
Street #	Street Name	Street Type	
14671	VIBURNUM	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.02435	39.22319
City	State	Zip Code	Primary
DAYTON	MD	21036	Yes

Parcel * (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
880556	22	18.12	216800	1864100	1647300	RURAL

Legal Description

IMPSLOT 20 18.126 A[]14671 VIBURNUM DR[]KALMIA FARMS

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	20	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405391989	KALMIA FARMS					
Section	Area	Tax Map					
		27					
Grid	Zoning District	ADC Map					
27-22	RR-DEO	4932-G5					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.			Primary		
5085					Yes		
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2018	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name *		
BUNDY THOMAS R III		
Address Line 1		
14671 VIBURNUM DR		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
DAYTON	MD	21036
Phone	Primary	
240-687-0311	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required.)

Search	Reset	Clear
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License type *
Architect
Primary
No

First Name
KAREN

Address Line 1
7612 BROWNS BRIDGE ROAD

Address Line 2

City
HIGHLAND

Phone 1
3017762666

E-mail
KPITSLEY@GMAIL.COM

Middle Name

State
MD

ZIP Code
20777-0000

Phone 2

Fax

Last Name
PITSLEY

Applicant (This section is not required.)

Search

As Owner

As Lic. Prof

As Contact

Type *
Applicant

Relationship
Applicant

Primary
Yes

First Name
KAREN

Full Name
KAREN PITSLEY

Organization Name
TRANSFORMING ARCHITECTURE

Street Address
7612 BROWNS BRIDGE ROAD

Address Line 2

City
HIGHLAND

Phone
3017762666

E-mail *
info@transformingarchitecture.com

MI

Last Name
PITSLEY

State
MD

Zip Code
20777

Cell
3017762886

Fax

Contact (This section is not required.)

Search

As Owner

As Lic. Prof

As Contact

Type
Contact

Relationship
--Select--

Primary
No

First Name
KAREN

Full Name
KAREN PITSLEY

Organization Name
T/B/D

Street Address
7612 BROWNS BRIDGE ROAD

Address Line 2

City
HIGHLAND

Phone
3017762666

E-mail
info@TRANSFORMINGARCHITECTURE.COM

MI

Last Name
PITSLEY

State
MD

Zip Code
20777 000

Cell

Fax

Additional Info

Est Construction Cost *
200000

Housing Units *
0

Number of Buildings *
0

Public Owned
No

Construction Type
--Select--

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *
☐ Yes ☒ No

Capital Project Number

Fee Exempt *
☐ Yes ☒ No

Roadside Tree Project Permit
☐ Yes ☒ No

Roadside Tree Project Permit #

No of Stories *
1

Foundation *
Existing

Basement *
N/A

No of Rooms *
5

Full Baths *
1

Half Baths *
1

Existing Use
--Select--

Model *

[check spelling](#)

Other Structure *
None

Bedrooms *
0

Porch Deck *
N/A

No of Fireplaces *
0

Type of Fireplace
--Select--

Energy Code *
Prescriptive Method

W & S Fees Paid
☐ Yes ☐ No

Water *
Private

Sewage *
Private

Utilities *
Electric

Heating System *
Electric

Sprinkler System *
NFPA #13D

Road Frontage
--Select--

1st Floor Width
FT

1st Floor Depth
FT

2nd Floor Width
FT

2nd Floor Depth
FT

Basement Width
FT

Basement Depth
FT

Height
FT

Footings
FT

Total Square Footage *
1156

Occupiable Square Footage *
1156

Affordable Housing Funding *
--Select--

Foundation Measurement

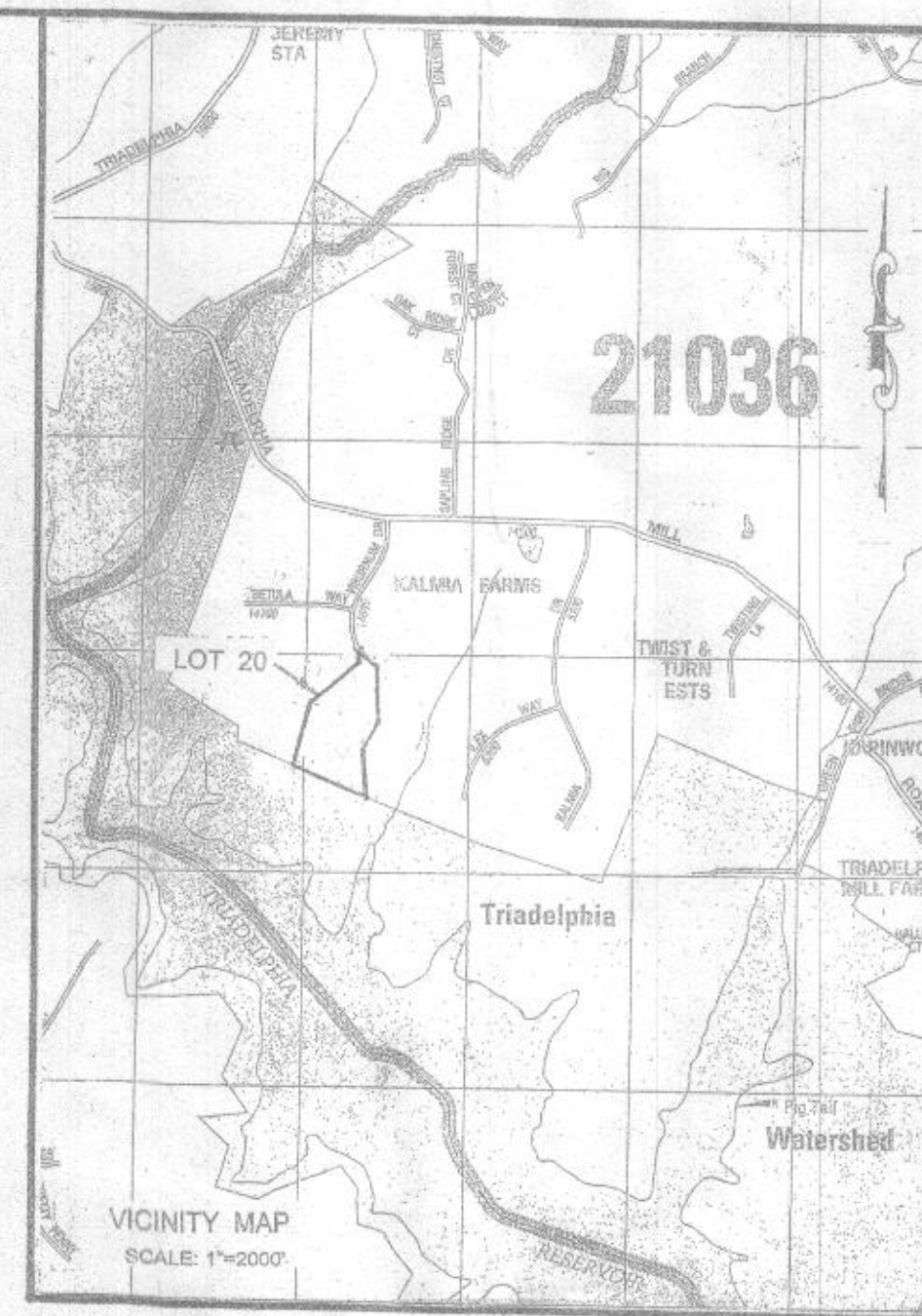
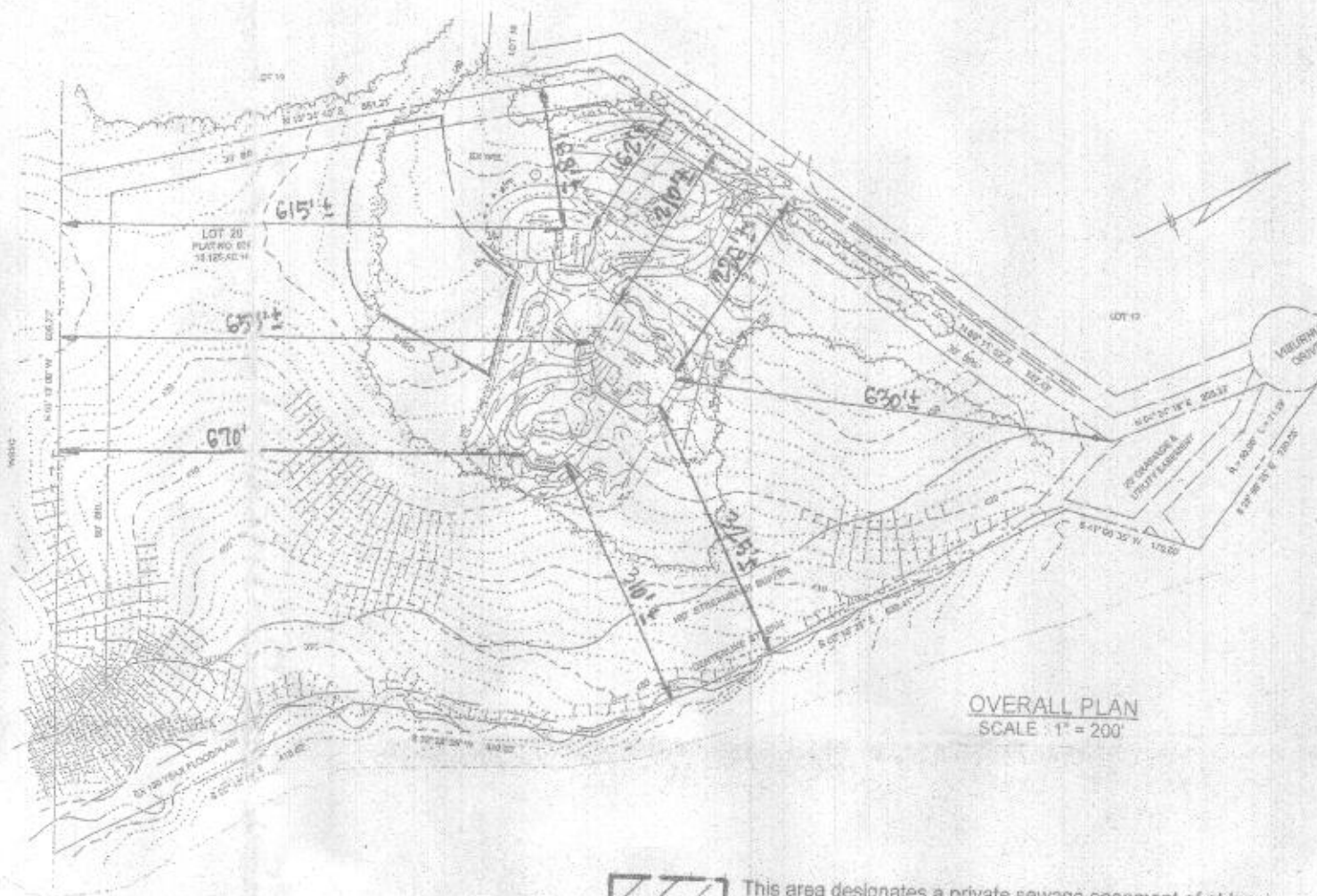
Walls
Perf

Change In Use

Grading Permit No

SEPTIC SYSTEM NOTES

1. Any change to the location or depth to any components must be approved by the Engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
2. The maximum earth cover over the tank is 3 feet. Greater earth cover will require a heavy load bearing tank.
3. Electrical work for the installation must be performed by a licensed electrician.
4. The well (tag #81-0775) has been field located and is accurately shown.
5. All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.
6. The existing septic tank and distribution box shall remain to service the existing dwelling. Upon issuance of a permit to raze the existing dwelling the existing tank and box shall be abandoned in accordance with Howard County Health Department abandonment procedures and the contractor shall file an abandonment report.



This area designates a private sewage easement of at least 10,000 square feet for each residence as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this easement are restricted. This easement shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant adjustments to the private sewage easement. Recordation of a revised sewage easement shall not be necessary.

Approved 7522001007
R/E 3/31/2022
Septic Line and Well
Line for Pool House
Installed w/ Original
Installation Permits.

Approved Septic System Plan
Howard County Health Department
Hank Oswald 3/1/17
Signature Date

NOTE
THE EXISTING DWELLING SHOWN ON THIS PLAN WILL BE TEMPORARILY OCCUPIED DURING CONSTRUCTION OF THE REPLACEMENT DWELLING IN CONFORMANCE FROM THE DEPARTMENT OF PLANNING AND ZONING.

GENERAL NOTES

1. Existing Zoning: RR-DEO per 10/06/13 Comprehensive Zoning Plan.
2. Plat Reference: #5085.
3. Total Area of Lot: 18.126 Acres +/-.
4. The lot shown hereon complies with the minimum lot area and ownership width as required by the Maryland Department of the Environment.
5. All existing wells and septic systems within 100 feet of the lot which may affect this proposed ~~three~~ ^{five} ~~acre~~ ^{acre} shown.
6. The topography shown is derived from the Howard County.
7. The well this lot has been drilled and field located HO-81-0775.
8. Any changes to the Private Sewage Easement shall require a Revised Percolation Certification Plat.
9. The Howard County Health Department previously approved the Sewage Disposal Area shown on this plan with the Percolation Certification Plan Dated May 25, 2016.
10. See Architectural Plans for building dimensions and design details. Prior to stakeout for construction, it shall be the Builder/Developer's responsibility to provide LDE, Inc. with the most recent set of house plans. The house footprint shown on this plan was provided by the builder on August 15, 2016.
11. The Contractor or Developer shall notify the Department of Public Works/ Bureau of Engineering/ Construction Inspection Division at 410.313.1881 at least (5) five working days prior to start of work.
12. The Contractor or Developer shall notify "Miss Utility" at 1.800.257.7777 at least forty-eight (48) hours prior to any excavation work being done.
13. Limit of Disturbance: 156,900 square feet.
14. Any damage to Public "Rights of Ways" or paved public roads shall be repaired immediately at the Contractor's expense in accordance with the Howard County Standards and Specifications.
15. Deviation from these plans and specifications without prior written consent of the Engineer may cause the work to be unacceptable.
16. The dimensioned distances shall govern if scaled distances on the plan are found to be in disagreement.
17. This lot is exempt from the requirements for Forest Conservation in accordance with Section 16.1202b.1.vi of the Howard County Code for Forest Conservation with filing of a Declaration of Intent.
18. Stormwater Management for this lot is provided with the approval of the Environmental Concept Plan.

OWNER: JONATHAN CALURE
ROSANNE CALURE
6227 SWEET MEADOW LANE
CLARKSVILLE, MD 21029
410.598.4165

BUILDER: MUELLER HOMES
7520 MAIN STREET
SUITE 201
SYKESVILLE, MD 21784
410.549.4444

Pool House on
existing foundation
and slab



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19184, EXPIRATION DATE: 6/30/17.
Bruce D. Burton 3/2/17
DATE

LDE Inc.
Engineers • Surveyors • Planners
Historic Carriage House • 7520 Main Street • Suite 203 • Sykesville, Maryland • 21784
(410)795-6391 • (410)795-6392 • FAX (410)795-6340 • www.LandDesignInc.com

ON-SITE SEWAGE DISPOSAL
SYSTEM DESIGN PLAN
KALIMA FARM
SECTION 2
LOT 20
REPLACEMENT DWELLING
(B 1700327)
TAX MAP 27 GRD 16 PARCEL 22
TAX ACCOUNT #05-391869
5TH ELECTION DISTRICT HOWARD COUNTY, MD
DATE: 2/2017 SCALE: AS SHOWN
SHEET 1 OF 2

Terminated/Abandoned
See Demo Release Letter
11/1/2018
Future Proposal

SCOPE OF WORK

BUILD A POOL HOUSE (1156 S.F.) ON EXISTING FOUNDATION

RESIDENTIAL NOTES & SPECIFICATIONS

GENERAL CONSTRUCTION NOTES
1. THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE (INCLUDING CONSTRUCTION DRAWINGS) FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ALONE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.

2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSION ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES, STEEL, STAIRS, ROOF AND/OR FLOOR TRUSSES.

3. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.

4. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.

5. ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.

6. PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.

7. PROVIDE HANDRAILS 34"-38" ABOVE NOSINGS ON ALL STAIRS. PROVIDE GUARDRAILS AT RATED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MINIMUM 42" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.

8. PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" GB DRAFTSTOPPING, NOT TO EXCEED 1,000 SF.

9. PROVIDE A MINIMUM 6'-8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".

10. PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1/300 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAPLES IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.

11. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.

12. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILINGS, WINDOWS, DOOR FLANGES AND JAMBS.

13. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.

14. SLOPE ALL EXTERIOR PLATFORMS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.

15. PROVIDE TERMITE PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

SPECIFICATIONS - GENERAL CONDITIONS
1. ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODE - 2018.

2. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, EQUIPMENT, ETC. AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

4. DESIGN STANDARDS
USE GROUP: RESIDENTIAL

CONST. TYPE: TWO STORY WOOD FRAME W/ BRICK & SIDING.

5. DESIGN LOADS (IRC TABLE 301.5)

ROOF LIVE LOAD: 40 PSF WIND SPEED: 115 MPH

GROUND SNOW LOAD: 40 PSF IMPORT FACTOR: 1

FLOOR LIVE LOAD (F.F.): 40 PSF EXP. FACTOR: "C"

FLOOR LIVE LOAD (S.F.): 30 PSF SEISMIC DESIGN CAT: B

ATTIC LIVE LOAD (ATTIC): 20 PSF WEATHERING: SEVERE

GARAGE LIVE LOAD: 50 PSF ZONE: 4A

GUARD RAILS: 200 LBS. FORCE IN ANY DIRECTION

SOIL BEARING: ASSUMED 2,000 PSF FROST LINE DEPTH - 30"

TERMITE: VERY HEAVY DECAY: VERY HEAVY

RADON RESISTANT CONSTRUCTION REQ'D: YES

CONCRETE
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCF) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318-99.

2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

3. ALL REINFORCING BAR SHALL BE GRADE 60 (FY-60,000 PSI).

4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 6X6 - W1.4 x W1.4 WWF AND BE POURED OVER A SIX (6) MIL POLY VAPOR BARRIER4 OVER 4" POROUS GRANULAR FILL.

5. ALL INTERIOR CONCRETE SLABS 30'-0" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOINTS.

6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB. AND HAVE 4" GRANULAR FILL MIN BELOW CONCRETE SLAB.

7. WHERE PORCH (NOT MONOLITHICALLY POURED), PATIO OR OTHER CONCRETE FLAT WORK ABUTS AN EXISTING CONCRETE SLAB PROVIDE A 1/2" ASPHALT IMPREGATED FIBER BOARD EXPANSION JOINT.

8. ALL REINFORCING SHALL CONFORM TO "SPECIFICATIONS FOR DEFORMED BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT" (ASTM 1 615-60).

9. WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A-185.

10. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTING WORK, IF NOT CONTINUOUS, AND REINFORCEMENT FOR TEMPERATURE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED, SHALL LAP 30 BAR DIAMETERS OR 18" MINIMUM AT ALL SPLICES, OR SHALL HAVE DOWELS OF THE SAME BAR SIZE AND SPACING AS THAT OF REINFORCING TO BE SPLICED OR WORK TO BE CONNECTED.

11. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:
CONCRETE DEPOSITED AGAINST GROUND 3"
FORMED CONCRETE IN CONTACT WITH GROUND 2"
FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

FOUNDATION PERIMETER INSULATION
1. INSTALL EXPANDED RIGID CLOSED CELL POLYSTYRENE FOAM BORDER FED SPEC HH-I-542B. DENSITY 2.1 LBS PER CU. FT. "R" VALUE PER 1" THICKNESS - 5.41

STAIR:
DIMENSION:
MAX R: 7 1/2"
MIN T: 10"

SHEET INDEX

A-100 PROJECT NOTES, SCHEDULES, & DEMO PLANS

A-101 FOUND, FLOOR FRAMING, ROOF FRAMING & ROOF PLANS

A-103 LATERAL BRACING PLANS

A-200 EXTERIOR ELEVATIONS

A-300 BUILDING SECTION

STRUCTURAL STEEL NOTES

1. MATERIALS
STRUCTURAL STEEL AND PLATE ASTM A36

UNFINISHED BOLTS ASTM A307

HIGH-STRENGTH BOLTS ASTM A325

WELDING ELECTRODES ASTM 1233, CLASS E70

2. BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE ABC STANDARD (FULL DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS. THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).

3. ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.

4. STEEL WORK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS.

5. SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.

6. STEEL LINTELS- FOR ALL OPENINGS AND RECESSES IN STONE OR BRICK, FACED WALLS NOT SPECIFICALLY DETAILED, PROVIDE ONE STEEL ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM BEARING OF 4" AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.

7. LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS) NOTE: ALL LINTELS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.

8. STEEL BEAM POCKETS, SIZE AS INDICATED ON PLANS. BEAMS SHALL HAVE A MINIMUM BEARING OF 4" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE PARGE FINISH.

9. 2x BEAM PLATE IS ANCHORED TO STEEL BEAM WITH 3/8" DIAMETER STEEL BOLTS OR EQUIVALENT POWER ACTIVATED FASTENERS AT 48" O/C. FASTENERS TO BE LOCATED A NEAR TO CENTER OF BEAM AS POSSIBLE.

10. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

MASONRY
1. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. EACH TIE SHALL BE 24" ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16". THESE TIES SHALL BE SPACED NOT MORE THAN 3' ON CENTER AND PLACED WITHIN 12" OF THE WALL OPENING.

2. CONCRETE MASONRY UNITS SHALL MEET ASTM C-90 GRADE A, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 3000 PSI.

3. CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SUPER IMPOSED LOADS (I.E. WIND LOADS, SHOVING OR OTHER LATERAL FORCES) FROM BULGING OR DISTORTING FINISHED MASONRY WALLS BY WAY OF SHORING, BRACING OR OTHER MEANS AS SITE REQUIRES.

4. USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.

5. USE TYPE "N" MORTAR FOR EXTERIOR, ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED. EXCEPTION - MASONRY CONSTRUCTION REQUIRING HEAT RESISTANT MORTAR SHALL HAVE A REFRACTORY AIR SETTING MORTAR.

6. BRICK VENEER TO BE INSTALLED WITHIN 3/16" DIA' WEEP HOLES SPACED AT A MAXIMUM OF 24" O.C. HORIZONTALLY.

HEADERS
1. ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.

WOOD FRAMING
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS, 16" O.C., WITH DOUBLE TOP PLATE.

MINIMUM 2X12 HEADER/LINTELS AT ALL OPENINGS IN BEARING OR EXTERIOR WALLS. SHEATHING TO BE 3/4" CDX PLYWOOD OR OSB.

2. ALL FRAMING LUMBER SHALL BE SPF No.1/No.2 AND HAVE A MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS OF 875 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 1,400,000 PSI.

3. ALL FLOOR DECKS ARE TO BE GLUED TO SUPPORTING BEAMS AND JOIST WITH PL-400 ADHESIVE AS MANUFACTURED BY "CONTECH" OR APPROVED EQUAL.

4. ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED TOGETHER @ 12"

5. ALL WOOD POSTS MADE UP OF MULTIPLE PIECES SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED @ 12" O.C. BOTH SIDES.

6. DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UNSUPPORTED) INSTALL DOUBLE JOISTS.

7. ALL RAFTERS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRIDGING AT 8' O.C. OR AT CENTER OF SPAN WHICHEVER IS LESS.

8. CONTINUOUS LOAD PATH: STEEL HARDWARE CONNECTORS TO GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATIONS TO THE ROOF RAFTERS AT ALL STUDS. THESE SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTORS, FLOOR TO FLOOR CONNECTORS, AND ROOF RAFTER HURRICANE CONNECTORS/ANCHORS.

9. MINIMUM BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 3 1/2" ON WOOD AND 4" ON MASONRY.

10. INSTALL WOOD JOIST HANGER & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:

JOIST HANGER MIN. CAPACITY - 800#
BEAM HANGER MIN. CAPACITY - 3500#

11. INSTALL MINIMUM DOUBLE STUDS AT JAMBS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.

12. ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH ASCE 7-95.

13. FOUNDATION ANCHORAGE SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC M63.1.6.

14. ALL SILL PLATES AND LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE.

FINISHES
1. ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 76-200 OR BETTER AND A SMOKE DEVELOPED INDEX OF 0-450.

AIR LEAKAGE
BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

1. ALL JOINTS, SEAMS AND PENETRATIONS.

2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.

3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.

4. UTILITY PENETRATIONS

5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.

6. KNEE WALLS

7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.

8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.

9. COMMON WALLS BETWEEN DWELLING UNITS.

10. ATTIC ACCESS OPENINGS.

11. RIM JOIST JUNCTION.

12. OTHER SOURCES OF INFILTRATION.

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR				WALLS			CEILING			REMARKS
	LVP	CERAMIC TILE	CARPET	STAMPED CONCRETE	UNFINISHED	PAINTED GYP. BD.	UNFINISHED	PAINTED GYP. BD.	BEAD BOARD	UNFINISHED	
ENTERTAINMENT BAR	X					X		X			
GIRL'S DRESSING	X		X			X		X			
SHOWER	X		X			X		X			
BOY'S DRESSING	X		X			X		X			
MECHANICAL				X		X		X			

CABINET SCHEDULE

NO.	DESIGNATION	W-D-H	TYPE	REMARKS	TOP DRAWER SLAB
01	BC	24-24-34.5	BASE	BASE CABINET	N
02	3AD	18-24-34.5	BASE	3 ALL DRAWER	N
03	BC	24-24-34.5	BASE	BASE CABINET	N
04	BC	9-24-34.5	BASE	BASE CABINET	N
05	BC	9-24-34.5	BASE	BASE CABINET	N
06	BC	24-24-34.5	BASE	BASE CABINET	N
07	RCPO	18-24-34.5	BASE	RECYCLING CENTER	N
08	SB	36-24-34.5	BASE	SINK BASE	N
09	3AD	20-24-34.5	BASE	3 ALL DRAWER	N
10	WREF	39-24-18.5	WALL	WALL REFRIGERATOR CABINET	
11	WVC	36-12-36	WALL	WALL CABINET	
12	WVC	36-12-36	WALL	WALL CABINET	
13	WVC	24-12-36	WALL	WALL CABINET	
14	WVC	24-12-36	WALL	WALL CABINET	
01	BC	30-24-34.5	BASE	BASE CABINET	
02	BC	30-24-34.5	BASE	BASE CABINET	
03	BC	30-24-34.5	BASE	BASE CABINET	
04	BC	30-24-34.5	BASE	BASE CABINET	

CABINET DOOR COLOR:

CABINET DOOR STYLE:

CABINET DOOR EDGE:

CABINET DRAWER STYLE:

DOOR SCHEDULE

DOOR			SADDLE	LABEL	REMARKS
NO.	SIZE.	INT/EXT			
001	(2) 2/0x6/8	EXT	NO		DOUBLE DOOR
002	2/8x6/8	INT	NO		SINGLE DOOR
003	2/0x6/8	INT	NO		SINGLE DOOR
004	2/8x6/8	EXT	YES		SINGLE DOOR INSULATED EXTERIOR
005	2/8x6/8	INT	NO		SINGLE DOOR
006	1/8x6/8	INT	NO		SINGLE DOOR
007	2/10x6/8	EXT	YES		SINGLE DOOR
008	2/10x6/8	INT	NO		SINGLE DOOR

WINDOW SCHEDULE

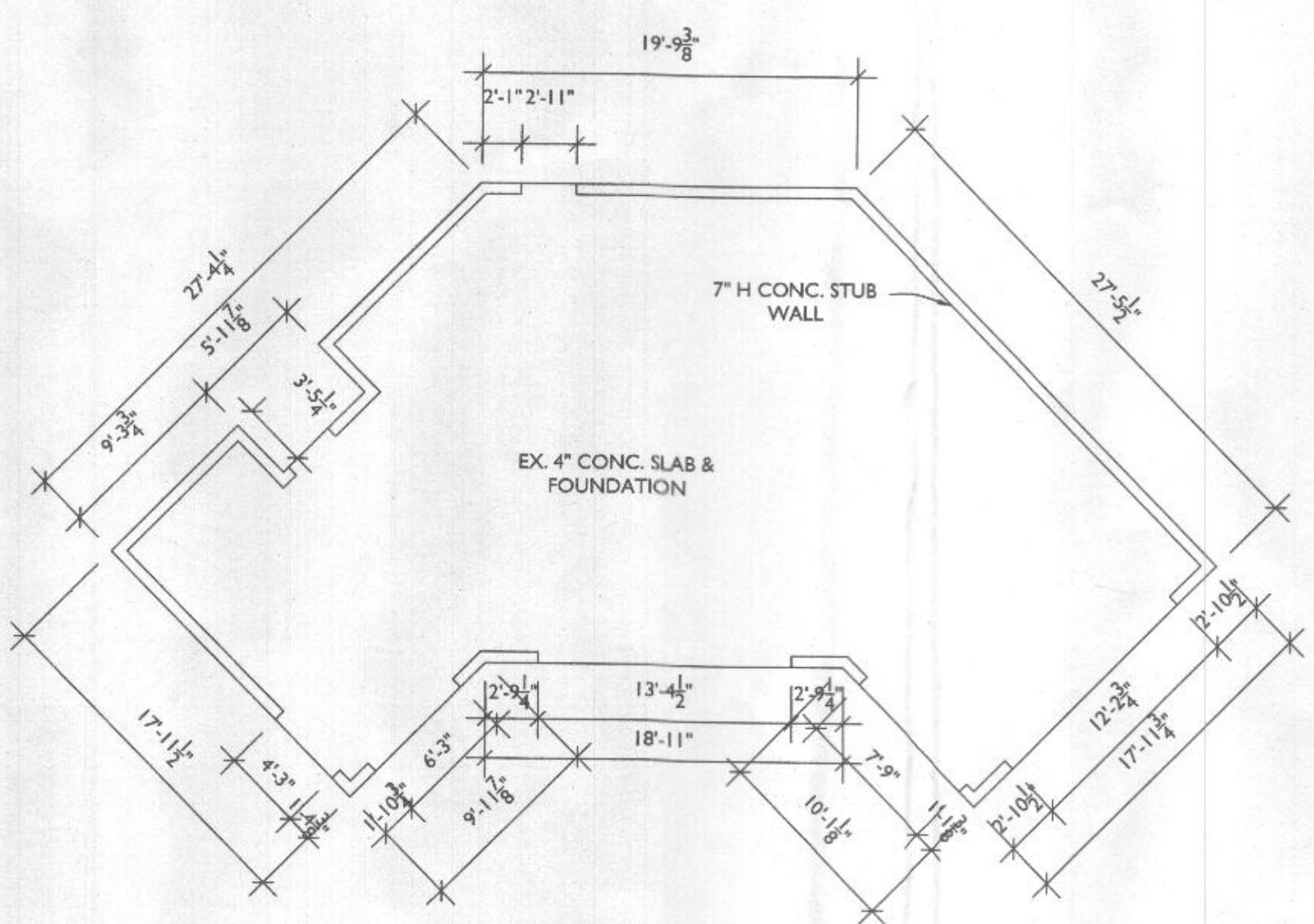
WINDOW				REMARKS
TYPE	MAT.	SIZE.	OPERATION	
A	VINYL	(3) 2/0x2/0	FIXED	FACTORY MULLED
MIN. DUAL PANE, LOW-E & ARGON GAS FILLED. MAX. U = .31				
TRIM TO BE WHITE				
*EGRESS				

APPLIANCE SCHEDULE

LOCATION	NO.	QTY.	EQUIPMENT	EX.	MANUF.	MODEL #	REMARKS
KITCHEN	01	1	36" W. RANGE	NO			
KITCHEN	02	1	33" W. DOUBLE UNDERMOUNT SINK	NO			
KITCHEN	03	1	24" W. DISHWASHER	NO			
KITCHEN	04	1	36" W. FRIDGE/FREEZER	NO			

HEADER SCHEDULE (U.N.O.)

OPENING SIZE	HEADER SIZE
OPENINGS UP TO 3'	(2) 2x10
OPENINGS GREATER THAN 3' UP TO 6'	(2) 1.75 x 9.50 2.0E LVL
OPENINGS GREATER THAN 6' UP TO 8'	(2) 1.75 x 11.875 2.0E LVL



EXISTING SLAB PLAN
SCALE: 1/8"=1'-0"



7612 Browns Bridge Road
Highland, MD 20777
301-776-2666
info@TransformingArchitecture.com
www.TransformingArchitecture.com



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PROJECT PHASE

PERMIT

PROJECT TITLE

THE
BUNDY POOL
HOUSE

14671 Viburnum Drive
Dayton, MD 21036

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 22-673

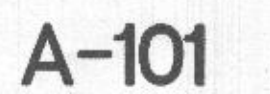
DATE 03/24/2022

SCALE AS NOTED

DRAWING TITLE

FLOOR PLANS

SHEET NUMBER














1 ROOF PLAN
A101 SCALE: 1/4"=1'-0"

4 ELECTRICAL LAYOUT
A101
SCALE: 1/4"=1'-0"

2 ROOF FRAMING PLAN
A101 SCALE: 1/4"=1'-0"

3 FLOOR PLAN
A101 SCALE: 1/4"=1'-0"

- ## ELECTRICAL LEGEND
- | | |
|---|--------------------------------|
| \$ | SWITCH |
|  | OUTLET |
|  | GFI OUTLET |
|  | 6" RECESSED LED CLG. LIGHT |
|  | LED WALL MOUNT FIXTURE |
|  | LED CLG. FIXTURE |
|  | EXHAUST FAN |
|  | QUIET CLG. FAN W/ LIGHT* (OSC) |
|  | CABLE TV |
|  | SMOKE/CO DETECTION |
|  | SPEAKER |
|  | 2-HEAD FLOOD |
| † | HOSE BIB |



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PROJECT PHASE

PERMIT

PROJECT TITLE

THE
BUNDY POOL
HOUSE

14671 Viburnum Drive
Dayton, MD 21036

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 22-673
DATE 03/24/2022
SCALE AS NOTED

DRAWING TITLE

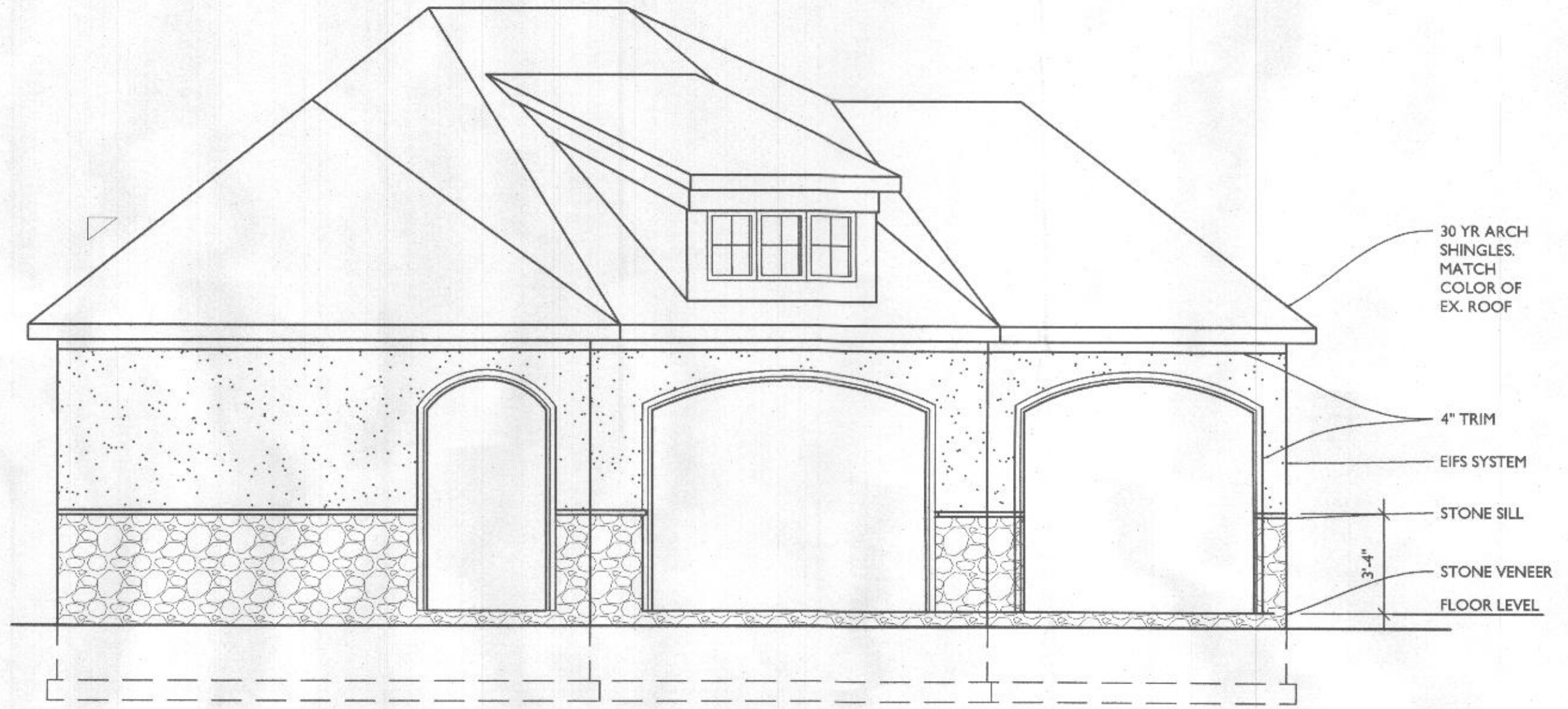
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-200



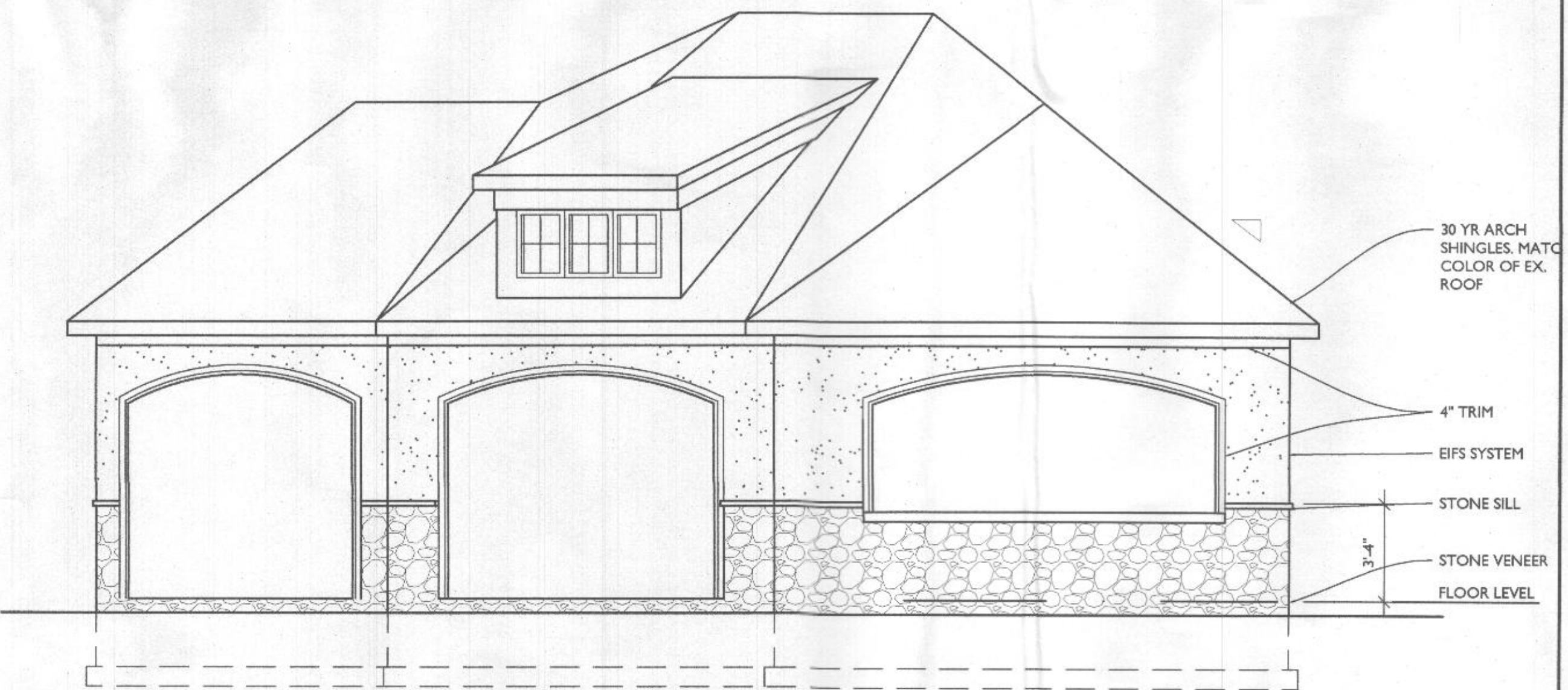
1
A101
POOL HOUSE DIAGONAL ELEVATION
SCALE: 1/4"=1'-0"



1
A101
POOL HOUSE FRONT ELEVATION
SCALE: 1/4"=1'-0"



1
A101
POOL HOUSE DIAGONAL ELEVATION
SCALE: 1/4"=1'-0"



1
A101
POOL HOUSE FRONT ELEVATION
SCALE: 1/4"=1'-0"