

NUMBER: B

22004265

DATE ACCEPTED:

RECEIVED

RESIDENTIAL BUILDING PERMIT APPLICATION 6 2022

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455
www.howardcountymd.gov

TE ADDRESS REQUIRED

228 WHITE PINE CT

Unit:

State: MD

Zip Code: 20759

e/Complex Name: FULTON HILL

SDP/WP/BA #:

Tax Map: 46

Parcel: 337

Grading Permit #: GP-23-028

N OF WORK REQUIRED

RESIDENTIAL

Proposed Use: RESIDENTIAL

Estimated Cost: \$ 195,000.00

Completed (Separate Permits Required): ☒ Mechanical (HVACR) ☒ Electrical ☒ Plumbing ☐ None

NEW 56'X70' 2 STORY SFD W/ PARTIALLY FINISHED BASEMENT, 24'X26' ATTACHED 2-CAR GARAGE,
20'X20' SCREENED DECK, 12'X12' COVERED PORCH, 15'X5' BREEZEWAY, 40'X38' DETACHED GARAGE

OWNER INFORMATION REQUIRED

(As it appears on tax records): CLAUDETTE JOAN BERNSTEIN

Primary Residence: ☒ Yes ☐ No

Address: 409 PLACID MEWS

BURG

State: MD

Zip Code: 20878

10-9868

Email: DIANE.JAMESPERMITS@GMAIL.COM

NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

SCHWALLENBERG'S PERMIT SVCS INC

Contact Name: JAMES SCHWALLENBERG

601 BISHOP RD

TER

State: MD

Zip Code: 21037

10-9868

Email: DIANE.JAMESPERMITS@GMAIL.COM

R INFORMATION REQUIRED

CAIRN CUSTUM HOMES

STEVE APPLER

License #: 7518

10548 GORMAN RD

State: MD

Zip Code: 20723

18-7382

Email: STEVE@CAIRNCUSTOMHOMES.COM

ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

ELIE BEN ARCHITECTURE

Name: MARYAM TABRIZCHI

1600 HUNTINGTON PKWY

DA

State: MD

Zip Code: 20814

10-7050

Email:

CHARACTERISTICS REQUIRED

Type: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*) Condo: ☐ Yes ☒ NoElectric: ☐ Gas Water Supply: ☐ Public ☒ Private (Well) Sewage Disposal: ☐ Public ☒ Private (Septic)☒ Electric ☐ Natural Gas ☐ Propane ☐ Other: Roadside Tree Project: ☒ No ☐ Yes: #Fire: ☒ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D ☐ None Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Options:

SF: 6 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):

Full Baths: 5

Half Baths: 0

Fireplaces: 1

Info: ☒ Attached Garage ☒ Detached Garage ☐ Integral Garage ☐ Carport ☐ NoneFoundation Info: ☐ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☒ Finished Basement: ☐ Full or ☒ Partial

1st Fl Depth: 57

2nd Fl Width: 66

2nd Fl Depth: 50

Bsmt Width: 71

Bsmt Depth: 57

☐ Prescriptive ☒ Performance ☐ UA Alternative ☐ ERI Gross Area: 10,031 sq ft Occupiable Area: 5,840 sq ft

/ DISCALIMER REQUIRED

HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY
WITH THE ORDINANCES OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN
THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

ORIGINAL SIGNATURE

DATE SIGNED

11/14/2022

USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

REQUIRED/APPROVALS:

☒ DPZ☐ DED☒ Health☐ SHA☒ CID

5:

PAYMENT:

ACCEPTED BY:

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12/06/2022

To: Hank Oswald/ Health Dept Health Department
(Reviewer/Requestor's Name) (Division)

From: Cairn Custom Homes, Jasmine Strain (301) 490-5317
(Your Name, Company Name) (Phone Number)

Subject: Project name Bernstein New SFD
Project site address 8228 White Pine Ct, Fulton, MD 20759
Permit # B22004265 SDP # _____
Other information pertinent to this project G22000215

☒ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☒ Copies of Basement floorplan w door modification (be specific). *3 sets*
- ☒ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request
- ☐ Two sets of single-family model plans to be placed on permanent file: Model Name/ # _____
- ☐ Other _____

Contact Person Information: (Required)

Jasmine Strain (301) 490-5317
Please Print Name Telephone No:
E-Mail Address: jasmine@cairncustomhomes.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

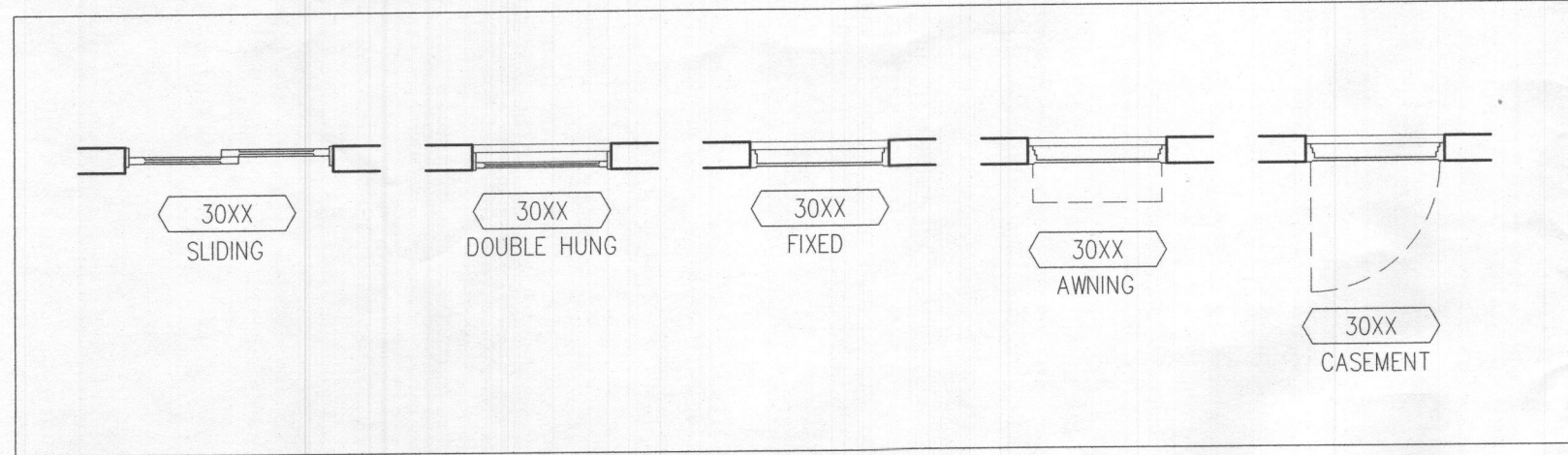
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DEC 07 2022

Plan Review / Yellow-Applicant / Pink-Permit Division
rations\Updated forms\HoCo TransmittalForm04.2020

**LICENSES & PERMITS
DIVISION**

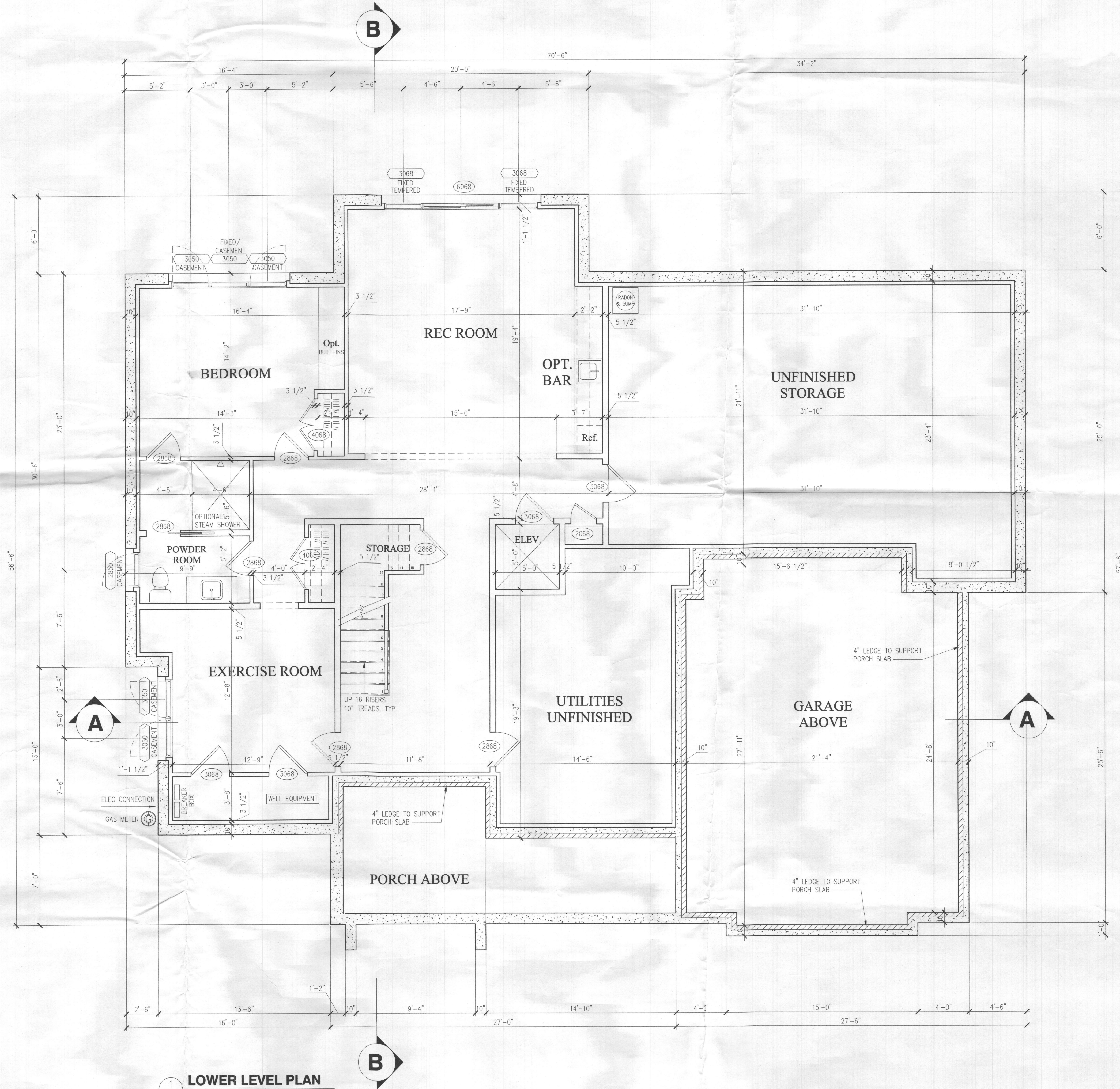


WINDOW GRAPHICS

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

DIMENSIONS ARE SHOWN AS ROUGH FRAMING (FRAME TO FRAME), AND THEY ARE TO THE CENTERLINE OF WINDOWS.



1 LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

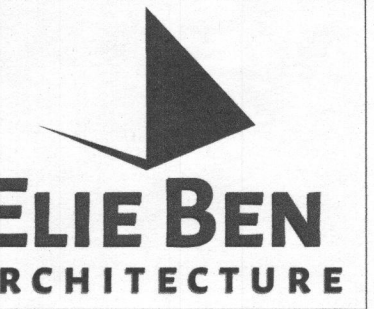
0 2' 4' 8'

Professional Certification:
I hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed Architect under the laws of state of Maryland, License Number 19936, Expiration Date 05/26/2023.



Digitally signed by
Maryam Tabrizchi
Date: 2022.11.04
13:30:50 -04'00'

ALL ARCHITECTURAL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, AND NOTES SHALL BE PREPARED BY THE ARCHITECT OR UNDER HIS/HER DIRECT SUPERVISION AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, COPIED OR ALTERED IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON AND IS NOT TO BE USED ON ANY OTHER PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL COMMON LAW AND STATUTORY OBLIGATIONS AND THE ARCHITECT'S WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

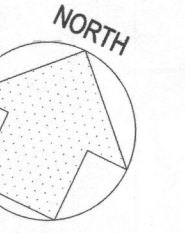


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(202) 860-7050



BERNSTEIN/JURNEY
CUSTOM HOME
LOT 3
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LOWER LEVEL PLAN

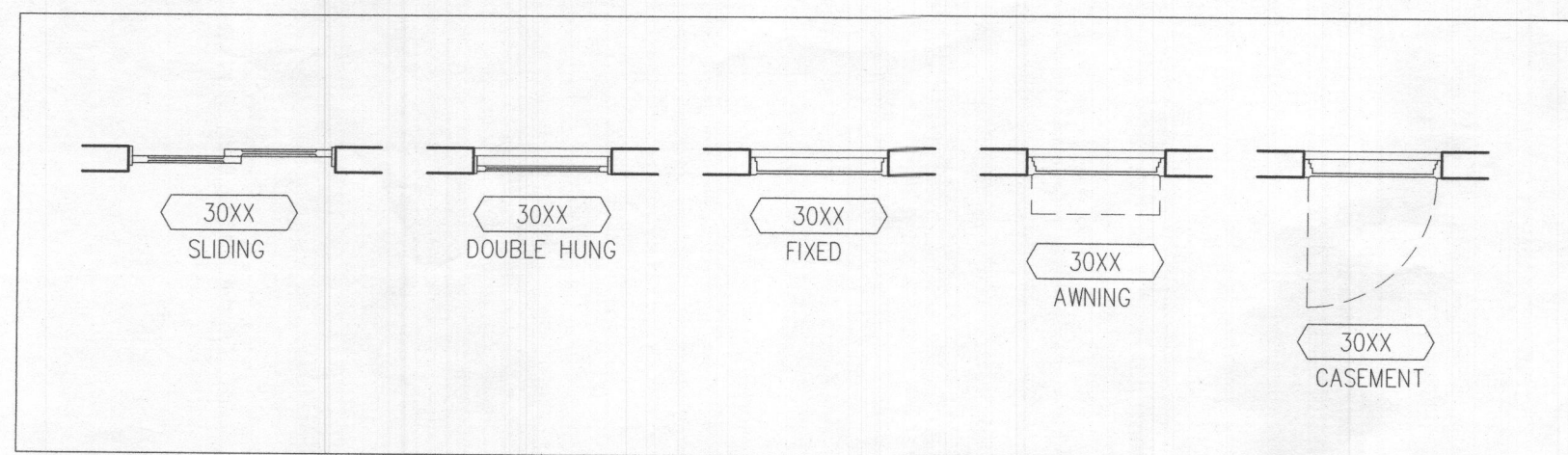


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DATE:
11/04/2022

REVISIONS

A001



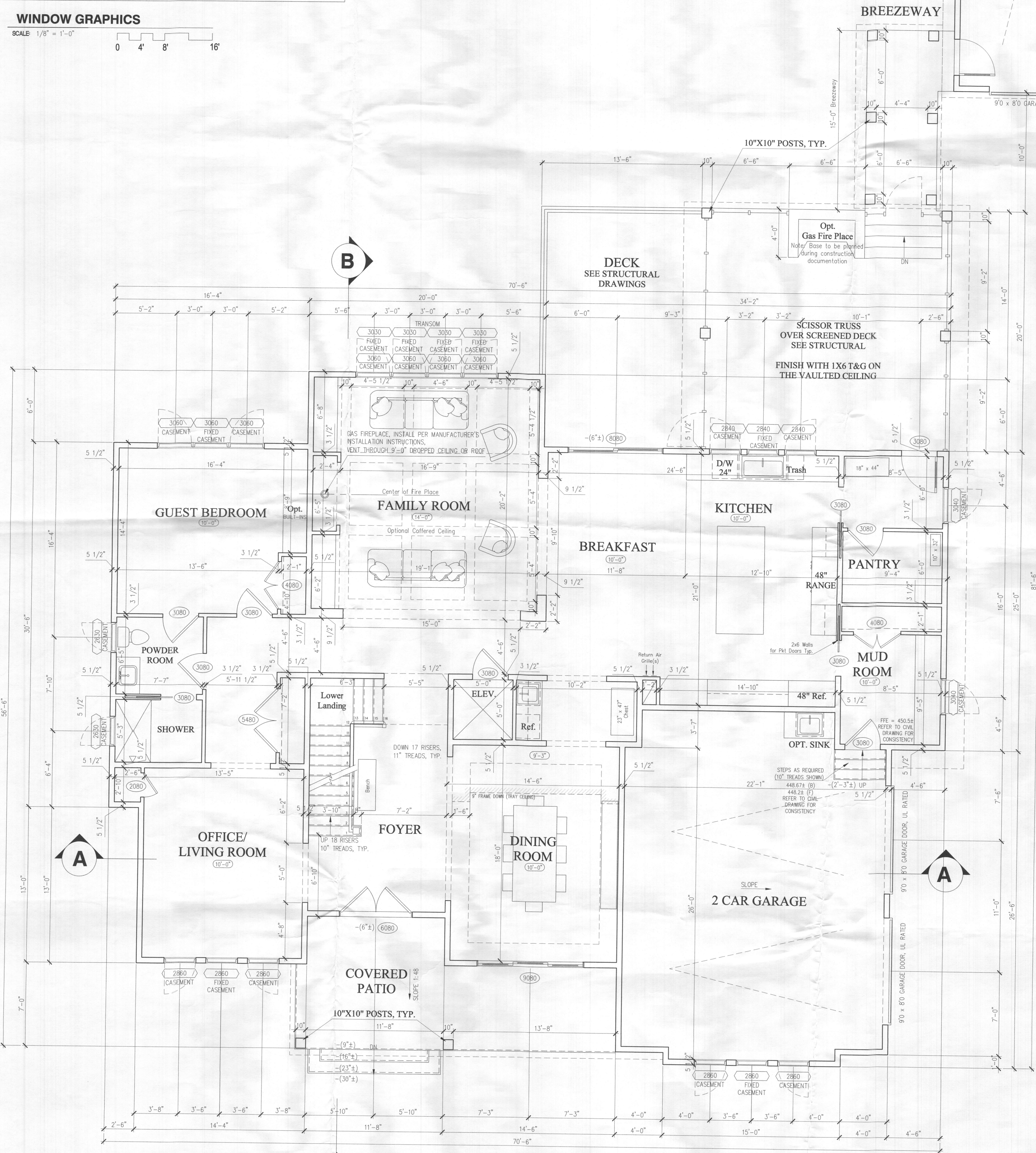
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0 4' 8' 16'

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Note: Please refer to page A003 to see the full layout of this detached garage.



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

0 2' 4' 8'

EXTERIOR DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	COUNT	NOTE
3080	GLASS DOOR	3'-0"	8'-0"	1	SCREENED DECK
3080	WOOD SWING DOOR	3'-0"	8'-0"	1	3 CARS GARAGE
6080	DOUBLE SWING DOOR	6'-0"	8'-0"	1	ENTRANCE DOOR
6080	SIDING GLASS DOOR	6'-0"	6'-8"	1	2 PANELS OPERABLE - REC ROOM
8080	MULTI-SLID GLASS DOOR-TEMPERED	8'-0"	8'-0"	1	2 PANELS OPERABLE - BREAKFAST ROOM
9080	MULTI-SLID GLASS DOOR-TEMPERED	9'-0"	8'-0"	1	3 PANELS OPERABLE - DINING ROOM
9080	GARAGE DOOR	9'-0"	8'-0"	5	CAR GARAGE

WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	COUNT	NOTE
2840	CASEMENT	2'-8"	4'-0"	4	KITCHEN/LAUNDRY
2840	FIXED CASEMENT	2'-8"	4'-0"	2	FOYER/KITCHEN
2850	CASEMENT	2'-8"	5'-0"	4	3 CARS GARAGE/ BASEMENT POWDER ROOM
2860	CASEMENT	2'-8"	6'-0"	4	2 CARS GARAGE/ OFFICE
2860	FIXED CASEMENT	2'-8"	6'-0"	2	2 CARS GARAGE/ OFFICE
2430	CASEMENT	2'-4"	3'-0"	5	PRIMARY BATHROOM/3 CARS GARAGE
2630	CASEMENT	2'-6"	3'-0"	3	1ST FL POWDER ROOM/ 2ND FL SHARED BATHROOM
2640	CASEMENT	2'-6"	4'-0"	3	PRIMARY BEDROOM/PRIMARY BATHROOM
2040	FIXED CASEMENT	2'-0"	4'-0"	2	FOYER
3050	CASEMENT	3'-0"	5'-0"	10	BASEMENT BEDROOM/BEDROOM 1&2&3
3050	FIXED CASEMENT	3'-0"	5'-0"	2	BASEMENT BEDROOM/BEDROOM 3
3060	CASEMENT	3'-0"	6'-0"	6	FAMILY ROOM/GUEST BEDROOM
3060	FIXED CASEMENT	3'-0"	6'-0"	1	GUEST BEDROOM
3030	FIXED CASEMENT	3'-0"	3'-0"	4	FAMILY ROOM
3040	CASEMENT	3'-0"	4'-0"	5	MUD ROOM/ACCESS TO THE KITCHEN/PRM BEDROOM/PRM WIC
3040	FIXED CASEMENT	3'-0"	4'-0"	1	PRIMARY BEDROOM
3068	FIXED-TEMPERED	3'-0"	6'-8"	2	REC ROOM

NOTE: REFER TO THE ELEVATIONS AND PLANS FOR DIRECTION OF OPERABLE WINDOWS

Professional Certification:
I hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed Architect under the laws of state of Maryland, License Number 19936, Expiration Date 05/26/2023.



Digitally signed by
Maryam Tabrizchi
Date: 2022.11.04
13:31:03 -04'00'

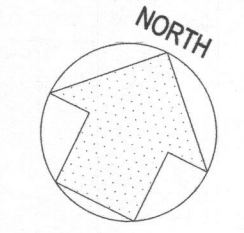
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ELIE BEN
ARCHITECTURE
5600 HUNTINGTON PKWY
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(202) 860-7050

CAIRN
custom homes

BERNSTEIN/JURNEY
CUSTOM HOME
LOT 3
8236 WHITE PINE COURT
FULTON, MD. 20759

FIRST FLOOR PLAN



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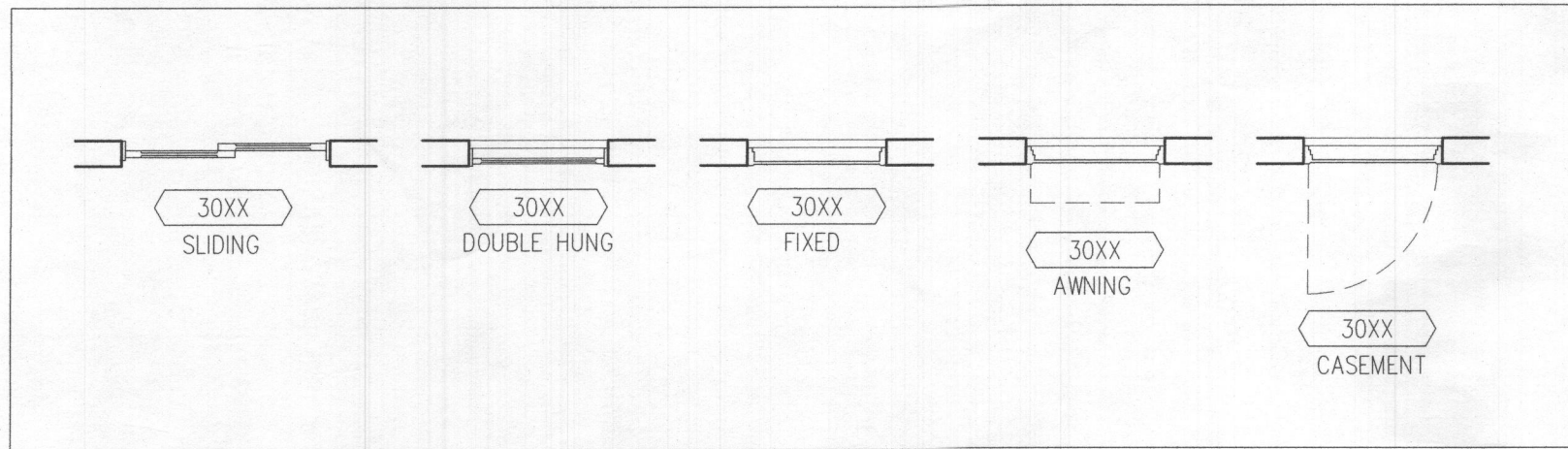
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DATE:

11/04/2022

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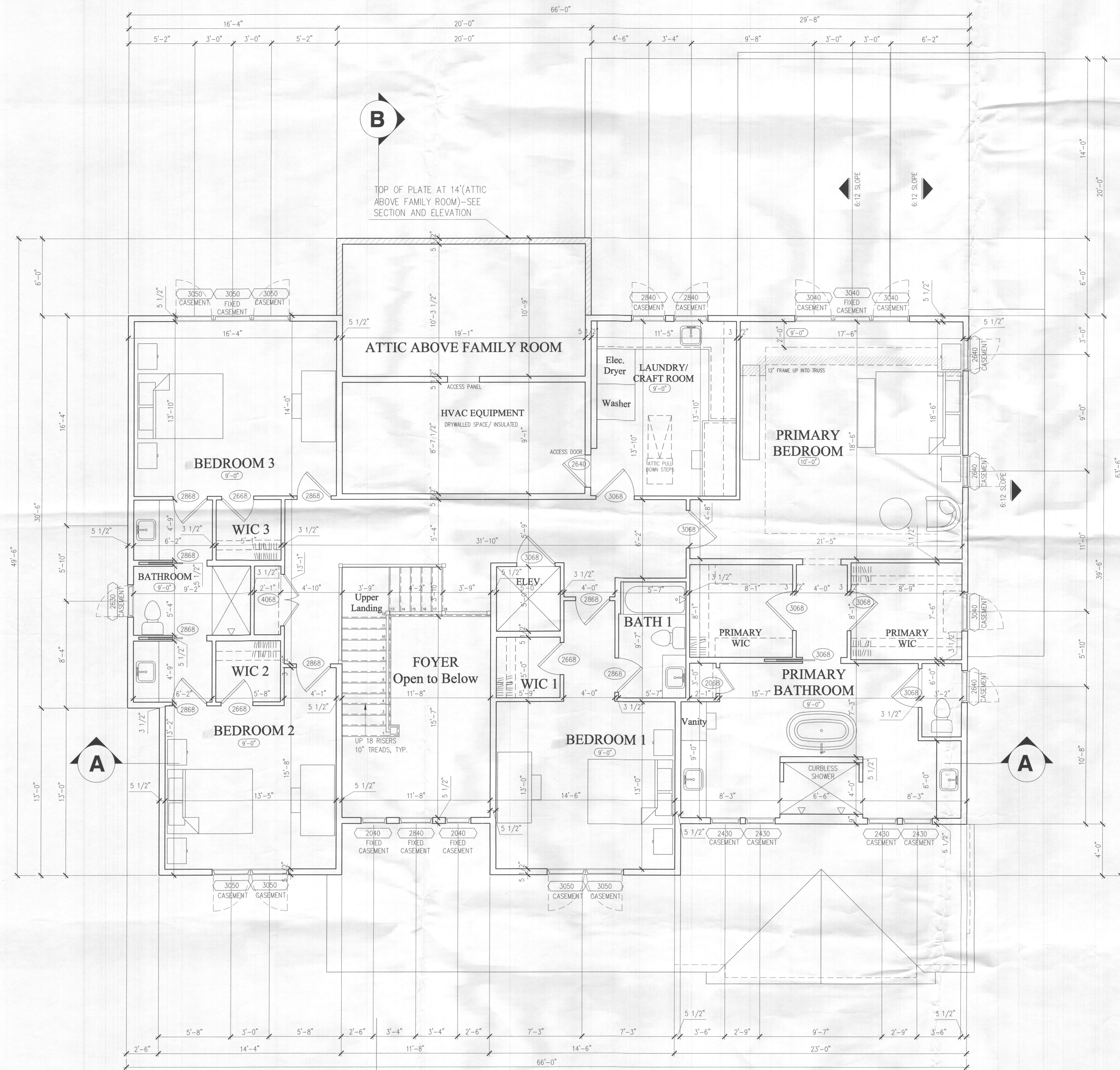
A002



DIMENSIONS ARE SHOWN AS ROUGH FRAMING (FRAME TO FRAME), AND THEY ARE TO THE CENTERLINE OF WINDOWS.

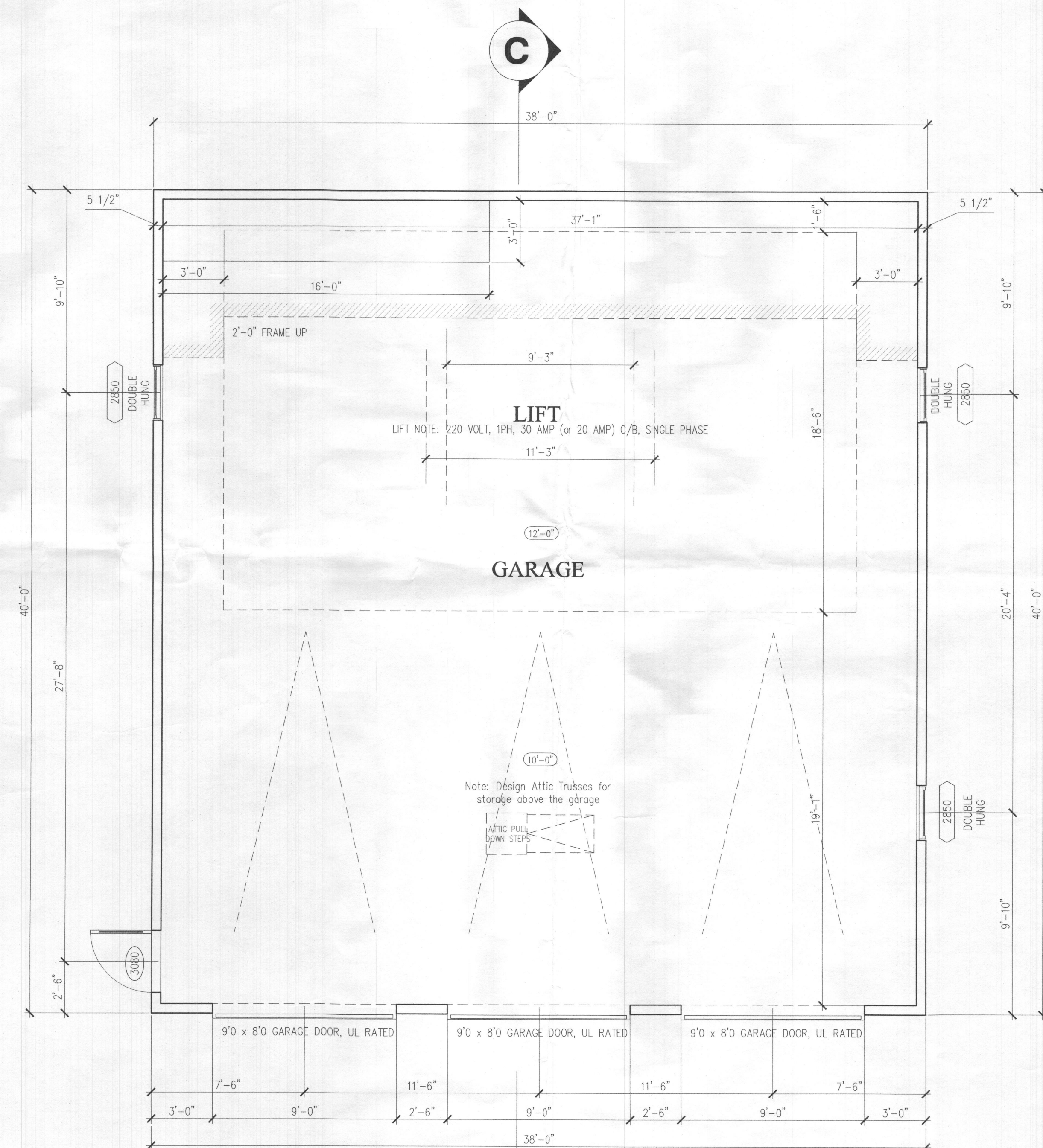
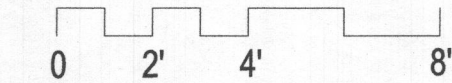
WINDOW GRAPHICS

SCALE: 1/8" = 1'-0"



1 SECOND FLOOR PLAN

A003 SCALE: 1/4" = 1'-0"



2 DETACHED GARAGE PLAN

A003 SCALE: 1/4" = 1'-0"

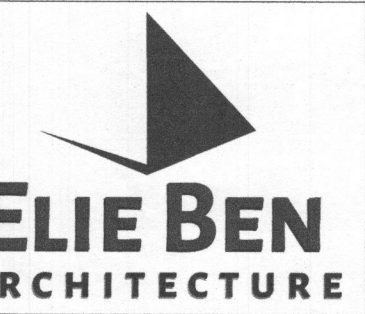


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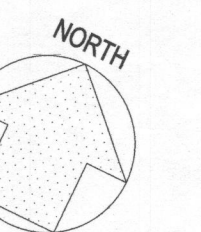


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FIRST FLOOR AND DETACHED GARAGE PLAN

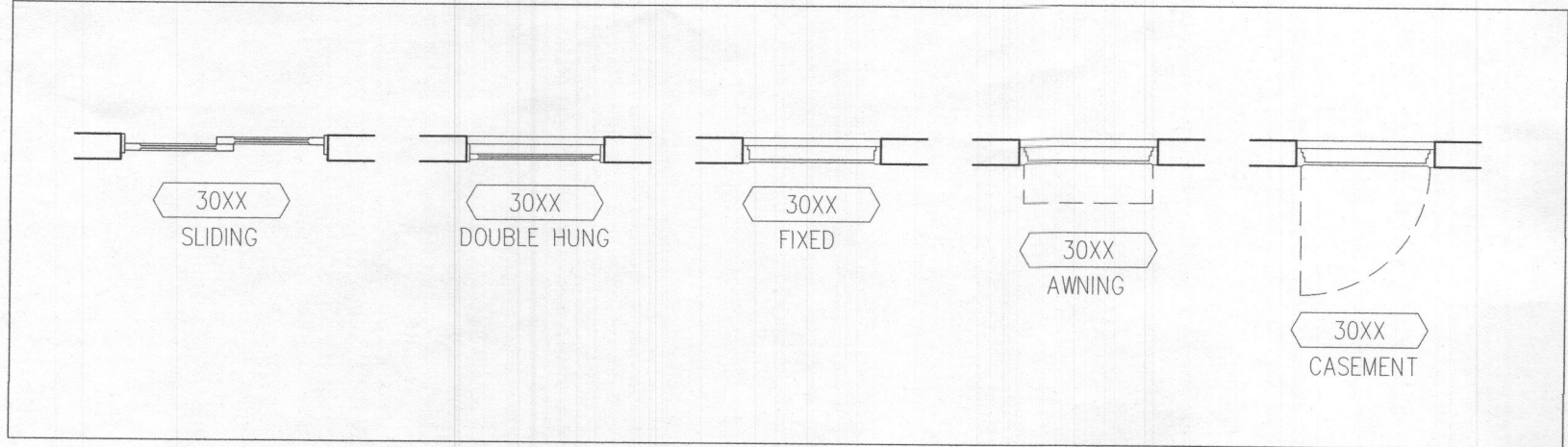


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11/04/2022

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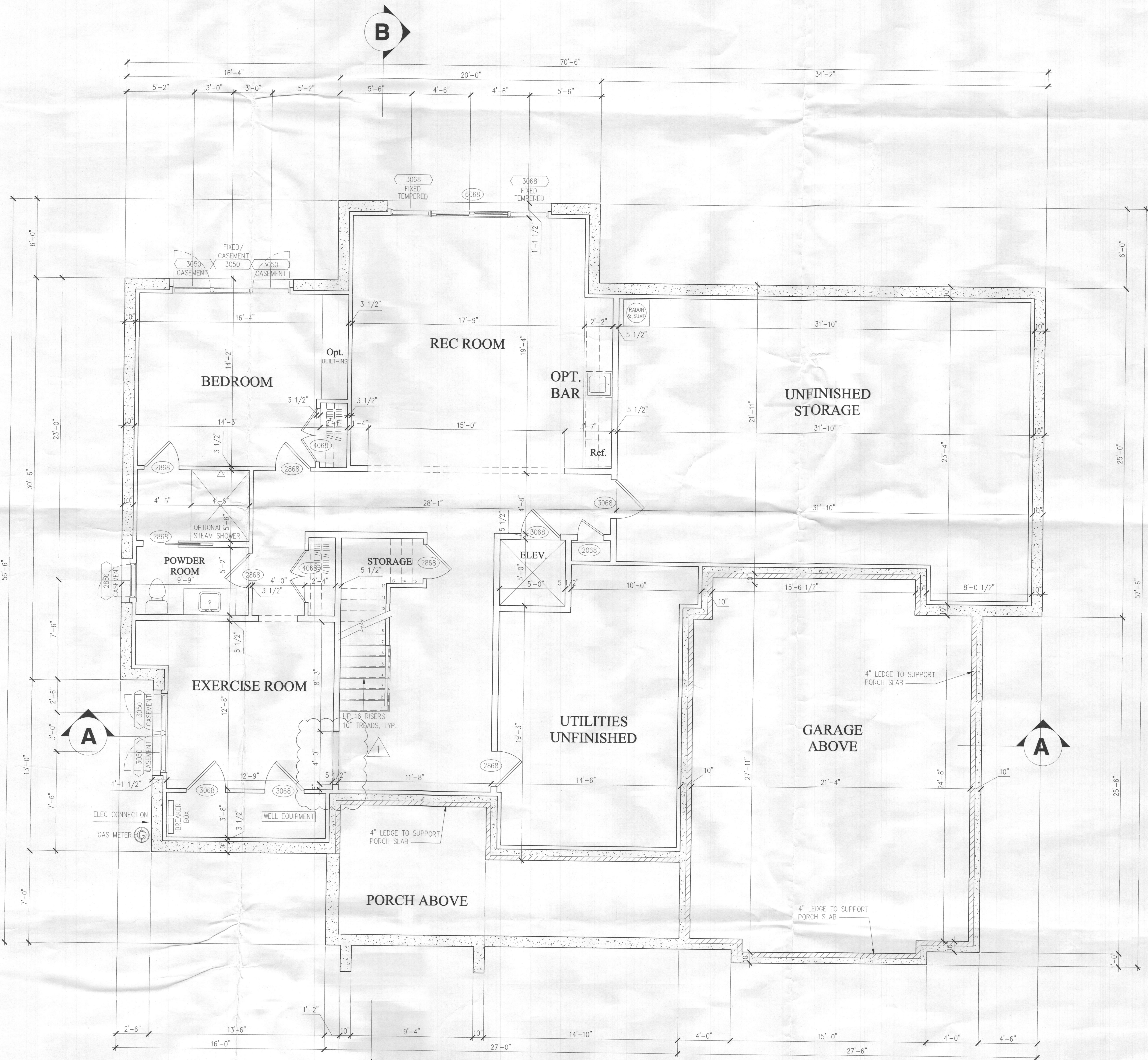
A003



WINDOW GRAPHICS

SCALE 1/8" = 1'-0"

DIMENSIONS ARE SHOWN AS ROUGH FRAMING (FRAME TO FRAME), AND THEY ARE TO THE CENTERLINE OF WINDOWS.



1 A001 LOWER LEVEL PLAN

SCALE 1/4" = 1'-0"

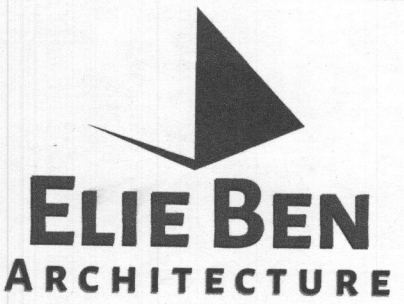
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REVISION

1 4' WIDE CASED OPENING REPLACED THE DOOR AT EXERCISE ROOM

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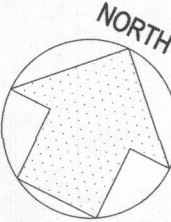
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CUSTOM HOME

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LOWER LEVEL PLAN



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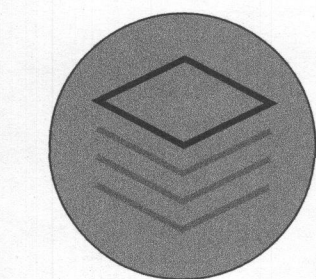
DATE:

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1 12/02/2022

A001



KNF ENGINEERING
STRUCTURAL CONSULTING
42350 EQUALITY ST.
SOUTH RIDING, VA
20152
703-946-3188
kyle@knfeng.com



SUBMITTALS & REVISIONS

11-3-22 PERMIT
12-2-22 REV 1

Professional Certification
I hereby certify that these documents
were prepared or approved by me,
and that I am a duly licensed
professional engineer under the laws
of the State of Maryland, License No.
12-20000000000000000000

PROJECT:
BERNSTEIN / JURNEY
8236 WHITE PINE COURT
FULTON, MD 20759

SHEET TITLE:
FOUNDATION PLAN

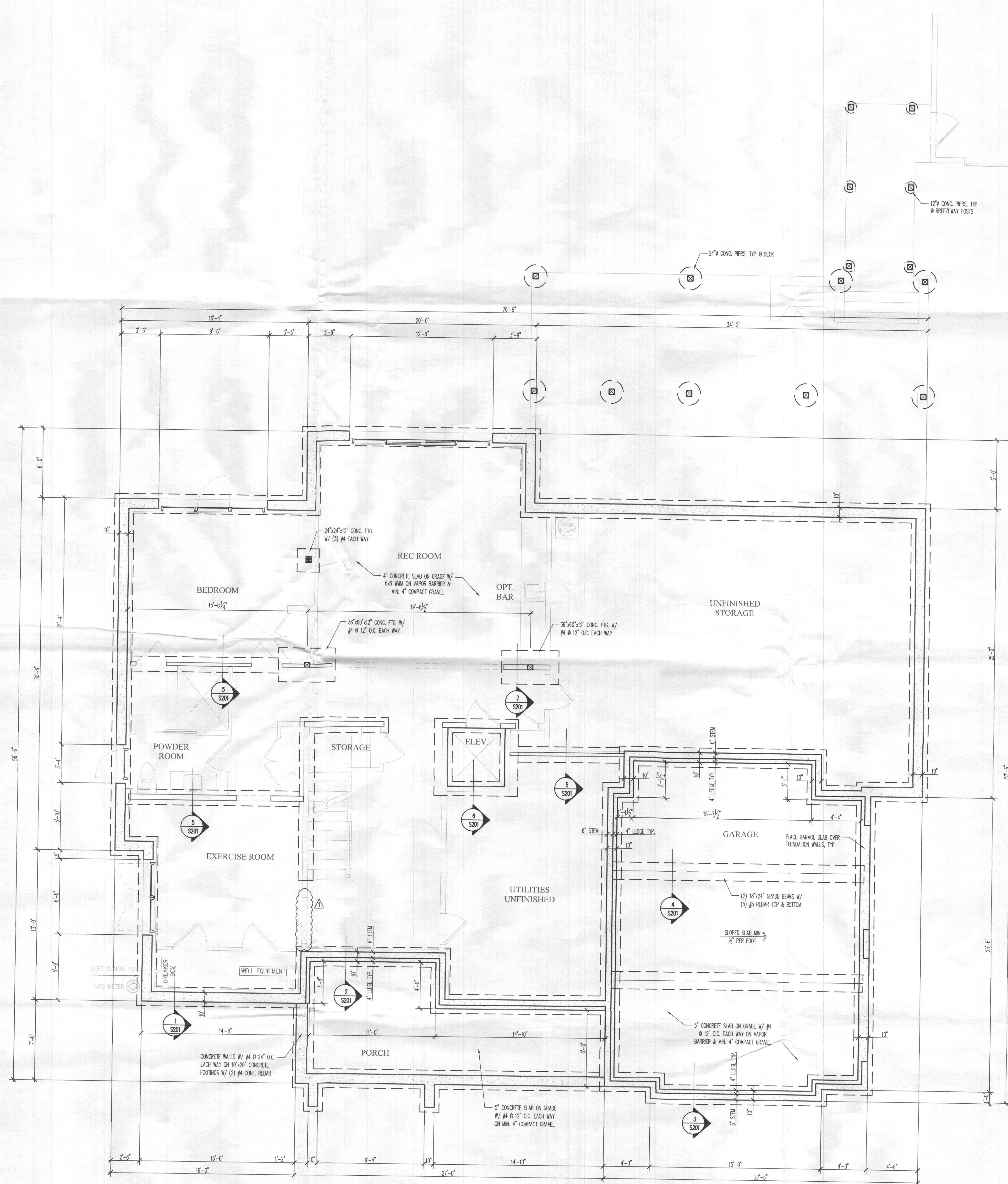
S101

REINFORCEMENT SCHEDULE FOR 8" CONCRETE BASEMENT WALLS			
WALL HEIGHT (ft.)	GRADE HEIGHT (ft.)	MINIMUM REINFORCING	
		#4	#5
8'	0 < 5'	24" O.C.	24" O.C.
	6'	17" O.C.	24" O.C.
	7'	16" O.C.	24" O.C.
	8'	12" O.C.	18" O.C.
9'	0 < 5'	24" O.C.	24" O.C.
	6'	16" O.C.	24" O.C.
	7'	15" O.C.	23" O.C.
	8'	10" O.C.	16" O.C.
10'	0 < 5'	24" O.C.	24" O.C.
	6'	16" O.C.	24" O.C.
	7'	13" O.C.	20" O.C.
	8'	10" O.C.	15" O.C.
10'	9'	7" O.C.	11" O.C.
	10'	6" O.C.	9" O.C.

NOTES:
1. WALLS ARE DESIGNED FOR 60-psf LATERAL EARTH PRESSURE.
2. VERTICAL REBAR IS ASSUMED TO BE PLACED AT THE MID-DEPTH OF THE WALL.
3. PROVIDE #4 @ 24" O.C. HORIZONTAL REBAR FOR ALL CONDITIONS.
4. MINIMUM $f_c = 2500$ -psi, $f_y = 60,000$ -psi.
5. WALLS RETAINING OVER 4-FT OF UNBALANCED BACKFILL SHALL BE LATERALLY SUPPORTED AT THE TOP & BOTTOM BEFORE BACKFILLING.

REINFORCEMENT SCHEDULE FOR 10" CONCRETE BASEMENT WALLS			
WALL HEIGHT (ft.)	GRADE HEIGHT (ft.)	MINIMUM REINFORCING	
		#4	#5
8'	0 < 7'	24" O.C.	24" O.C.
	8'	13" O.C.	20" O.C.
9'	0 < 6'	24" O.C.	24" O.C.
	7'	14" O.C.	22" O.C.
	8'	13" O.C.	20" O.C.
	9'	11" O.C.	18" O.C.
10'	0 < 6'	24" O.C.	24" O.C.
	7'	13" O.C.	20" O.C.
	8'	13" O.C.	20" O.C.
	9'	10" O.C.	16" O.C.
10'	10'	8" O.C.	12" O.C.

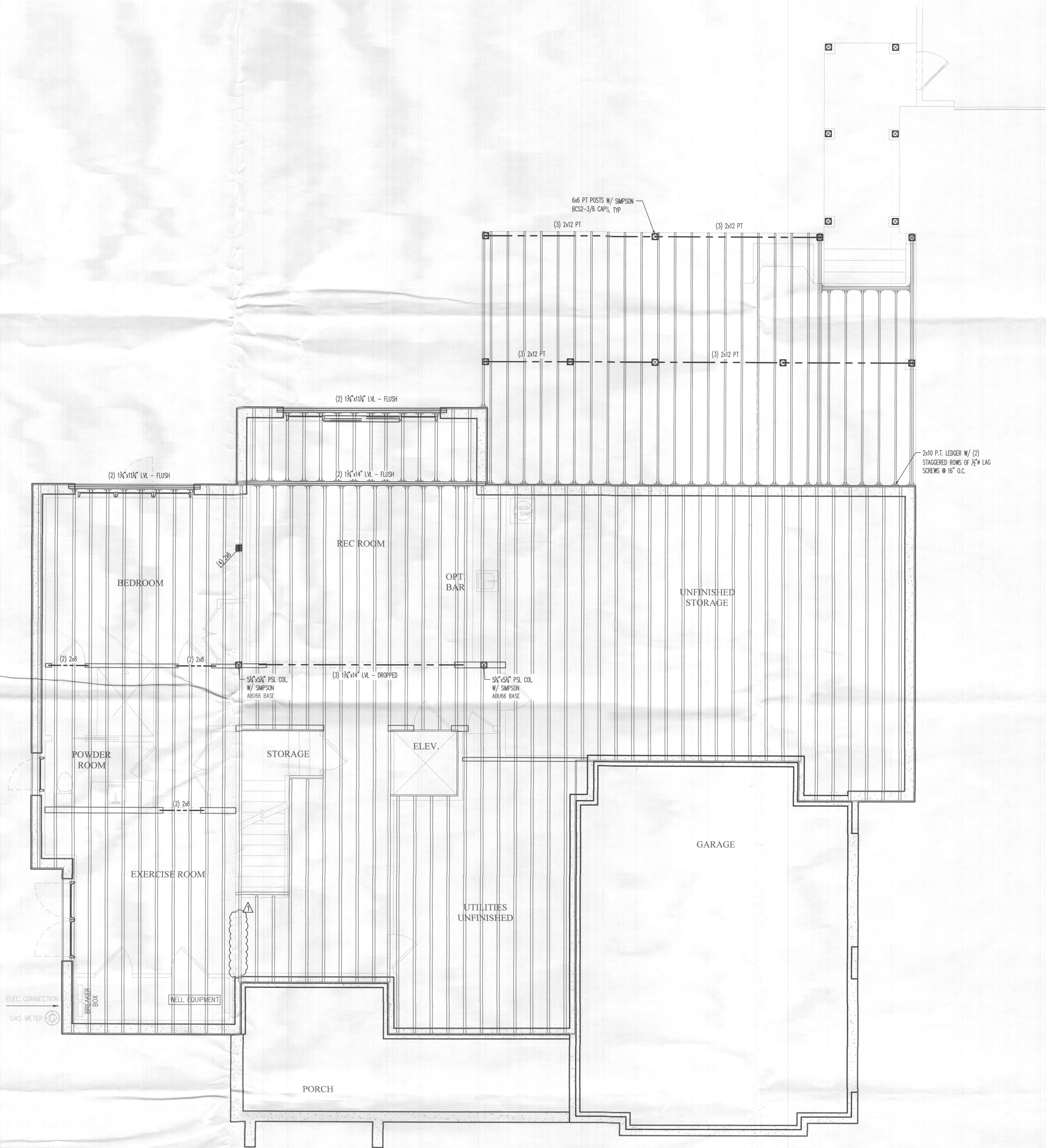
NOTES:
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2. VERTICAL REBAR IS ASSUMED TO BE PLACED AT THE MID-DEPTH OF THE WALL.
3. PROVIDE #4 @ 24" O.C. HORIZONTAL REBAR FOR ALL CONDITIONS.
4. MINIMUM $f_c = 2500$ -psi, $f_y = 60,000$ -psi.
5. WALLS RETAINING OVER 4-FT OF UNBALANCED BACKFILL SHALL BE LATERALLY SUPPORTED AT THE TOP & BOTTOM BEFORE BACKFILLING.



- PLAN NOTES:
1. FOUNDATION WALLS TO BE CAST-IN-PLACE CONCRETE PER PLAN REINFORCED PER SCHEDULE.
2. COORDINATE SLAB LEIGES W/ ARCH. & CIVIL PLANS.
3. FOUNDATION WALLS TO BEAR ON MIN. 10"x10" CONTINUOUS CONCRETE FOOTINGS W/ (2) #4 CONT. REBAR.

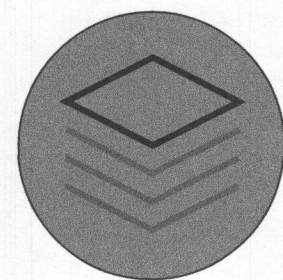
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



- PLAN NOTES:
- 1ST FLOOR FRAMING TO BE 14" I-JOISTS (Least 360 SERIES MIN) SPACED @ 16" O.C., UNL.O., LAYOUT SHOWN IS FOR DESIGN PURPOSES ONLY, FINAL LAYOUT & DESIGN SHALL BE PROVIDED BY JOIST SUPPLIER.
 - ALL HEADERS ARE INDICATED AS MIN. ACCEPTABLE AND SHALL BE SUPPORTED W/ 2x4 + 1x STUD, UNL.O.
 - BLOCK ALL POSTS FROM ABOVE DOWN TO SOLID FOUNDATION
 - "2x10+LVL" INDICATES CONTINUOUS 2x10 JOISTS & SINGLE PLY LVL MEMBER THE SAME DEPTH AS THE FLOOR SYSTEM, FASTEN TOGETHER W/ (2) ROWS OF 10d NAILS @ 6" O.C.

1ST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



KNF ENGINEERING
STRUCTURAL CONSULTING
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kyle@knfeng.com



SUBMITTALS / REVISIONS	
11-3-22	PERMIT
12-2-22	REV 1

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 21095, Expiration Date 11/21/24

PROJECT:
BERNSTEIN / JURNEY
8236 WHITE PINE COURT
FULTON, MD 20759

SHEET TITLE:
1st FLOOR FRAMING PLAN