

RF

2 - 1, 2

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 2/7/2022

To: Andrew Arnold DDLP 2022 FEB 7 PM 1:17
(Person's Name and Division)

From: PERWAZ AULAKH / Aman Investment LLC (301) 332-2800
(Your Name, Company Name and Telephone Number)

Subject: Project name _____
Project site address 10140 WASHINGTON BLVD LAUREL MD 20
Permit # B 20064271 SDP # _____
Other information pertinent to this project _____

☒ Please check the attachments below that you are submitting with this transmittal:

- ☒ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☒ Copies of 3 (be specific).
- ☐ Health Department Request ☐ DPZ/ DED Request ☐ Applicant's Request
- ☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- ☐ Other _____

Contact Person Information: (Required)

PERWAZ AULAKH
Please Print Name

Telephone No: 301-332-2800

E-Mail Address: PERWAZAULAKH@Gmail

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by JAH

White-Plan Review / Yellow-Applicant / Pink-Permit Division
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

CC: Health
Dept.

\$ 200.00
Rev. # 2
Inv. # 692368
Due

Feb, 7, 2022

Howard County
Permit Office
To whom it May Concern:

Building Permit
B20004271

Please Find in this Letter & Plans (REVISIONS)
Plans Revisions are ~~enlight~~ highlighted and/or
clouded. Lastly Last Page is site plan
Showing New Condensing Unit.

Thank

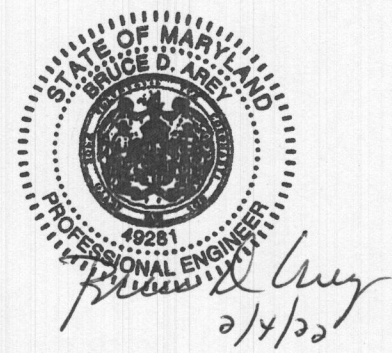
PERWAZ AULAKH
301-332-2800

PERWAZ AULAKH @ Yahoo. com

COPY FOR HEALTH DEPT
3RD

EXISTING TWO STORY HOUSE REFURBISHING

10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723

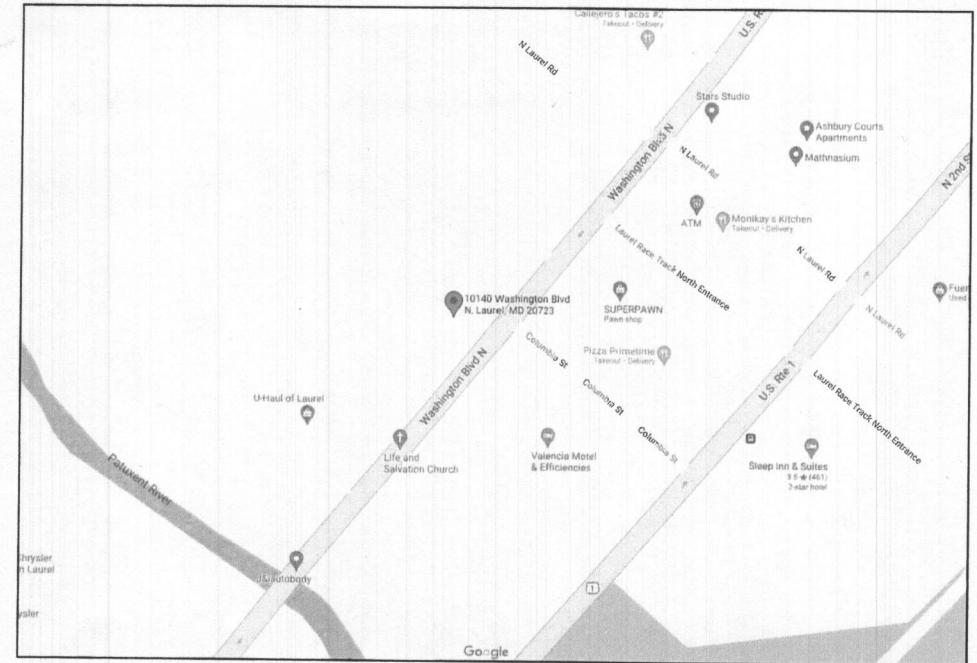


SHEET LIST:

- C001 COVER SHEET
- A001 EXISTING BASEMENT PLAN
- A002 EXISTING FIRST FLOOR PLAN
- A003 PROPOSED FIRST FLOOR PLAN
- A004 EXISTING SECOND FLOOR PLAN
- A005 PROPOSED SECOND FLOOR PLAN
- A006 FRONT PORCH
- A007 FRONT ELEVATION
- A008 RIGHT SIDE ELEVATION
- A009 REAR ELEVATION
- A010 LEFT SIDE ELEVATION
- A011 EXISTING ROOF PLAN
- S001 EXISTING BASEMENT PLAN (STRUCTURAL)
- S006 FRONT PORCH (STRUCTURAL)
- S010 LEFT SIDE ELEVATION (STRUCTURAL)
- S0010 site plan

SCOPE OF WORK:

INTERIOR WORK REFURBISHING WALLS, FIXTURES AND UTILITIES WITH NEW PLUMBING, ELECTRICAL AND MECHANICAL TO REPLACE EXISTING. NEW FRONT PORCH TO REPLACE EXISTING, ROOFS FOR THE FRONT AND BACK AS WELL AS NEW ROOF SHINGLES AND PLYWOOD FOR MAIN ROOF. EXISTING SIDING TO BE REPLACED. ALL DAMAGE TO BE REPAIRED THROUGHOUT. NO ADDITIONAL SQUARE FOOTAGE TO BE ADDED TO THE EXISTING FOOTPRINT. BUILDING CODE USED: IBC 2018 TOTAL AREA OF WORK: 1,460 SQ FT



LOCATION MAP
NOT TO SCALE



AERIAL MAP
NOT TO SCALE



CONTRACTOR
PERWAZ AULAKH
13805 VANDERBILT WAY, LAUREL MD 20707
301-332-2800

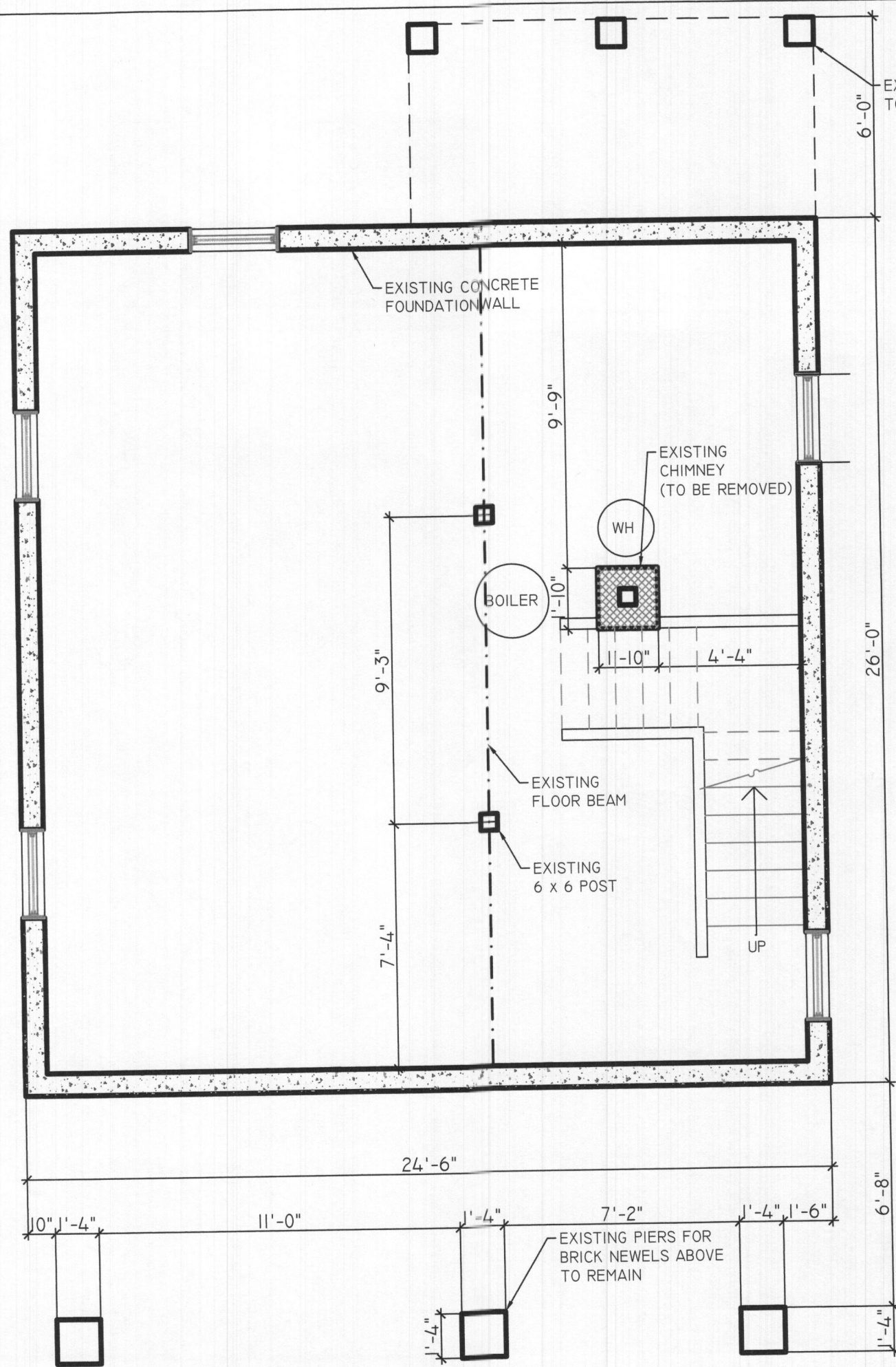
PROJECT:
TWO STORY HOUSE REFURBISHING
10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723

SHEET TITLE:
COVER SHEET

SCALE AS NOTED
DATE 06/30/21
MODIFIED

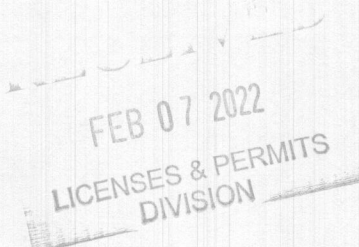
DRAWN BY
HAYTHAM YOUNIS
18228 FIFESHIRE DRIVE
MONTGOMERY VILLAGE, MD 20886
Tel. (240) 899 - 2165

SHEET NO.
C001



EXISTING CONC PIERS
TO BE REPLACED WITH NEW

EXISTING BASEMENT WALLS
TO BE DEMOLISHED
EXISTING INTERIOR WALLS



EXISTING BASEMENT PLAN
(REMAINS UNCHANGED)
SCALE: 1/4" = 1'-0"

CONTRACTOR
PERWAZ AULAKH
13805 VANDERBILT WAY, LAUREL MD 20707
301-332-2800

PROJECT:
TWO STORY HOUSE REFURBISHING

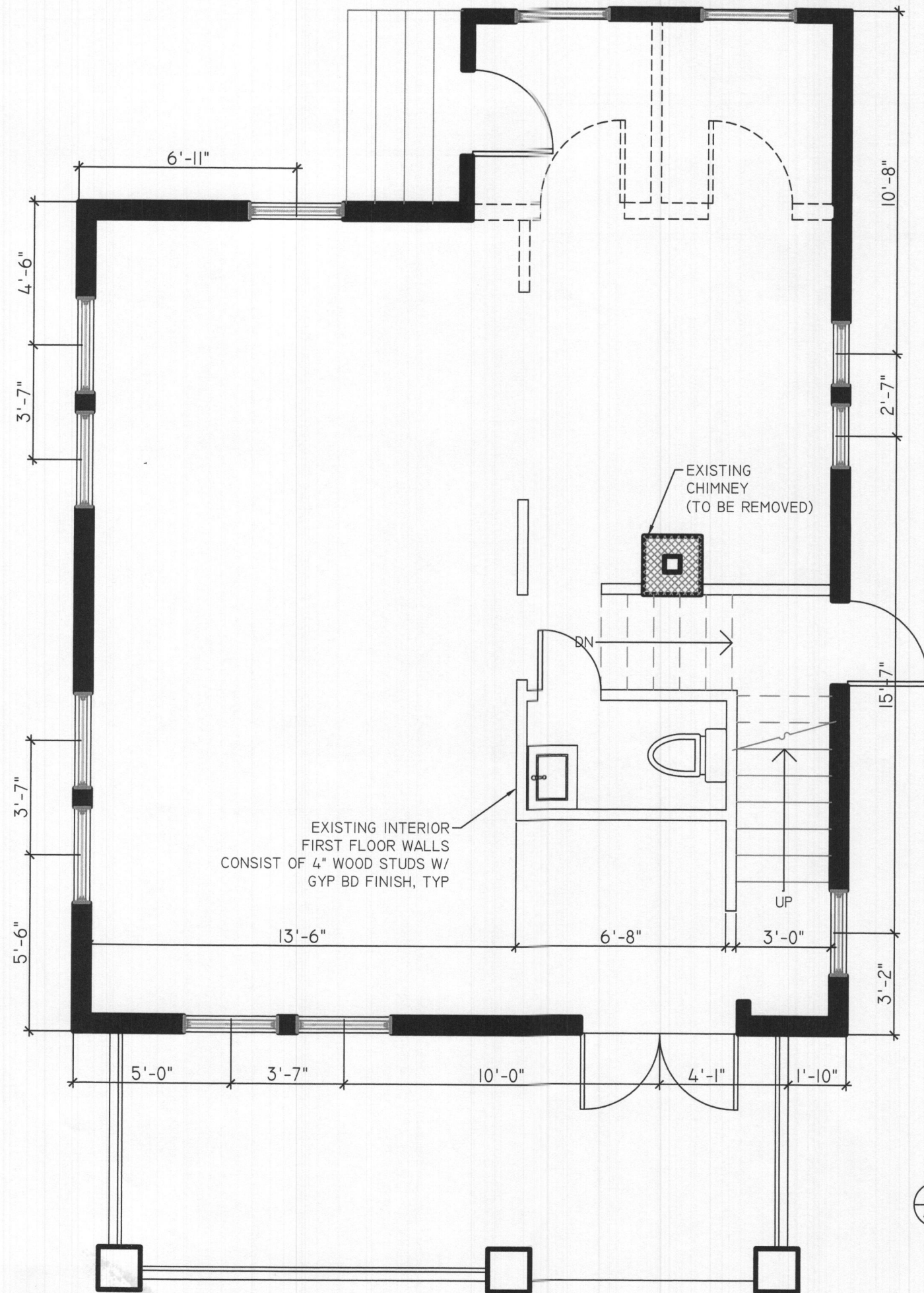
10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723

SHEET TITLE:
EXISTING BASEMENT PLAN

SCALE AS NOTED	DATE 06/30/21
	MODIFIED

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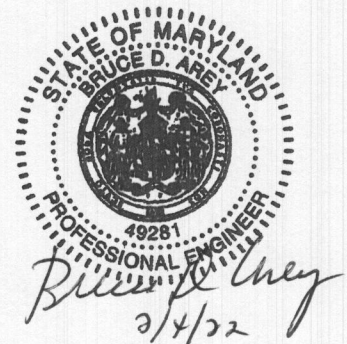
SHEET NO.
A001



EXISTING EXTERIOR WALLS

TO BE DEMOLISHED

EXISTING INTERIOR WALLS



RECEIVED
FEB 07 2022
LICENSES & PERMITS
DIVISION

1 EXISTING FIRST FLOOR PLAN
A002 SCALE: 1/4" = 1'-0"

CONTRACTOR
PERWAZ AULAKH
13805 VANDERBILT WAY, LAUREL MD 20707
301-332-2800

PROJECT:
TWO STORY HOUSE REFURBISHING
10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723

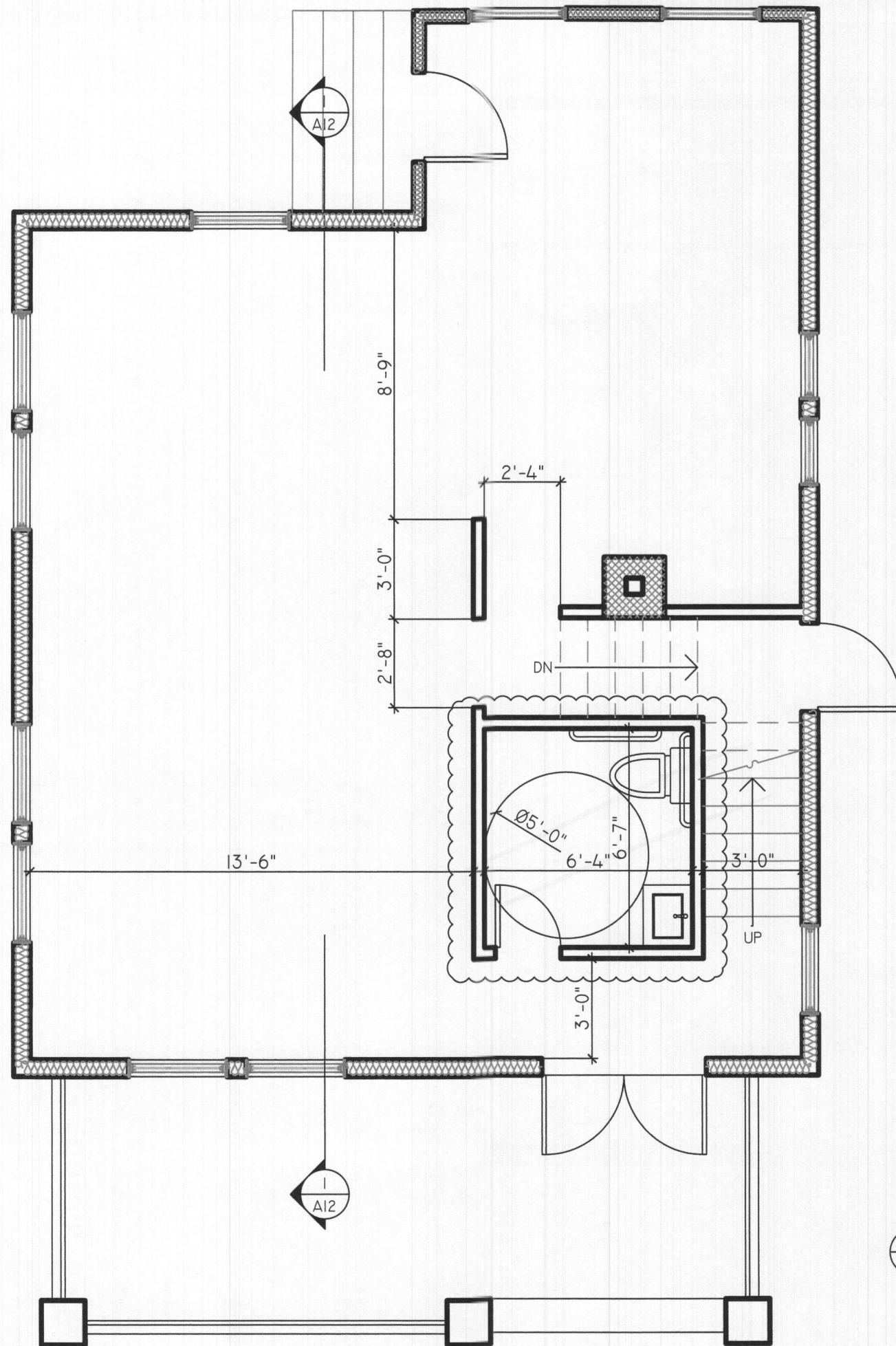
SHEET TITLE:
EXISTING FIRST FLOOR PLAN

SCALE
AS NOTED

DATE
06/30/21
MODIFIED

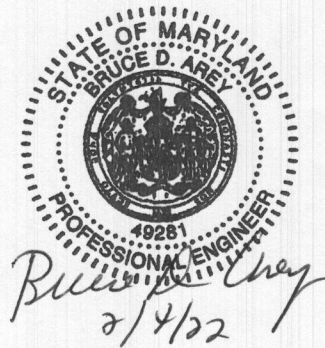
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HAYTHAM YOUNIS
18228 FIFESHIRE DRIVE
MONTGOMERY VILLAGE, MD 20886
Tel. (240) 899 - 2165

SHEET NO.
A002



■ EXISTING EXTERIOR WALLS
 [---] TO BE DEMOLISHED
 □ EXISTING INTERIOR WALLS
 ■ NEW GYP BD. ON EXTG 4" STUD WALLS W/ R-13 BATT INSULATION AND 1" CONTINUOUS R-3.6 CI TYPICAL AT EXTERIOR WALLS (SEE DETAIL BELOW)

REVISION II / 22 / 2021
 R-13 INSULATION BETWEEN EXTG STUDS
 1" CONTINUOUS R-3.8 CI ALONG FACE OF EXTG STUDS



RECEIVED
 FEB 07 2022
 LICENSES & PERMITS
 DIVISION

1 PROPOSED FIRST FLOOR PLAN
 A003 SCALE: 1/4" = 1'-0"

CONTRACTOR
 PERVAZ AULAKH
 13805 VANDERBILT WAY, LAUREL MD 20707
 301-332-2800

PROJECT:
 TWO STORY HOUSE REFURBISHING

10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723

SHEET TITLE:
 PROPOSED FIRST FLOOR PLAN

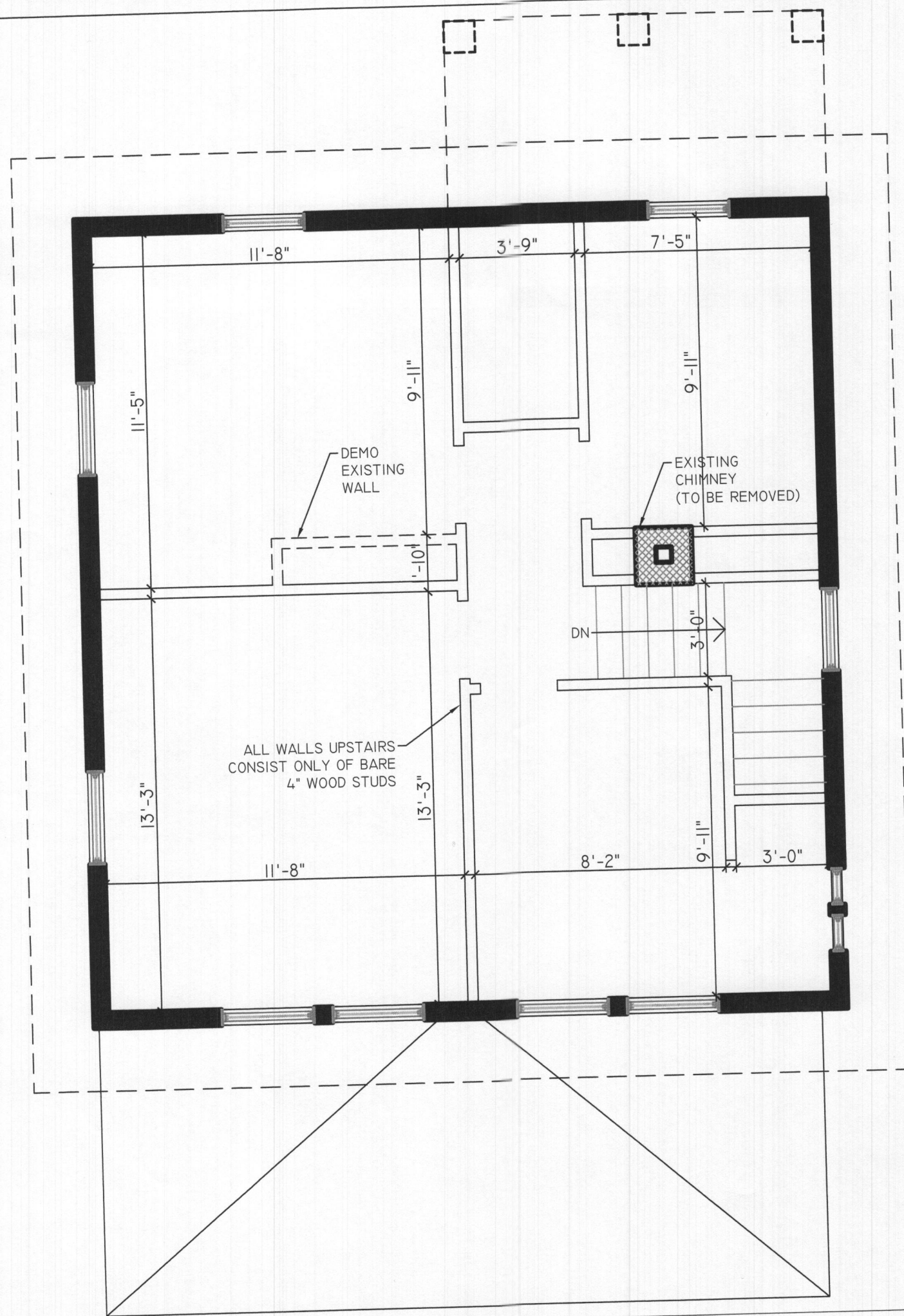
SCALE
 AS NOTED

DATE
 06/30/21
 MODIFIED

DRAWN BY
 HAYTHAM YOUNIS
 18228 FIFESHIRE DRIVE
 MONTGOMERY VILLAGE, MD 20886
 Tel. (240) 899 - 2165

SHEET NO.

A003



EXISTING EXTERIOR WALLS
 TO BE DEMOLISHED
 EXISTING INTERIOR WALLS

STATE OF MARYLAND
 BRUCE D. AREY
 49281
 PROFESSIONAL ENGINEER
Bruce D. Arey
 2/4/22

RECEIVED
 FEB 07 2022
 LICENSES & PERMITS
 DIVISION

1 EXISTING SECOND FLOOR PLAN
 A004 SCALE: 1/4" = 1'-0"

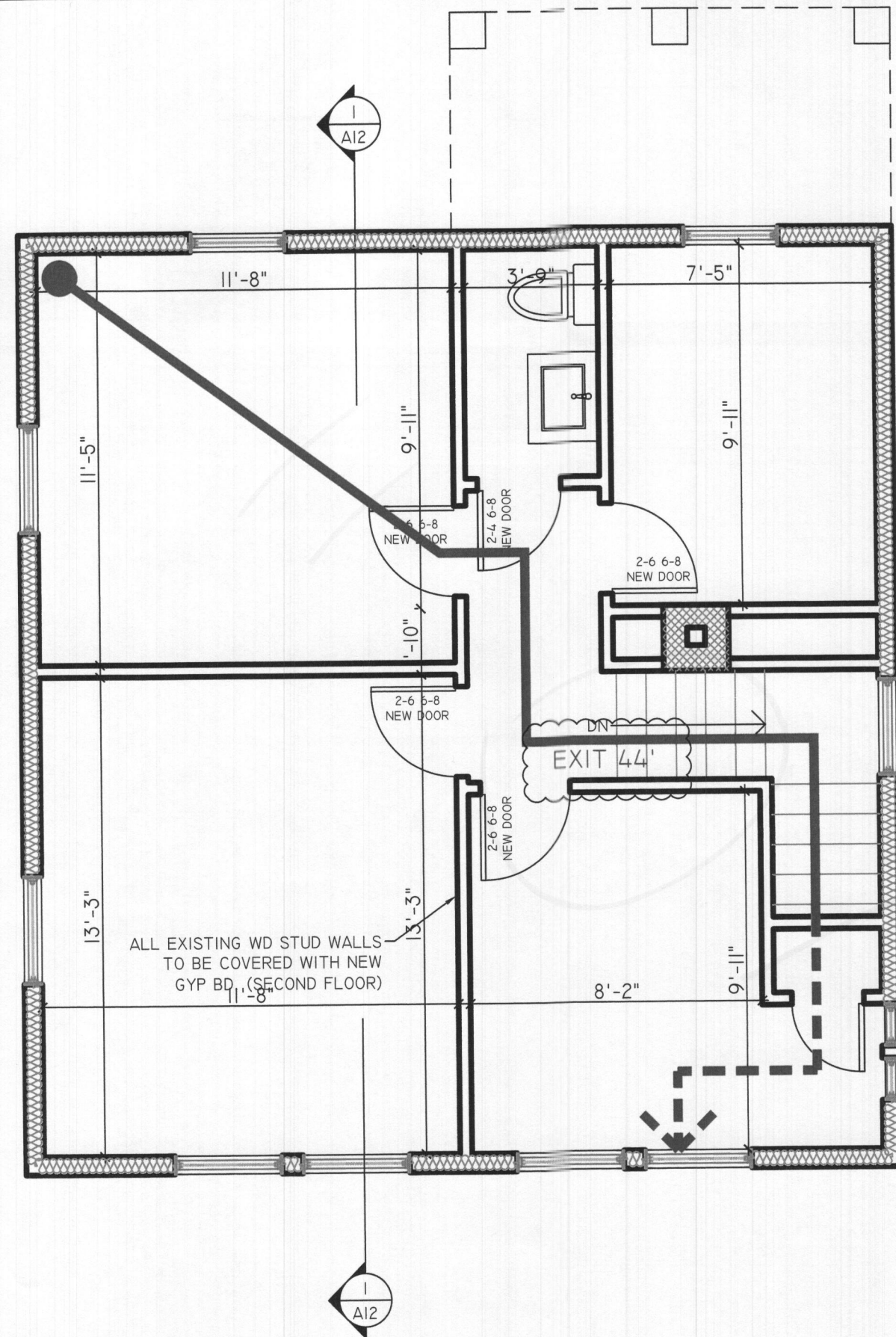
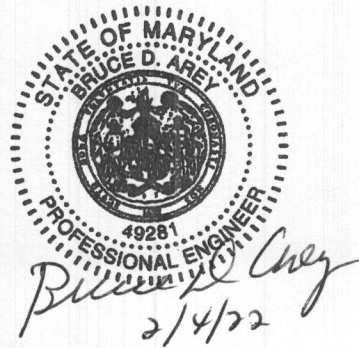
CONTRACTOR
 PERWAZ AULAKH
 13805 VANDERBILT WAY, LAUREL MD 20707
 301-332-2800

PROJECT:
 TWO STORY HOUSE REFURBISHING
 10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723
SHEET TITLE:
 EXISTING SECOND FLOOR PLAN

SCALE AS NOTED	DATE 06/30/21
	MODIFIED

DRAWN BY
 HAYTHAM YOUNIS
 18228 FIFESHIRE DRIVE
 MONTGOMERY VILLAGE, MD 20886
 Tel. (240) 899 - 2165

SHEET NO.
A004



EXISTING EXTERIOR WALLS

[---] TO BE DEMOLISHED

EXISTING INTERIOR WALLS

NEW GYP BD. ON EXTG 4" STUD WALLS W/ R-13 BATT INSULATION AND 1" CONTINUOUS R-3.6 CI TYPICAL AT EXTERIOR WALLS (SEE DETAIL BELOW)

REVISION II / 22 / 2021

R-13 INSULATION BETWEEN EXTG STUDS

1" CONTINUOUS R-3.8 CI ALONG FACE OF EXTG STUDS

RECEIVED
FEB 07 2022
LICENSES & PERMITS
DIVISION

NOTE:
ALL DOORS ON SECOND FLOOR TO BE MASONITE (tm) HOLLOW CORE INTERIOR DOORS - 6 PANEL TEXTURED
ALL DOOR HARDWARE ON SECOND FLOOR TO BE KWIKSET KEYED ENTRY AND BED AND BATH TYPE (SEE IMAGES BELOW)



1 PROPOSED SECOND FLOOR PLAN
A005 SCALE: 1/4" = 1'-0"

CONTRACTOR
PERWAZ AULAKH
13805 VANDERBILT WAY, LAUREL MD 20707
301-332-2800

PROJECT:
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10140 WASHINGTON BLVD NORTH, LAUREL, MD 20723

SHEET TITLE:
PROPOSED SECOND FLOOR PLAN

SCALE
AS NOTED

DATE
06/30/21
MODIFIED

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SHEET NO.

A005