

LAYOUT 7/18/07 INSP 4 \_\_\_\_\_  
INSP 2 7/23/07 INSP 5 \_\_\_\_\_  
INSP 3 10/4/07 INSP 6 \_\_\_\_\_

ISSUE DATE: 07/08/2007

P 527256

APPROVAL DATE: 10/9/07

**PERMIT**  
*Logged Into Permit Manager*  
TAX ID # 05-441714

A 515042-KK

**ON-SITE SEWAGE DISPOSAL SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
BUREAU OF ENVIRONMENTAL HEALTH**

Fogles Septic Clean IS PERMITTED TO INSTALL  ALTER

ADDRESS: 580 Obrecht Road PHONE NUMBER: 410-795-5670

SUBDIVISION: Benedict Farm - Homewood Crossing LOT NUMBER: 39

ADDRESS: 4920 Valley View Overlook PROPERTY OWNER: Toll MD III, LP

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): N/A COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: 50 (AL=1.2)

LINEAR FEET OF TRENCH REQUIRED: 200

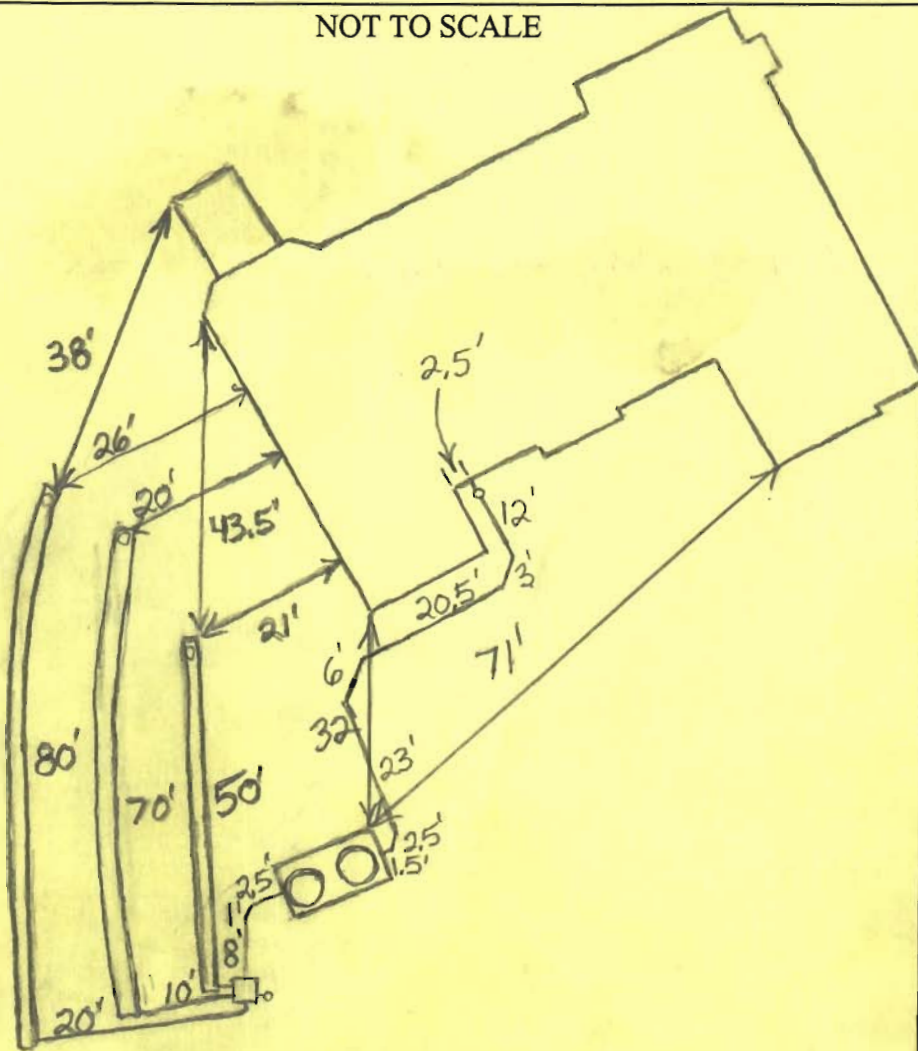
TRENCHES:	Trench to be 2.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 8.0 feet below original grade. Effective area begins at 7.0 feet below original grade. 4.0 feet of stone below distribution pipe.
LOCATION:	
NOTES:	

PLANS APPROVED: Sara Fegel DATE: 02/06/2007

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS  
RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM  
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT  
CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

NOT TO SCALE



ROAD

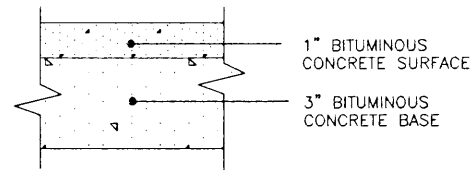
TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	4'	8'
NUMBER OF TRENCHES		3
TOTAL LENGTH		200'
ABSORPTION AREA		200
DISTRIBUTION BOX LEVEL		Levelers
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	1.5'-2.5'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front+Rear
6" PORT LOC	No
WATERTIGHT TEST	No
SEPTIC TANK 2 LEVEL	N/A
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	

PRE-CONSTRUCTION 7/18/07 Install 4 short trenches across the top highest part of the area. Trenches should get progressively longer as they are installed farther downhill. Trench lengths should be about 35', 45', 55' and 65'. (BB) 7/23/07 Builder wants to move tank farther from house. O.K. to put tank in small section of very top of easement so that minimal easement area is lost. Install a 50', 65' and 85' trench on contour across the highest remaining part of the easement. 10/4/07 Tank relocated. (BB) 10/9/07 System finished (BB)

FINAL INSPECTOR B. Baker DATE OF APPROVAL 10/9/07

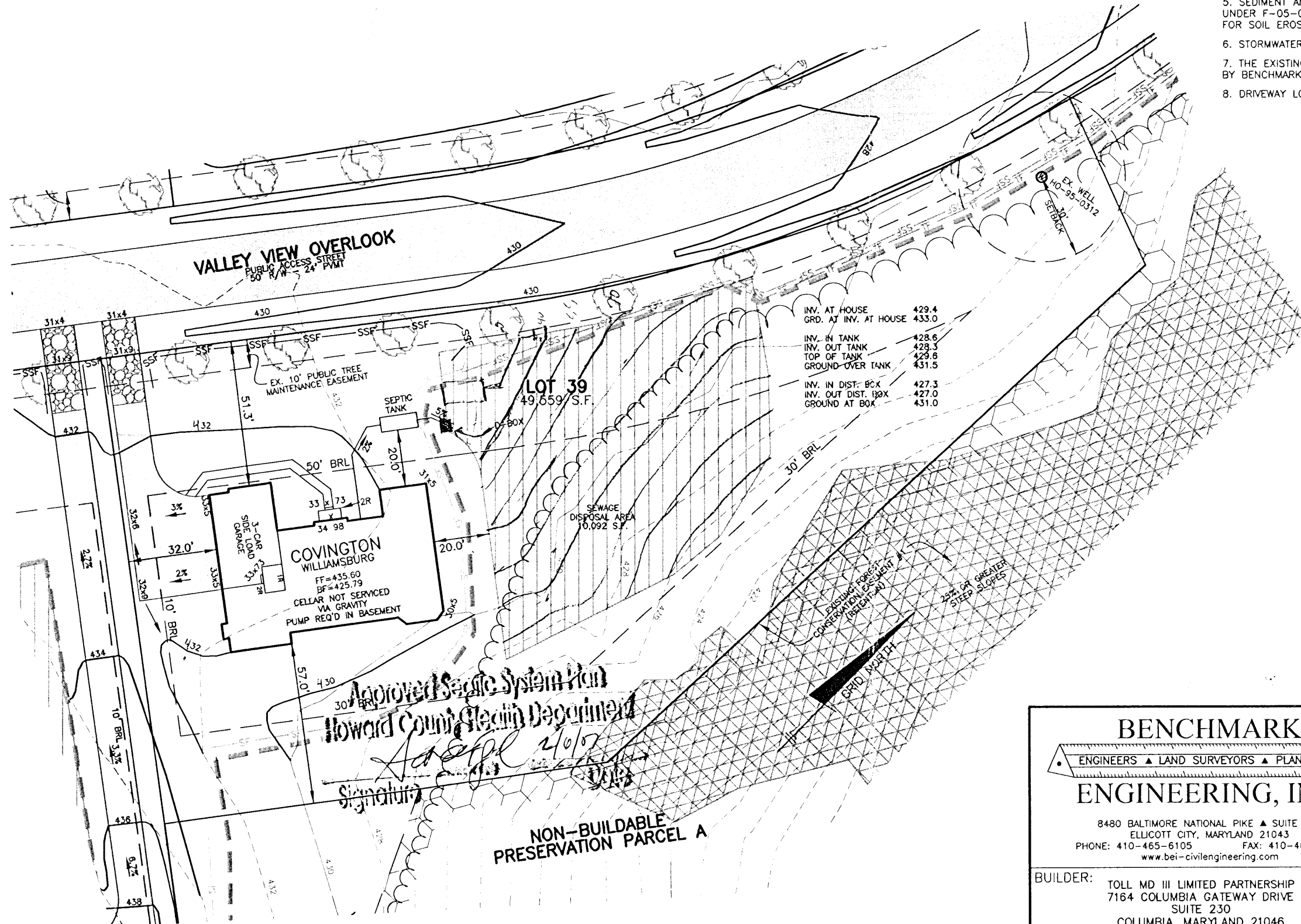
except for levelers in dist. box, left note for contractor to install levelers. O.K. to backfill. (BB)



FULL DEPTH BIT. CONC. ALTERNATIVE  
**P-1 PAVING DETAIL**  
 NOT TO SCALE

**NOTES:**

1. THE LOT SHOWN HEREON WAS RECORDED ON 12-13-05 AS PLAT NUMBER 17896. REFER TO THIS PLAT FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND BUILDING RESTRICTIONS.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA IS RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
3. EXACT LENGTH OF SEPTIC TRENCHES ARE BE DETERMINED BY THE HEALTH DEPARTMENT AT THE TIME OF PRECONSTRUCTION INSPECTION.
4. SPOIL FROM THE TRENCHING OF THE SEPTIC AREA IS TO BE PLACED ON THE UPHILL SIDE OF THE EXCAVATION FOR EACH INDIVIDUAL LOT.
5. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER F-05-031 AND SHALL COMPLY WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
6. STORMWATER MANAGEMENT FOR THIS LOT WAS PROVIDED UNDER F-05-031.
7. THE EXISTING WELL (TAG NO. HO-95-0312) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. ON 12-21-06 AND IS ACCURATELY SHOWN.
8. DRIVEWAY LOCATION IS LOCATED AT CREST OF ROAD. NO CULVERT IS REQUIRED.



**LEGEND**

- EXISTING CONTOURS ESTABLISHED UNDER F-05-031
- FIELD SURVEYED WELL LOCATION
- STREET TREES INSTALLED UNDER F-05-031
- INDICATES WALK-OUT BASEMENT LOCATION
- STABILIZED CONSTRUCTION ENTRANCE INSTALLED UNDER GP-06-94
- SUPER SILT FENCE INSTALLED UNDER F-05-031
- SUPER SILT FENCE INSTALLED UNDER GP-06-94
- SILT FENCE INSTALLED UNDER F-05-031
- LIMIT OF DISTURBANCE UNDER F-05-031

Approved Septic System Plan  
 Howard County Health Department  
 4/10/07  
 Signature: [Handwritten Signature]

NON-BUILDABLE PRESERVATION PARCEL A

**BENCHMARK**  
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS  
**ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 418  
 ELLICOTT CITY, MARYLAND 21043  
 PHONE: 410-465-6105 FAX: 410-465-6644  
 www.bei-civilengineering.com

**HOMEWOOD CROSSING  
 PLOT PLAN  
 LOT 39**

4920 VALLEY VIEW OVERLOOK  
 TAX MAP 29, GRID 9 - PARCEL 28  
 3rd ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

BUILDER: TOLL MD III LIMITED PARTNERSHIP  
 7164 COLUMBIA GATEWAY DRIVE  
 SUITE 230  
 COLUMBIA, MARYLAND 21046  
 410-872-9105

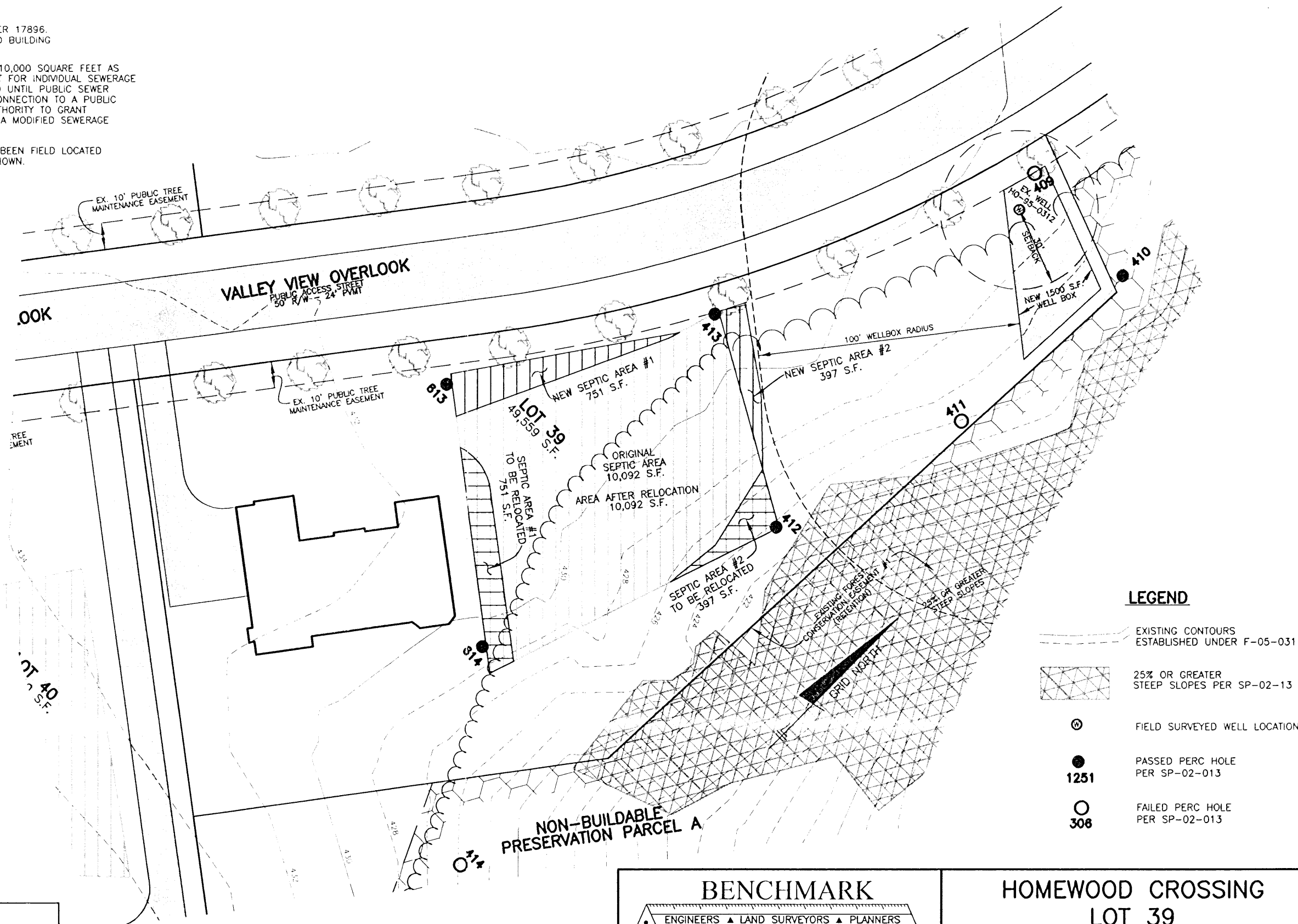
HOUSE TYPE:	COVINGTON WILLIAMSBURG ELEVATION	
DATE:	JANUARY 22, 2007	PROJECT NO. 1913
SCALE:	1" = 40'	DRAWING 1 OF 1

**NOTES:**

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2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA IS RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.

3. THE EXISTING WELL (TAG NO. HO-95-0312) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. ON 12-20-2006 AND IS ACCURATELY SHOWN.



**LEGEND**

- EXISTING CONTOURS ESTABLISHED UNDER F-05-031
- 25% OR GREATER STEEP SLOPES PER SP-02-13
- FIELD SURVEYED WELL LOCATION
- PASSED PERC HOLE PER SP-02-013
- FAILED PERC HOLE PER SP-02-013

APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Robert J. Weber*  
COUNTY HEALTH OFFICER *at*

*11/17/07*  
DATE

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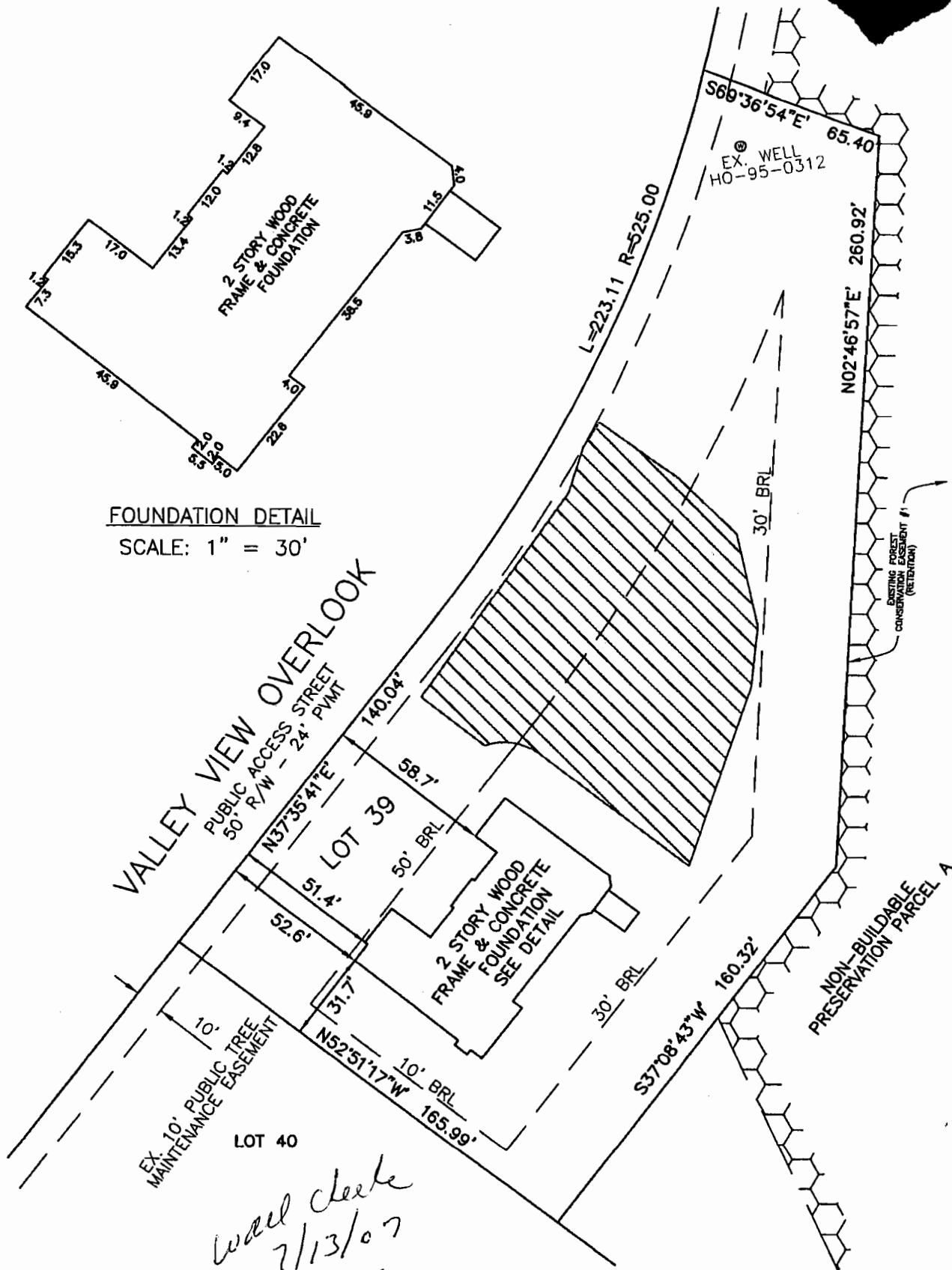
**HOMEWOOD CROSSING**  
**LOT 39**

4920 VALLEY VIEW OVERLOOK  
TAX MAP 29, GRID 9 - PARCEL 28  
3rd ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

REVISED  
**PERCOLATION CERTIFICATION PLAN**

DATE: JANUARY 10, 2007 PROJECT NO. 1913  
SCALE: 1" = 40' DRAWING 1 OF 1





**FOUNDATION DETAIL**

SCALE: 1" = 30'

*Wall Check  
7/13/07  
SJ*

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 7/03/07.

FIRST FLOOR ELEVATION 436.1'  
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.2'

*7/5/07* *S. Jalon*

STEPHAN JALON  
PROFESSIONAL LAND SURVEYOR  
MD REG. No. 10726  
FOR BENCHMARK ENGINEERING, INC.  
MD REG. No. 351

RECORD PLAT No. 17892  
FEMA FIRM No. 240044 0027 B  
ZONE: C  
DATED: 12/04/86

**BENCHMARK**  
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS  
ENGINEERING, INC.



**WALL CHECK**

**HOMEWOOD CROSSING**  
LOTS 1 THRU 43,

**NON-BUILDABLE PRESRVATION PARCEL 'A'**

**PLAT No. 17896**

**LOT No. 39**

**4920 VALLEY VIEW OVERLOOK**

**3RD ELECTION DISTRICT**  
**HOWARD COUNTY, MARYLAND**

SCALE: 1" = 50' DATE: 07/05/07

FIELD OBS. BY PJ  
COMP. BY JWG  
DRAWN BY JWG