

LAYOUT 7/17/07 INSP 4 7/25/07
 INSP 2 7/19/07 INSP 5 _____
 INSP 3 7/20/07 INSP 6 _____

ISSUE DATE: 5/21/07

P 526720

APPROVAL DATE: 7/31/07

PERMIT
Logged Into Permit Manager
 TAX ID # 05-441706

A 515042-LL

**ON-SITE SEWAGE DISPOSAL SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 BUREAU OF ENVIRONMENTAL HEALTH**

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL ALTER

ADDRESS: 580 Obrecht Road PHONE NUMBER: 410-795-5670

SUBDIVISION: Benedict Farm - Homewood Crossing LOT NUMBER: 38

ADDRESS: 4954 Valley View Overlook PROPERTY OWNER: Toll MD III LP

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): N/A COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 5 *Inlet 3'*

SQUARE FEET PER BEDROOM: _____ *Bottom 8'*

LINEAR FEET OF TRENCH REQUIRED: ~~120~~ 150' Trenches 2' Wide

TRENCHES:	Trench to be 2.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 3.0 feet below original grade. Effective area begins at 4.0 feet below original grade. 4.0 feet of stone below distribution pipe. <i>→ 3.0'</i>
LOCATION:	
NOTES:	Install system per plan unless otherwise directed by inspector.

PLANS APPROVED: Ashley Trump DATE: 03/29/2007

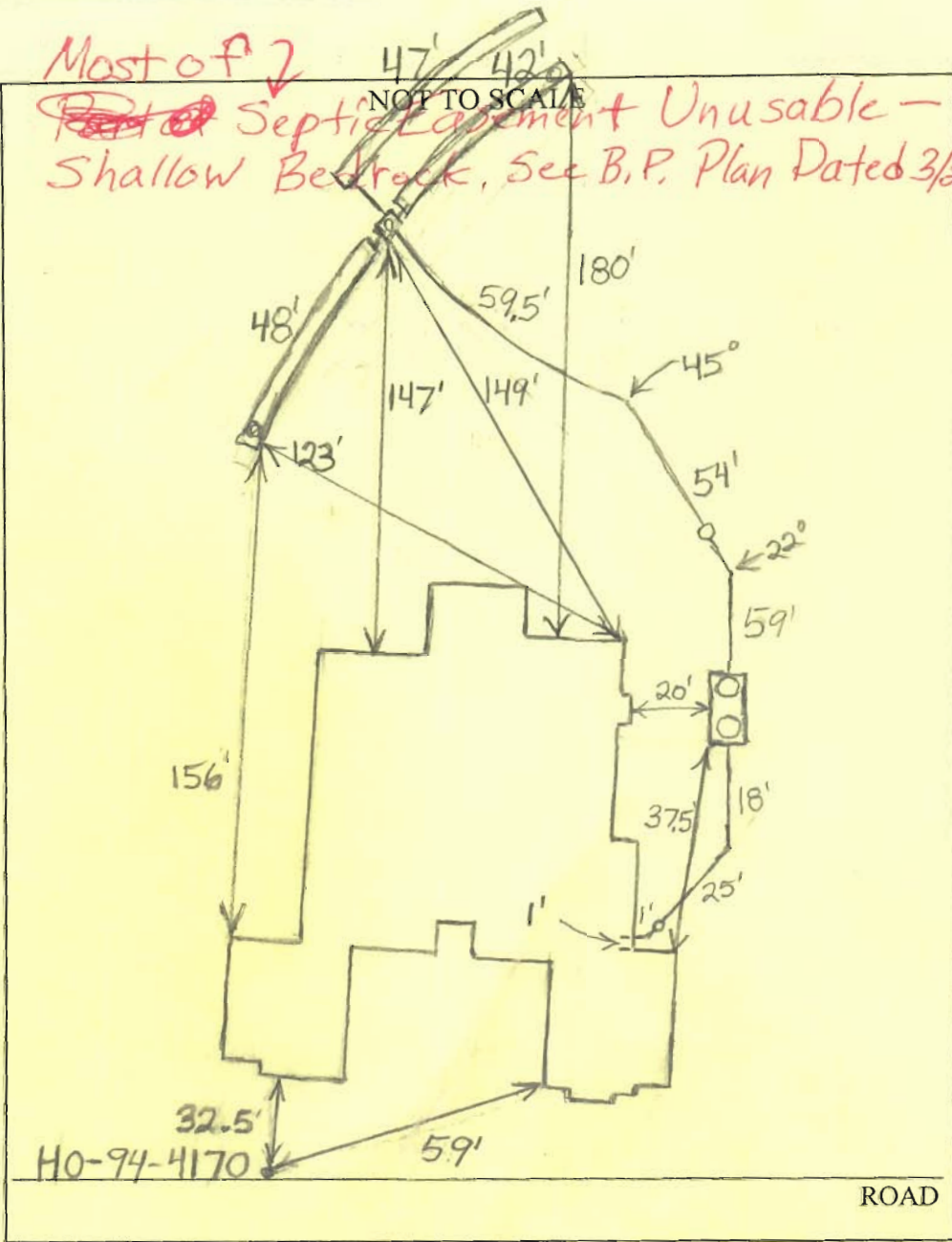
- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

Most of 2

~~Part of~~ Septic Easement Unusable -
Shallow Bedrock, See B.P. Plan Dated 3/29/07

NOT TO SCALE



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	2.5'	8'
NUMBER OF TRENCHES		3
TOTAL LENGTH		137'
ABSORPTION AREA		685
DISTRIBUTION BOX LEVEL		Levelers
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front + Rear
6" PORT LOC	None
WATERTIGHT TEST	No
SEPTIC TANK 2 LEVEL	N/A
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	

PRE-CONSTRUCTION 7/17/07 Pump system may be required. Will have to dig perc. test hole if trench inlet and depth

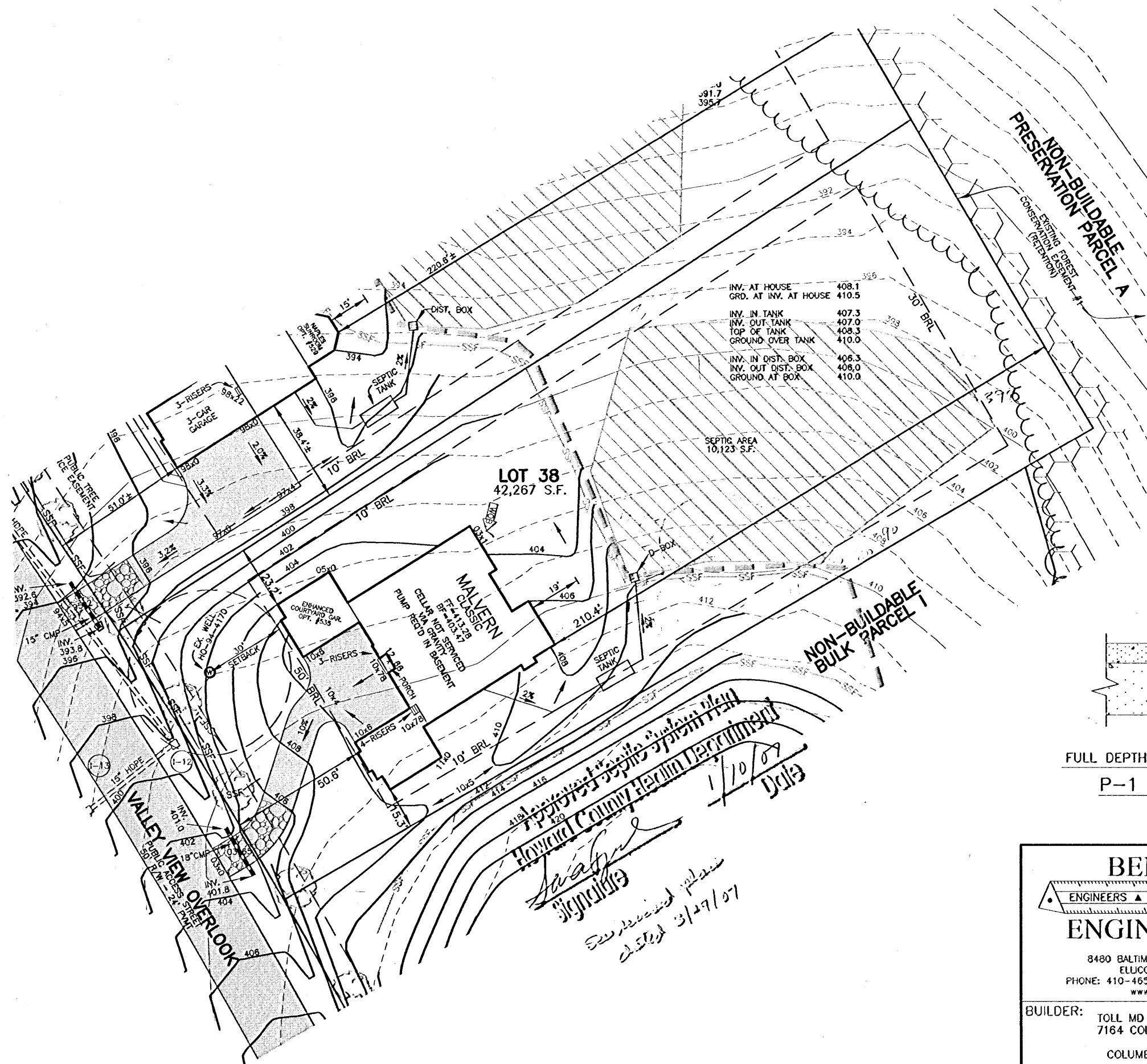
INSTALLATION can be made deeper so that gravity system will work. (BB) 7/19/07 Upper corner of easement near house and top middle of easement is all shallow bedrock. Put the distribution box in the middle of the very bottom of the easement and install a 75' trench on contour in both directions. Trench specs. changed. (BB) 7/20/07 Tank set. (BB) 7/25/07 House connection made and trenches installed. (BB) 7/31/07 System finished. OK to backfill.

FINAL INSPECTOR B. Baker DATE OF APPROVAL 7/31/07 (BB)

NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON 12-13-05 AS PLAT NUMBER 17889. REFER TO THIS PLAT FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND BUILDING RESTRICTIONS.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA IS RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
3. EXACT LENGTH OF SEPTIC TRENCHES ARE TO BE DETERMINED BY THE HEALTH DEPARTMENT AT THE TIME OF PRECONSTRUCTION INSPECTION.
4. SPOIL FROM THE TRENCHING OF THE SEPTIC AREA IS TO BE PLACED ON THE UPHILL SIDE OF THE EXCAVATION FOR EACH INDIVIDUAL LOT.
5. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER F-05-031 AND GP-06-94 AND SHALL COMPLY WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
6. STORMWATER MANAGEMENT FOR THIS LOT WAS PROVIDED UNDER F-05-031.
7. THE EXISTING WELL (TAG NO. HO-94-4170) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. ON 6-2-2006 AND IS ACCURATELY SHOWN.
8. DRIVEWAY CULVERT COMPUTATIONS HAVE BEEN PROVIDED WITH THIS BUILDING PERMIT PLOT PLAN. THE CULVERT SHALL BE 18" CMP OR ELLIPTICAL EQUIVALENT.

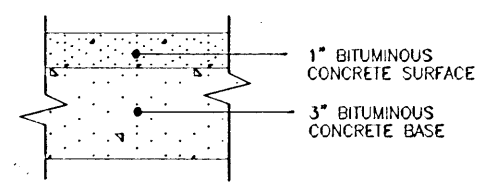
Bldg 91313



INV. AT HOUSE	408.1
GRD. AT INV. AT HOUSE	410.5
INV. IN TANK	407.3
INV. OUT TANK	407.0
TOP OF TANK	408.3
GROUND OVER TANK	410.0
INV. IN DIST. BOX	406.3
INV. OUT DIST. BOX	406.0
GROUND AT BOX	410.0

LEGEND

- EXISTING CONTOURS ESTABLISHED UNDER F-05-031
- FIELD SURVEYED WELL LOCATION
- STREET TREES INSTALLED UNDER F-05-031
- INDICATES WALK-OUT BASEMENT LOCATION
- STABILIZED CONSTRUCTION ENTRANCE INSTALLED UNDER GP-06-94
- SUPER SILT FENCE INSTALLED UNDER F-05-031
- SUPER SILT FENCE INSTALLED UNDER GP-06-94
- SILT FENCE INSTALLED UNDER F-05-031
- LIMIT OF DISTURBANCE UNDER F-05-031



FULL DEPTH BIT. CONC. ALTERNATIVE
P-1 PAVING DETAIL
 NOT TO SCALE

Signature
 Sewerage plan dated 3/27/07
 Howard County Health Department
 1/10/09
 Data

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE ▲ SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644
 www.bei-civilengineering.com

BUILDER: TOLL MD III LIMITED PARTNERSHIP
 7164 COLUMBIA GATEWAY DRIVE
 SUITE 230
 COLUMBIA, MARYLAND 21046
 410-872-9105

**HOMEWOOD CROSSING
 PLOT PLAN
 LOT 38**

4954 VALLEY VIEW OVERLOOK
 TAX MAP 29, GRID 9 - PARCEL 28
 3rd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

HOUSE TYPE: **MALVERN
 CLASSIC ELEVATION**

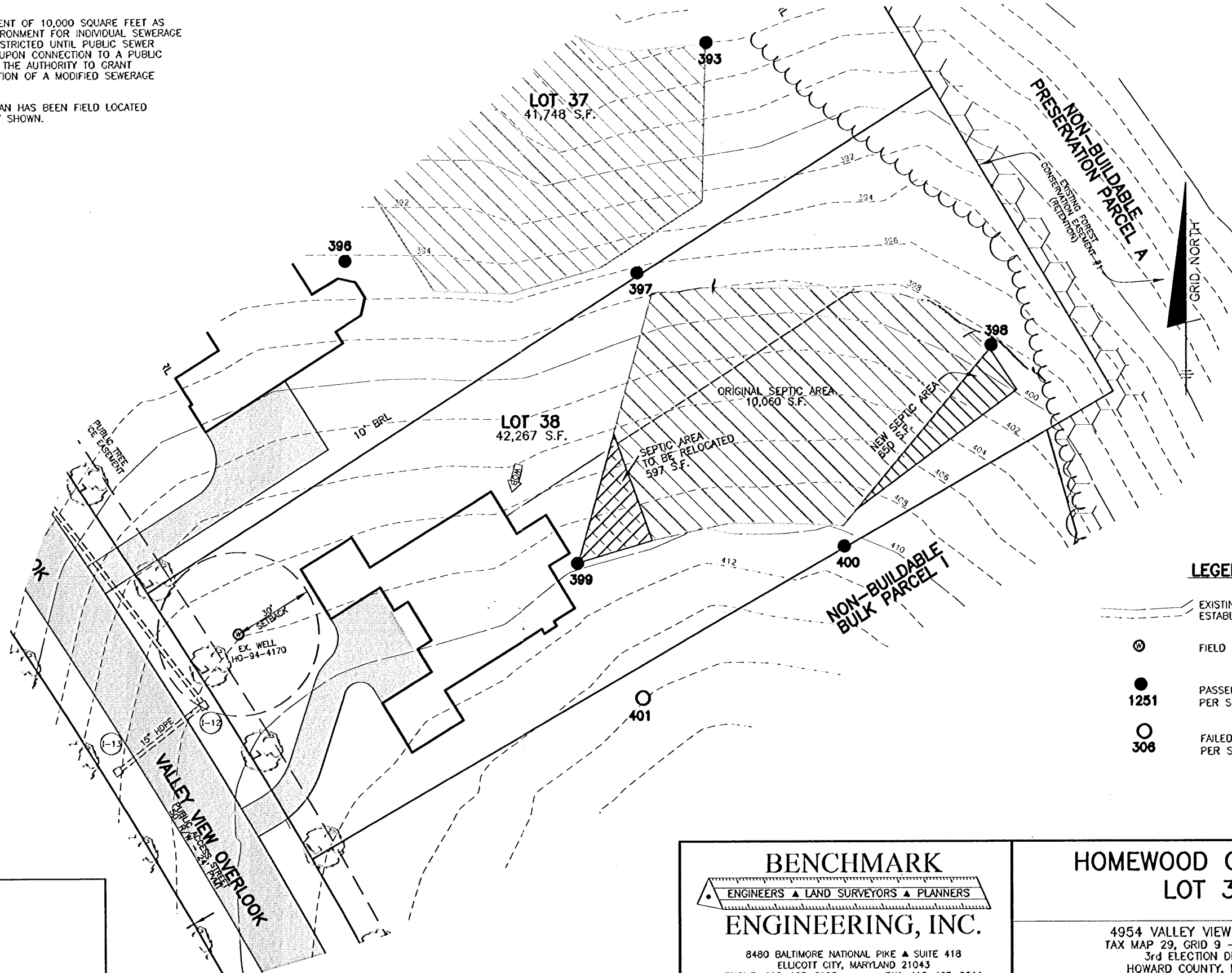
DATE:	DECEMBER 11, 2006	PROJECT NO.	1913
SCALE:	1" = 40'	DRAWING	1 OF 1

NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON 12-13-05 AS PLAT NUMBER 17889. REFER TO THIS PLAT FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND BUILDING RESTRICTIONS.

2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA IS RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.

3. THE EXISTING WELL (TAG NO. HO-94-4174) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. ON 9-6-06 AND IS ACCURATELY SHOWN.



LEGEND

- EXISTING CONTOURS ESTABLISHED UNDER F-05-031
- FIELD SURVEYED WELL LOCATION
- PASSED PERC HOLE PER SP-02-013
- FAILED PERC HOLE PER SP-02-013

APPROVED:
 FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Robert J. Weber 12/7/06
 COUNTY HEALTH OFFICER AT MGD DATE

BENCHMARK
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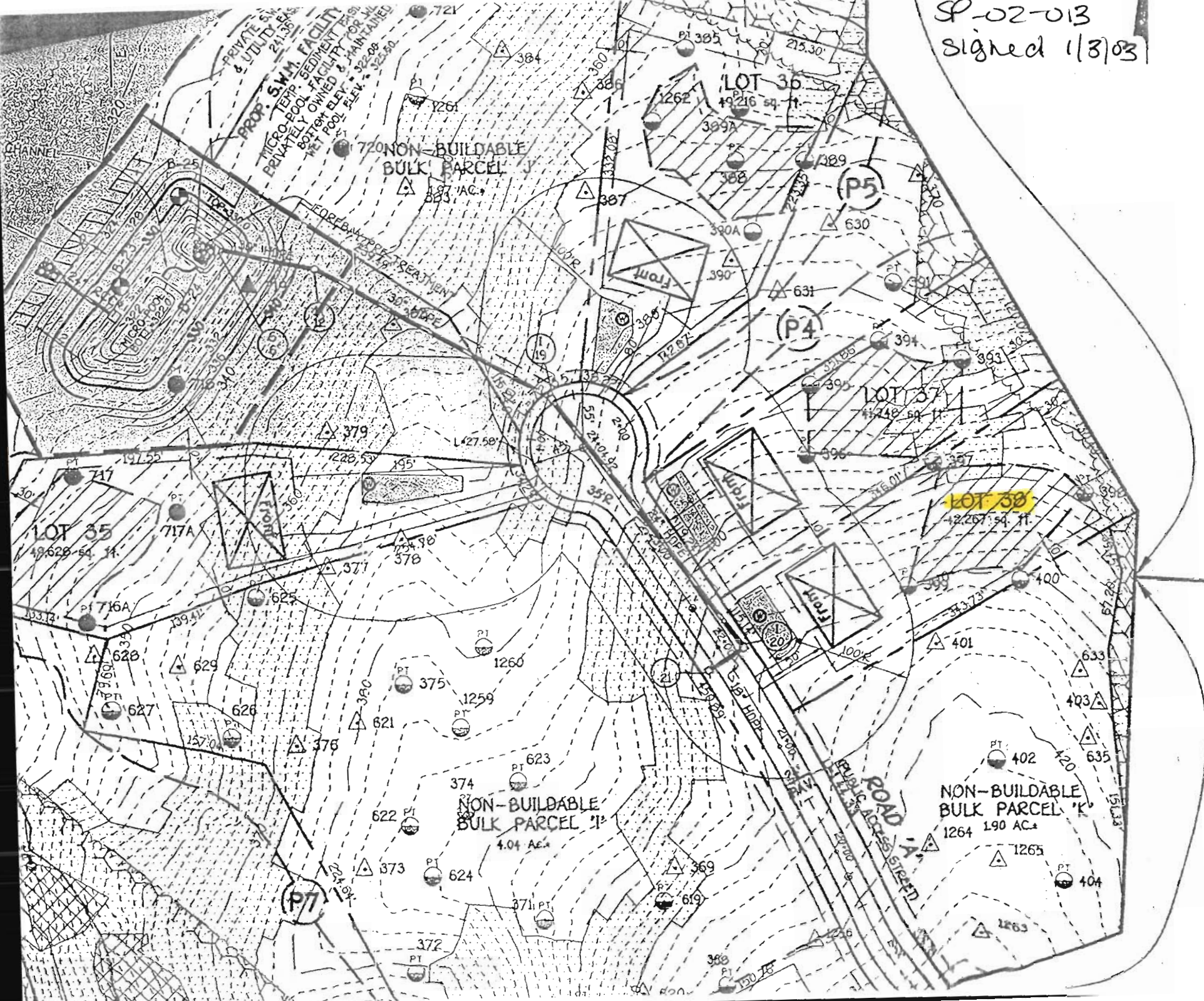
HOMEWOOD CROSSING
LOT 38

4954 VALLEY VIEW OVERLOOK
 TAX MAP 29, GRID 9 - PARCEL 28
 3rd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

PERCOLATION CERTIFICATION PLAN

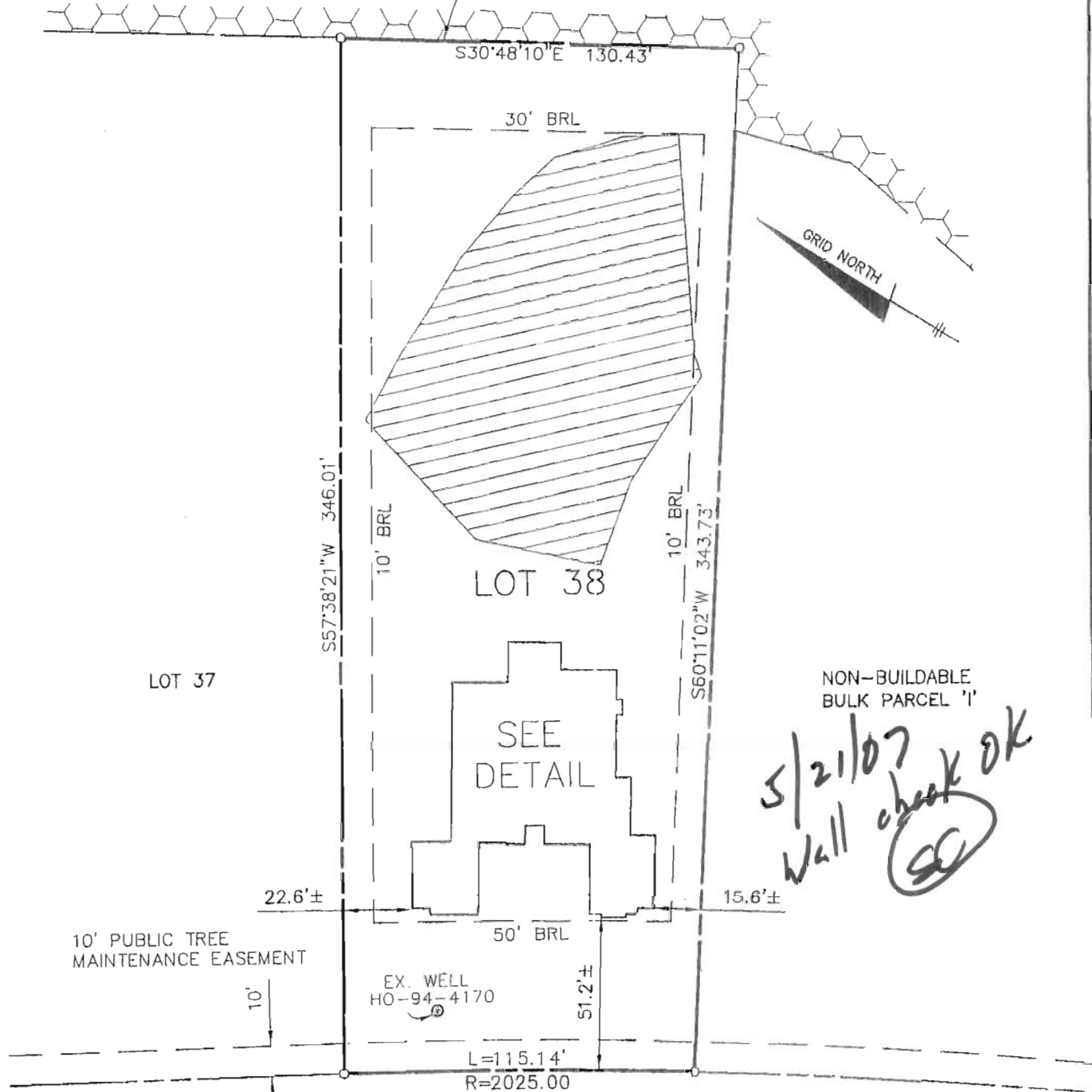
DATE:	NOVEMBER 22, 2006	PROJECT NO.	1913
SCALE:	1" = 40'	DRAWING	1 OF 1

SP-02-013
Signed 1/3/03



NON-BUILDABLE PRESERVATION PARCEL A

EXISTING FOREST CONSERVATION EASEMENT #1 (RETENTION)



5/21/07
Wall check OK
SC

VALLEY VIEW OVERLOOK
PUBLIC ACCESS STREET
50' R/W

TOP OF FOUNDATION WALL ELEVATION = 412.5'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.2'

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 05/14/07.

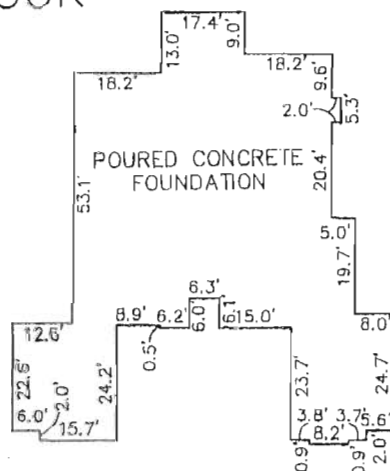
5/16/07 *S. Jalon*

STEPHAN JALON
PROFESSIONAL LAND SURVEYOR
MD REG. No. 10726
FOR BENCHMARK ENGINEERING, INC.
MD REG. No. 351
FEMA FIRM No. 240044 0027 B
ZONE: C
DATED: 12/04/86



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FOUNDATION DETAIL
SCALE: 1" = 40'

WALL CHECK
HOMEWOOD CROSSING
LOTS 1 THRU 43
PLAT No. 17889
LOT No. 38

4954 VALLEY VIEW OVERLOOK

3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: 05/14/07

FIELD OBS. BY JG
COMP. BY EWF
DRAWN BY EWF