

PERMIT NUMBER: B23002240

DATE ACCEPTED: DILP 2023 JUN 20 PM3:57

**RESIDENTIAL BUILDING PERMIT APPLICATION**

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455 OPTION #4

[www.howardcountymd.gov](http://www.howardcountymd.gov)**BUILDING SITE ADDRESS REQUIRED**

Street Address:	8225 White Pine Court			Unit:	
City:	Fulton	State:	MD	Zip Code:	20759
Subdivision/Village/Complex Name:	Preserve@Evergreen Farm I Fulton H 11	SDP/WP/BA #:	F18-047		
Lot:	7	Tax Map:	46	Parcel:	337
		Grading Permit #:			

**DESCRIPTION OF WORK REQUIRED**

Existing Use:	Vacant lot	Proposed Use:	SF Home	Estimated Cost:	\$1,239,931
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None					

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records):	Williamsburg Group LLC	Primary Residence:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address:	5485 Harpers Farm Rd #200		
City:	Columbia	State:	MD
Phone:	410-997-8800	Email:	marinamorris@williamsburgllc.com
Zip Code:	21044		

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name:	Williamsburg Group LLC	Contact Name:	Marina Morris
Street Address:	5485 Harpers Farm Rd #200		
City:	Columbia	State:	MD
Phone:	710-997-8800	Email:	marinamorris@williamsburgllc.com
Zip Code:	21044		

**CONTRACTOR INFORMATION REQUIRED**

Business Name:	Same		
Licensee's Name:		License #:	155
Street Address:			
City:		State:	
Phone:		Email:	
Zip Code:			

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name:		Name:	
Street Address:			
City:		State:	
Phone:		Email:	
Zip Code:			

**BUILDING CHARACTERISTICS REQUIRED**

Primary Structure:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities:	<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply:	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal:	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)		
Heating System:	<input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System:	<input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options: Wellington, elevation 3, 2 story w/ conservatory, 3 car Garage									
# of Bedrooms (SF):	5	# of efficiency units (MF*):		# of 1 BR (MF*):		# of 2 BR (MF*):		# of 3 BR (MF*):	
# Rooms:	17	# Full Baths:	6	# Half Baths:	2	# Fireplaces:	1		
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None									
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial									
1st Fl Width:	82	1st Fl Depth:	63	2nd Fl Width:	82	2nd Fl Depth:	63	Bsmt Width:	82
Bsmt Depth:	63	Energy Method:	<input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input checked="" type="checkbox"/> UA Alternative <input type="checkbox"/> ERI	Gross Area:	10,980	sq ft	Occupiable Area:	8840	sq ft

**AGREEMENT/ DISCALIMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Marina Morris  
APPLICANT'S ORIGINAL SIGNATURE

6/20/23  
DATE SIGNED

**FOR OFFICE USE ONLY**

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:	<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES:	\$150.00	PAYMENT:	CK#14325	ACCEPTED BY:	??	



Williamsburg Group, LLC  
5485 Harpers Farm Rd. #200  
Columbia , MD 21044  
(410) 997- 8800

[illegible]

# Health

REVISÉ 6.23

FUL007 Fulton Hills Lot 7 - 8225 White Pine Court, Fulton, MD 20759

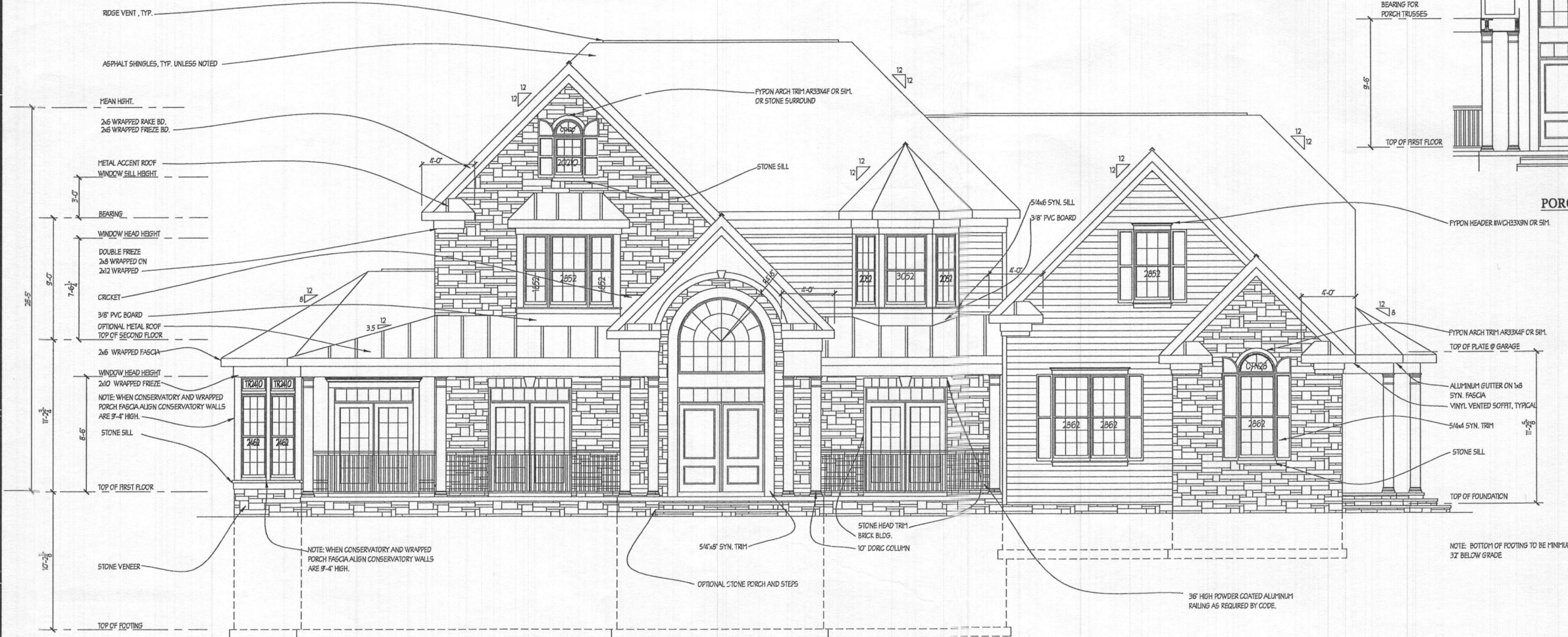




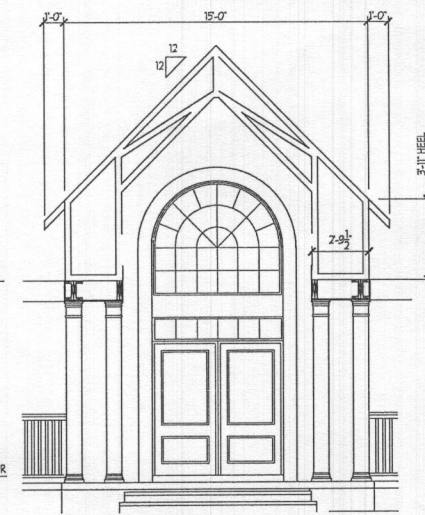
LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

REAR ELEVATION  
SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - SHOWN W/ OPT. CONSERVATORY AND SIDE PORCH  
SCALE: 1/4" = 1'-0"



PORCH DETAIL

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	REVISION	DATE	REVISION

Date: 10/15  
Scale: NOTED  
Drawn: TIM

Drawing: ELEVATION 3-PARTIAL STONE  
Project: WILLIAMSBURG GROUP  
THE WELLINGTON  
ESTATE HOME

W23 WE  
Project No.

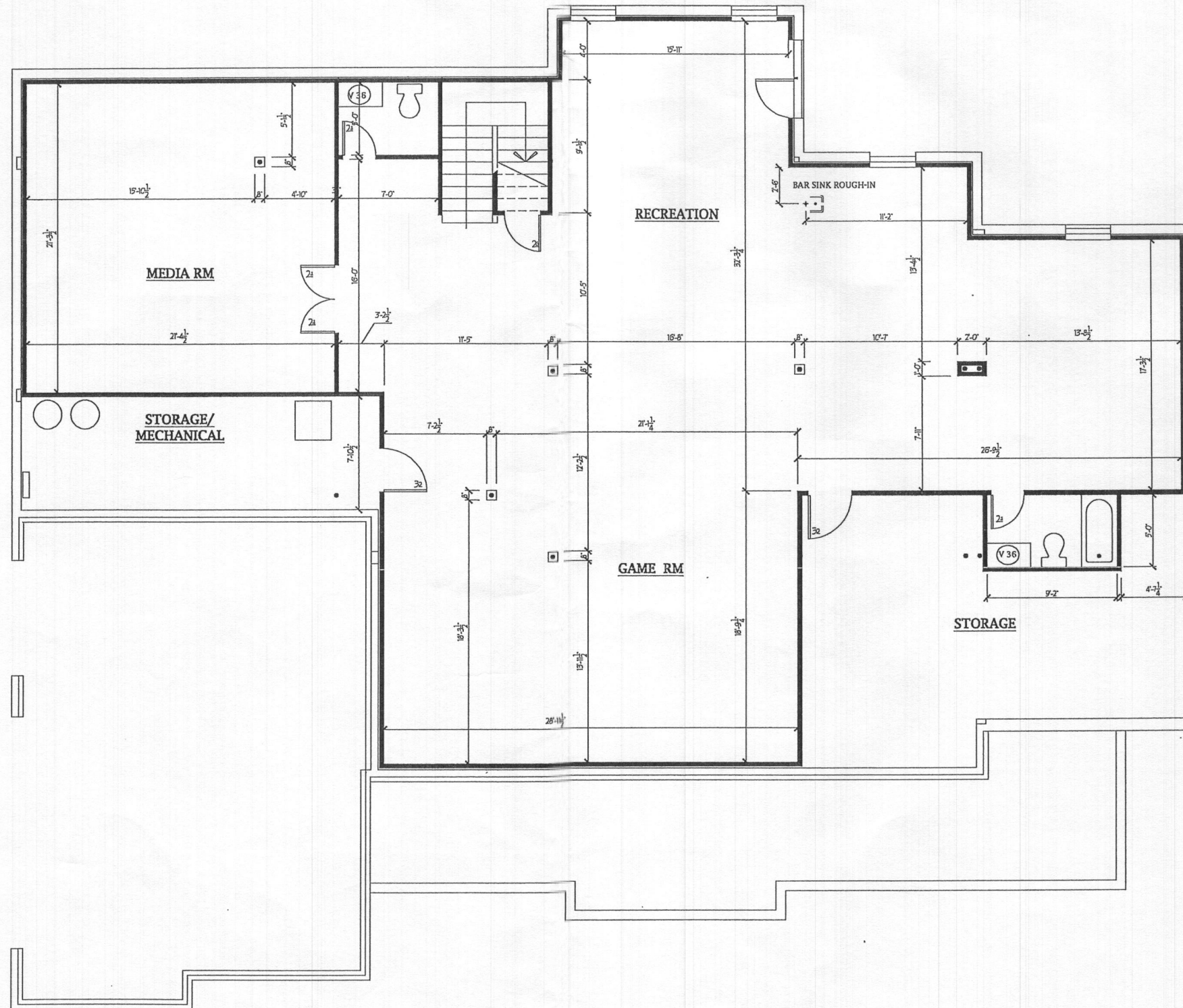


REVISED 6.23









BID AND PERMIT SET 5.24.23

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE: 4.23  
REVISION:

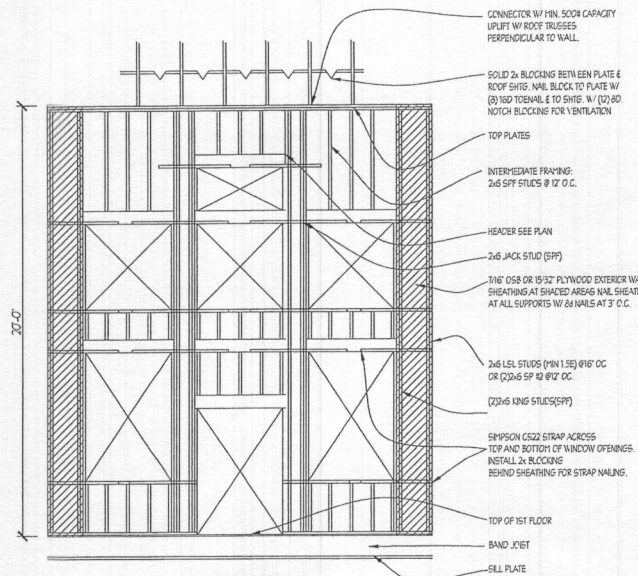
Scale: 1/4"=1'-0"  
Drawn: TIM

Drawing: FINISHED BASEMENT PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
FULTON HILL LOT 7

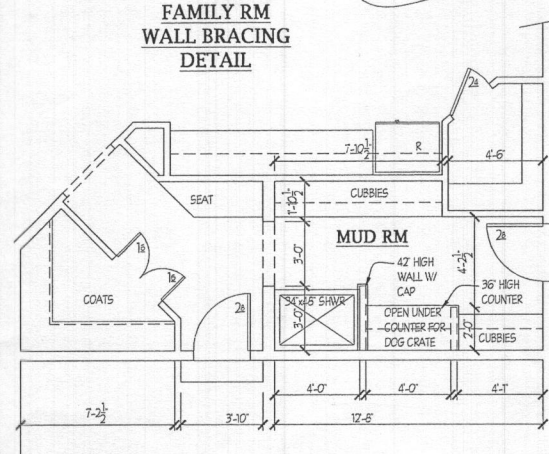
W23.03  
Project No.

2b

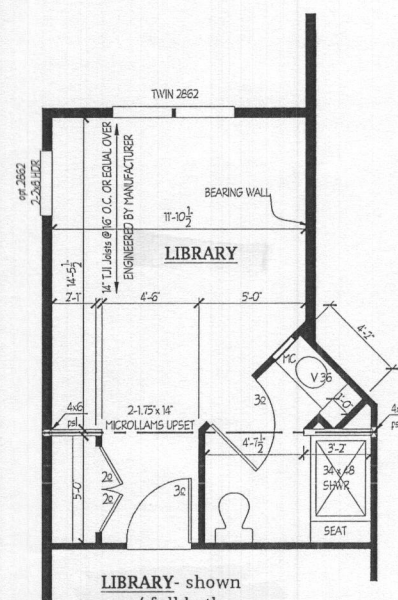




**FAMILY RM  
WALL BRACING  
DETAIL**



**ALT. MUD RM.**



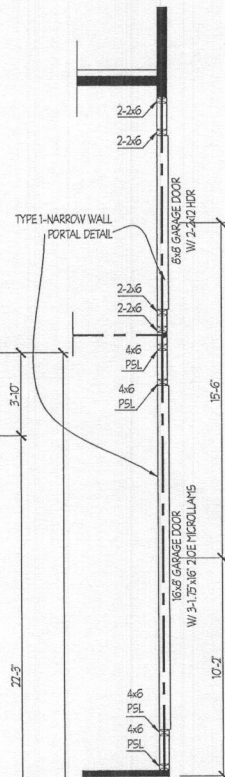
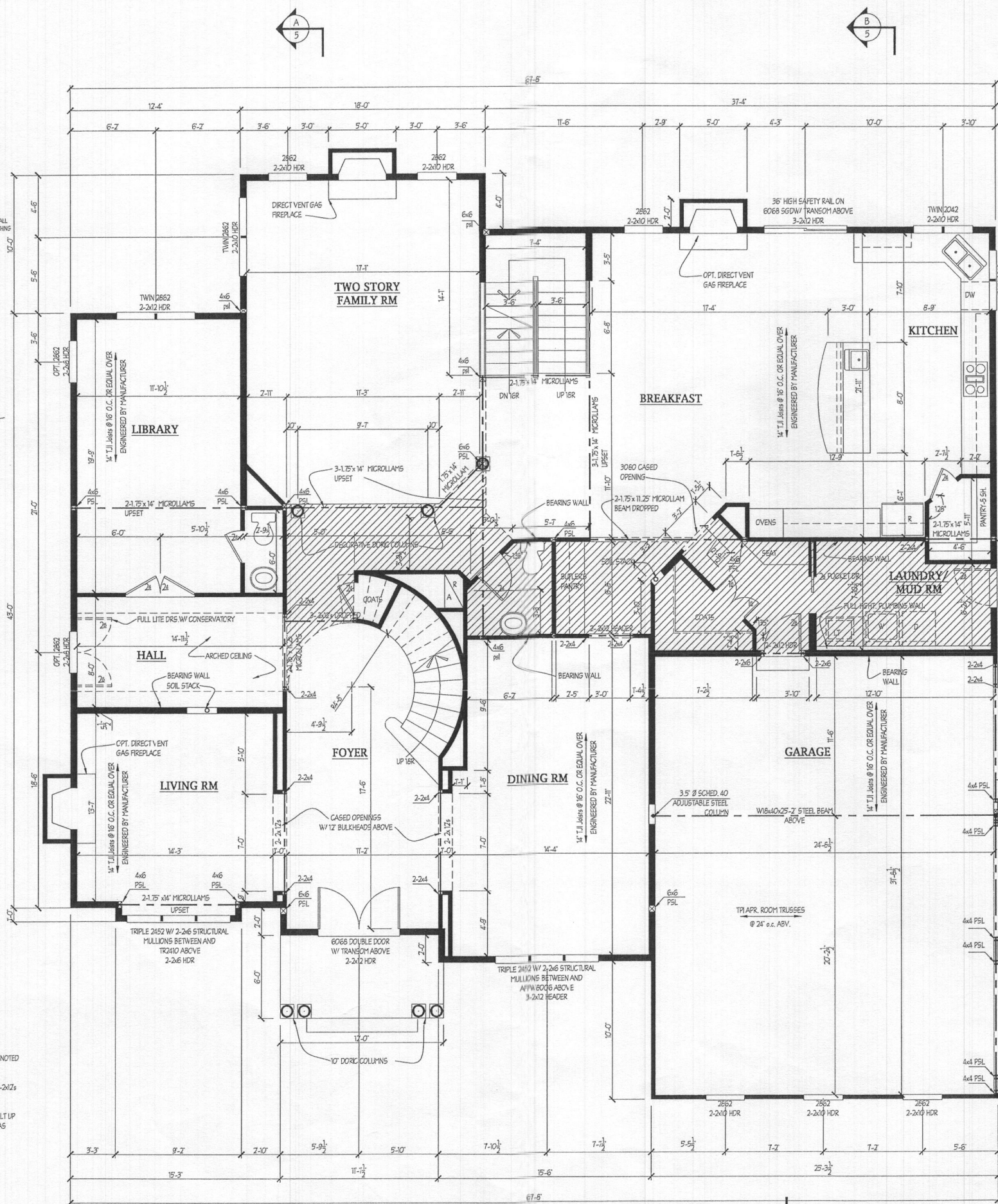
**LIBRARY shown  
w/ full bath**

NOTES:  
ROUGH HD HIGHTS ARE AT 5'-6\"/>

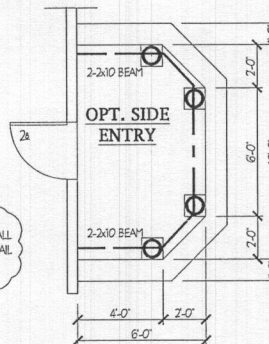
ALL HEADERS IN BEARING WALLS ARE 2x12s  
UNLESS NOTED OTHERWISE

WOOD COLUMNS SPECIFIED MAY BE BUILT UP  
OF 2x MEMBERS, FASTENED TOGETHER AS  
REQUIRED.

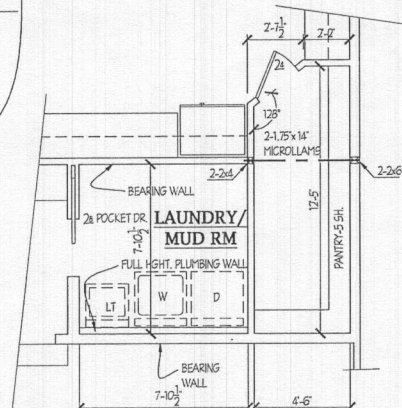
ALL EXTERIOR WALLS TO BE 2x6 @ 16\"/>



**OPT. KITCHEN ISLAND-  
SEE DWGS. BY KITCHEN  
SUPPLIER FOR DETAILS**



**OPT. SIDE  
ENTRY**



**EXTENDED PANTRY  
OPTION**

REVISED 6.23

DATE	REVISION

Date: 10/15  
Scale: 1/4"=1'-0"  
Drawn: TIM

Drawing: STANDARD FIRST FL. PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
ESTATE HOME

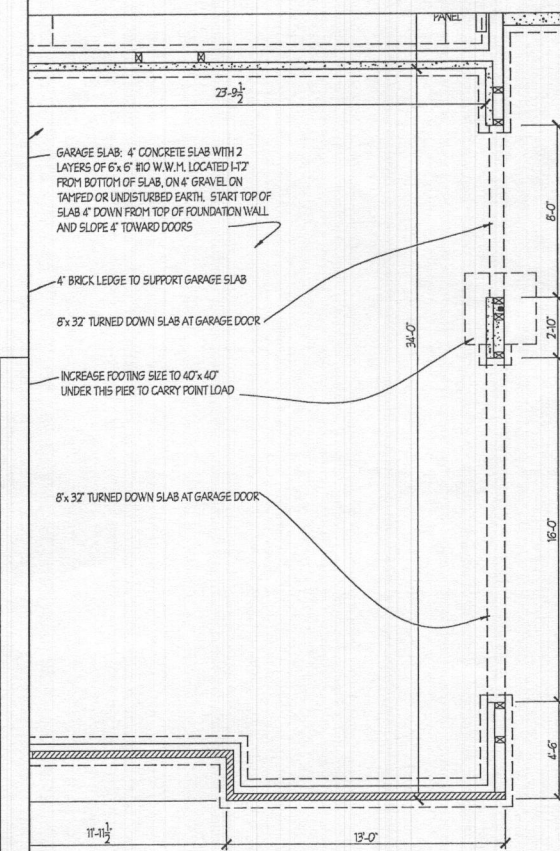
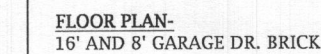
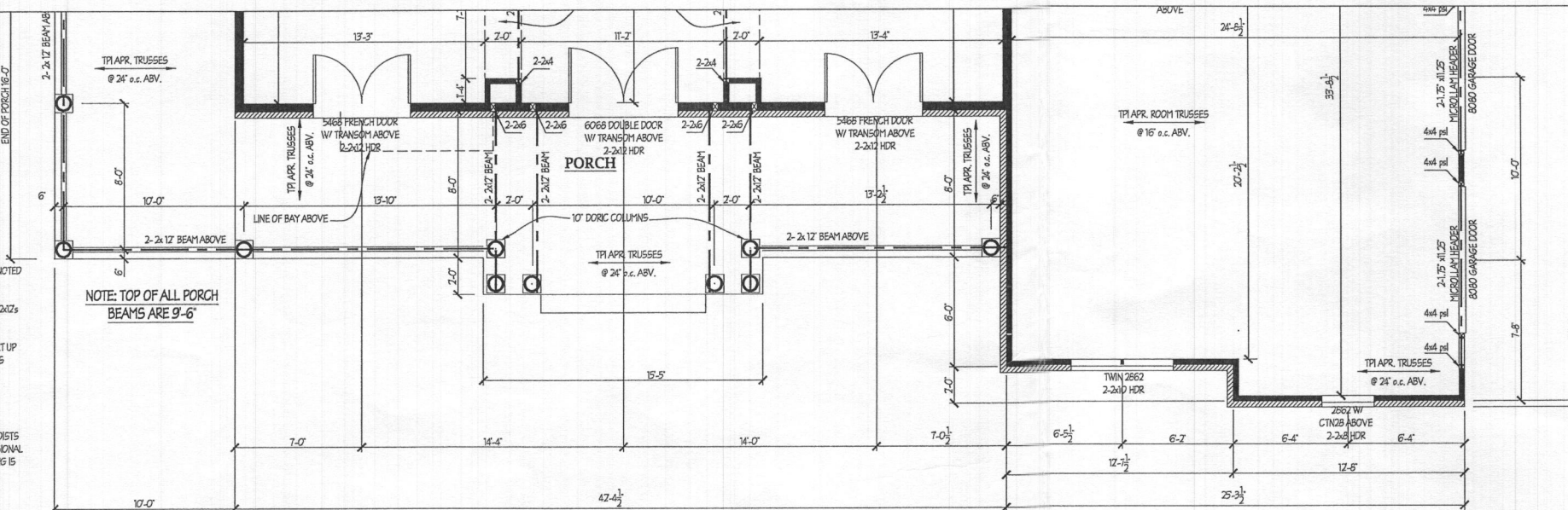
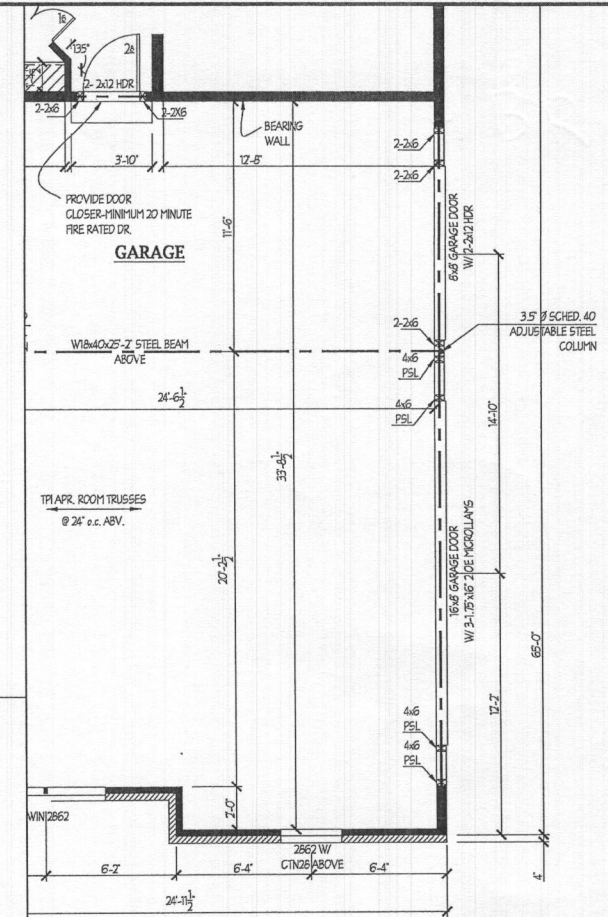
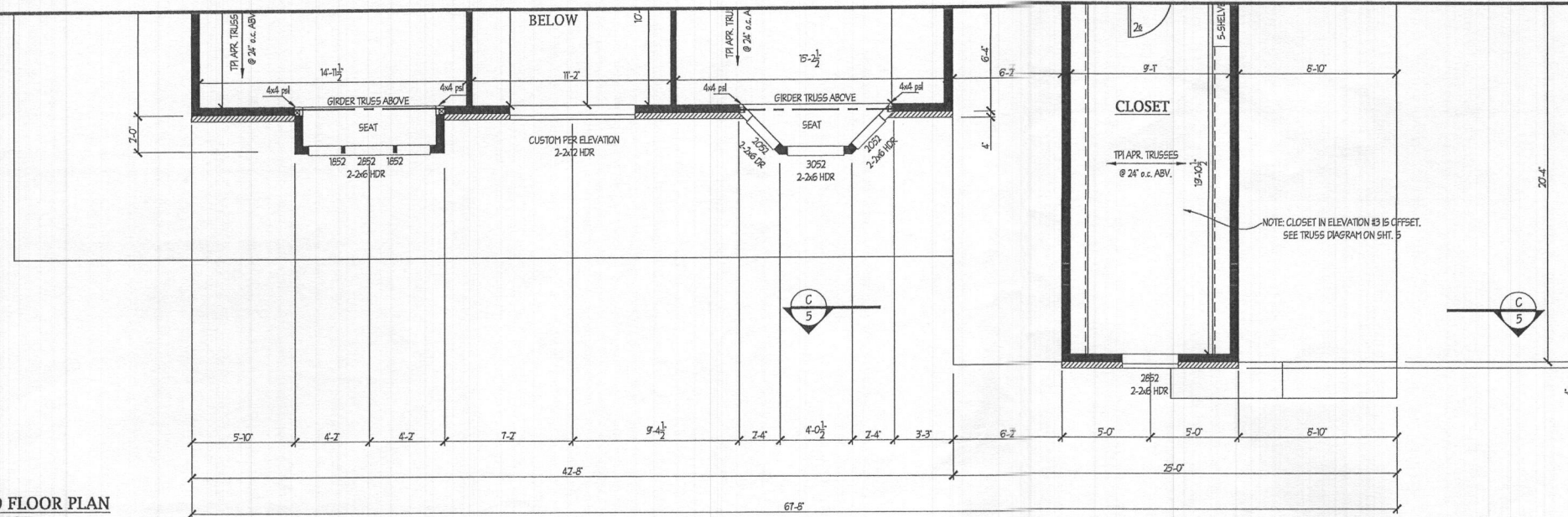
W23 WE  
Project No.

**3**









**Plymouth Road Architects**  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

[illegible]

Date: 10/15
Scale: 1/4" = 1'-0"
Drawn: TIM

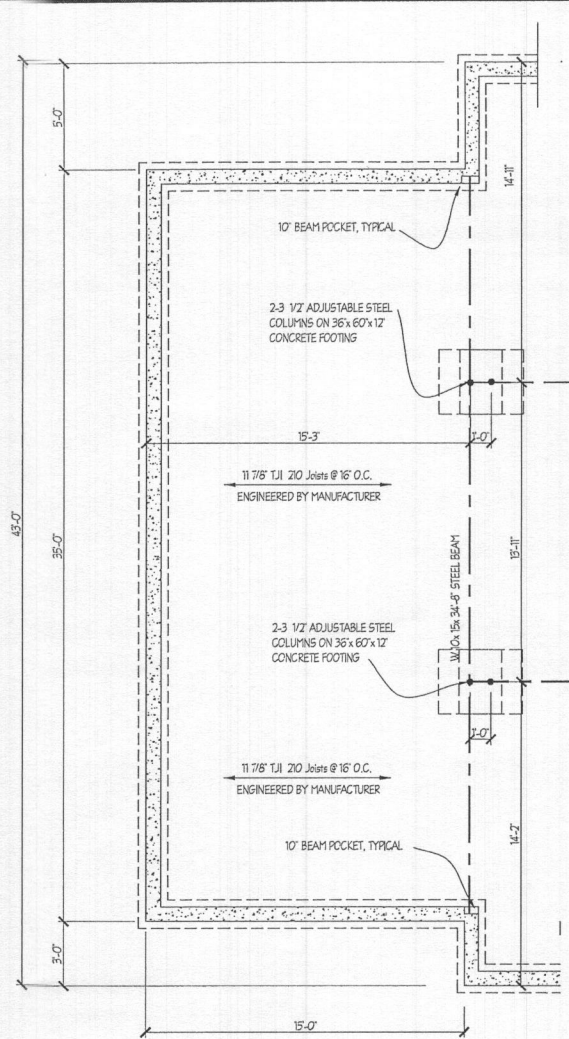
Drawing: PARTIAL PLANS ELEV. 3 BRICK  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
ESTATE HOME

W23 WE
Project No

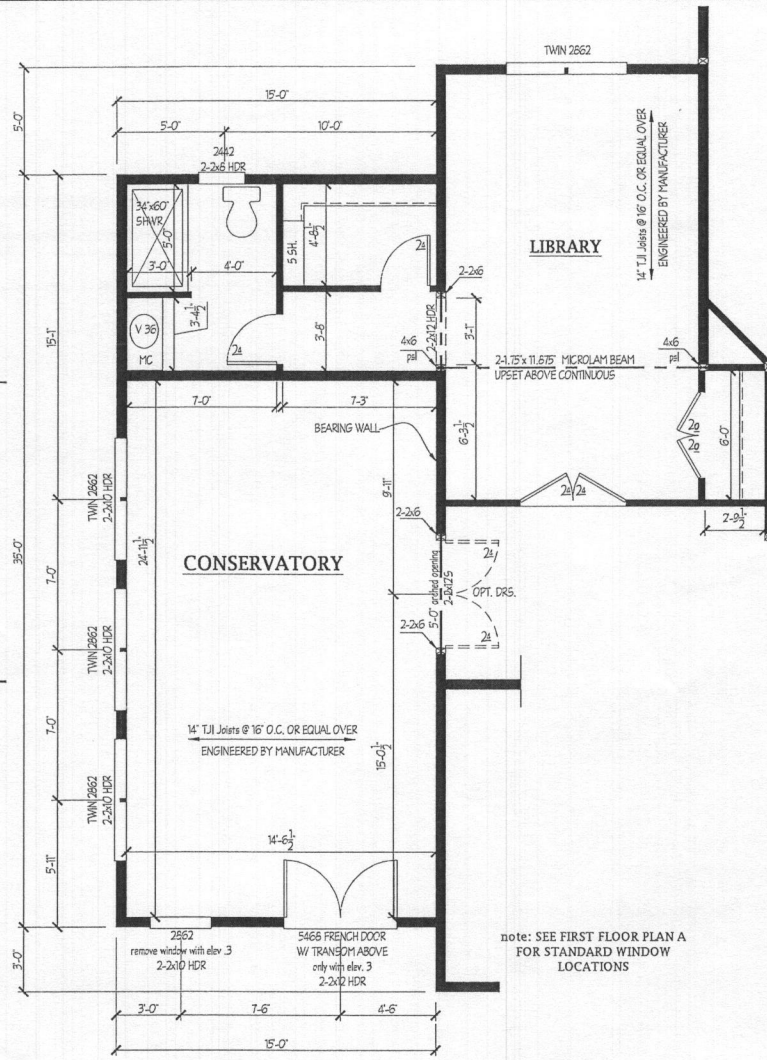
5e

REVISÉ 6.23

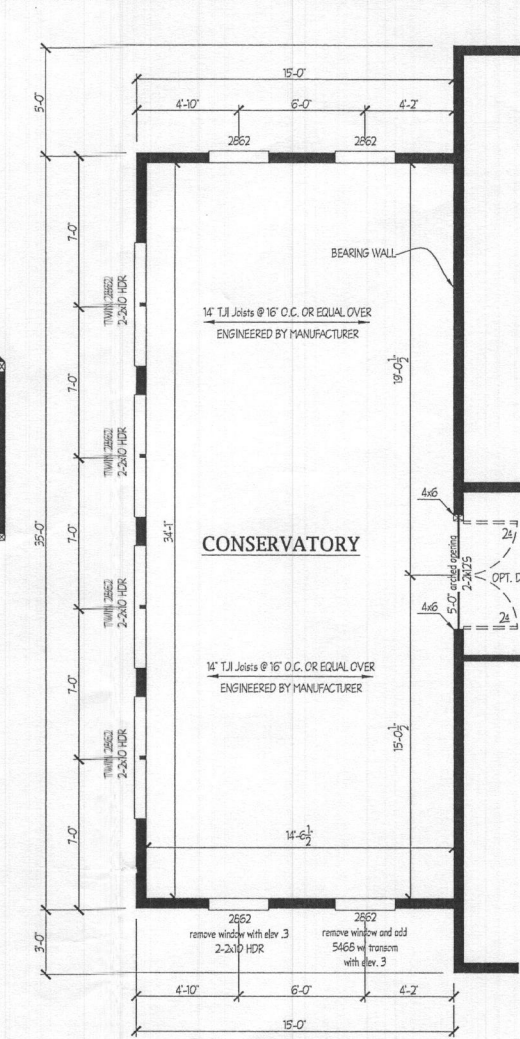




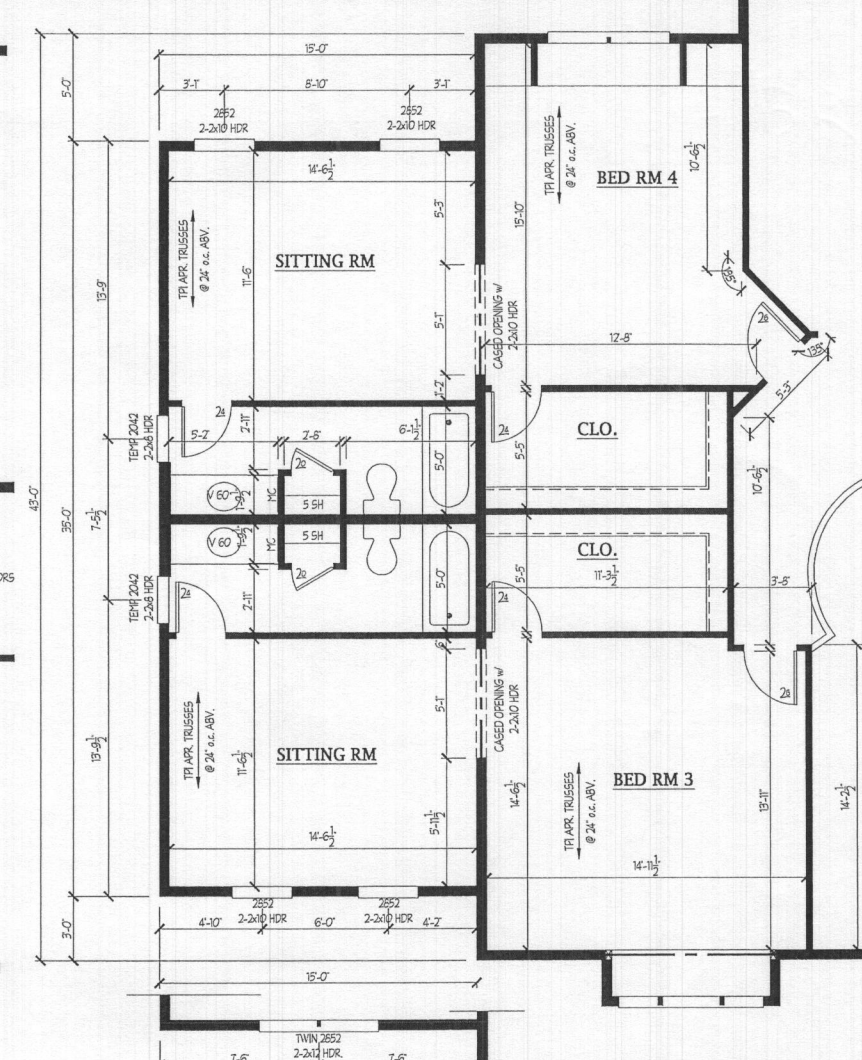
**BASEMENT PLAN**  
SCALE - 1/4" = 1'-0"



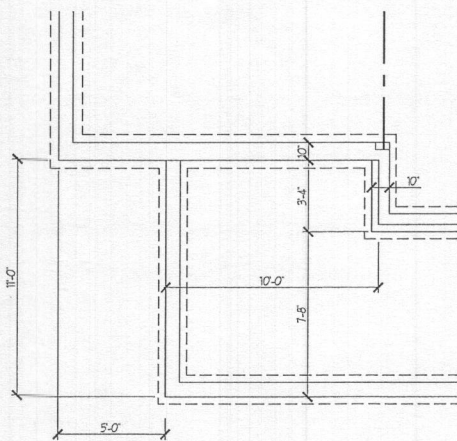
**FIRST FLOOR PLAN B**  
SCALE - 1/4" = 1'-0"



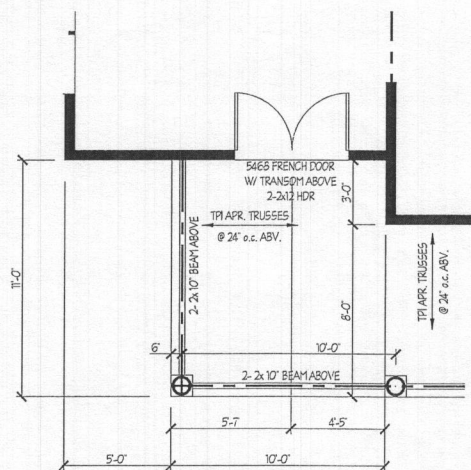
**FIRST FLOOR PLAN A**  
SCALE - 1/4" = 1'-0"



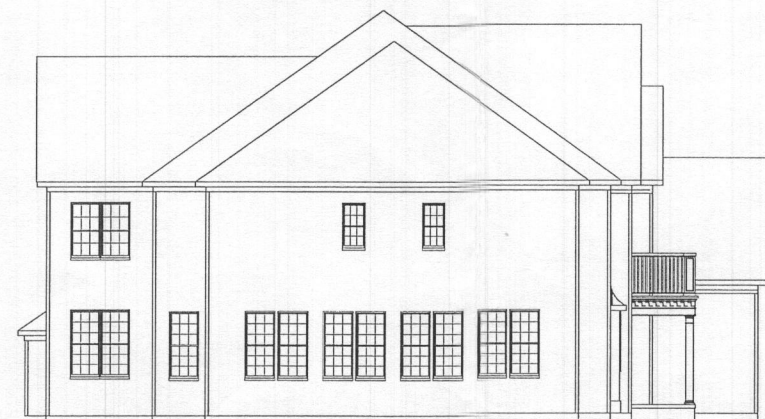
**SECOND FLOOR PLAN** - FOR ELEVATIONS 1A, 1B, 1C  
SCALE - 1/4" = 1'-0"



**BASEMENT PLAN - ELEV 3**  
SCALE - 1/4" = 1'-0"



**FIRST FLOOR PLAN - ELEV 3**  
SCALE - 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE - 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE - 1/8" = 1'-0"

REVISED 6.23

Tim Graham

6/1/2023 10:27 AM

2023 Wellington options.dwg

**Plymouth Road Architects**  
640 Plymouth Road Baltimore, MD 21229  
Phone: 410-788-0281 arch@plymouth-road.com

Notes:

Drawing: TWO STORY OPTION  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
ESTATE HOME

Project No.: W23 WE  
Date: 5/15  
Scale: NOTED

**8a**



COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 8/30/23

To: George Martin  
(Person's Name and Division)

From: Marina Morris  
Williamsburg Group LLC (410) 997-8800  
(Your Name, Company Name and Telephone Number)

Subject: Project name Fulton Hills Lot 7  
Project site address 8225 White Pine Court, Fulton, MD 20759  
Permit # B2302240 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

- ✓ Please check the attachments below that you are submitting with this transmittal:
- \_\_\_\_ Letter of response to address plan review comment letter
- \_\_\_\_ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- \_\_\_\_ Letter Summarizing Changes
- \_\_\_\_ Energy conservation calculations
- 2 Copies of basement bedroom wall (be specific).
- \_\_\_\_ Health Department Request      \_\_\_\_\_ DPZ/ DED Request      \_\_\_\_\_ Applicant's Request
- \_\_\_\_ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- ✓ Other adding wall to finished space in basement, making it bedroom #6 \* and closet

Contact Person Information: (Required)

Marina Morris Telephone No: 410-997-8800  
Please Print Name

E-Mail Address: marinamorris@williamsburgllc.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

\* Please note, no additional square footage. Space is already accounted for. Just adding a wall, therefore adding a bedroom. \* closet

Received by \_\_\_\_\_

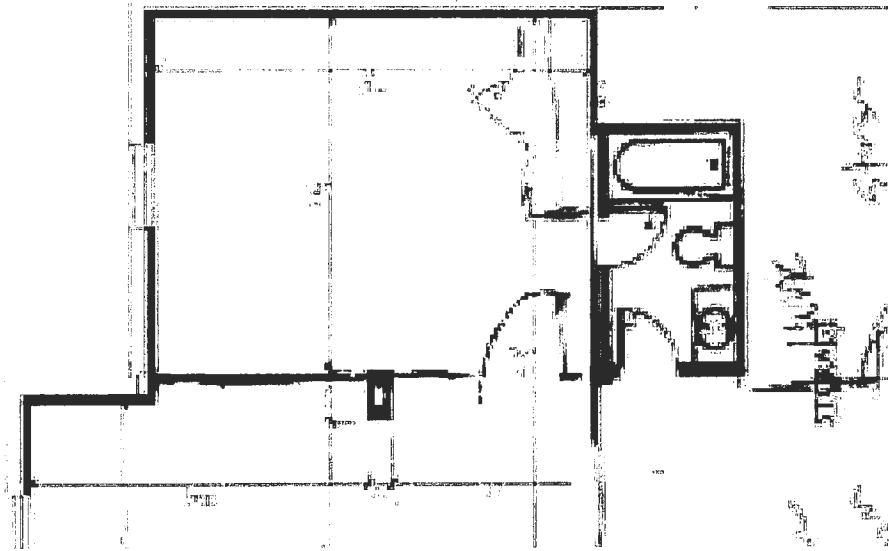
White-Plan Review / Yellow-Applicant / Pink-Permit Division  
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

AUG 30 2023

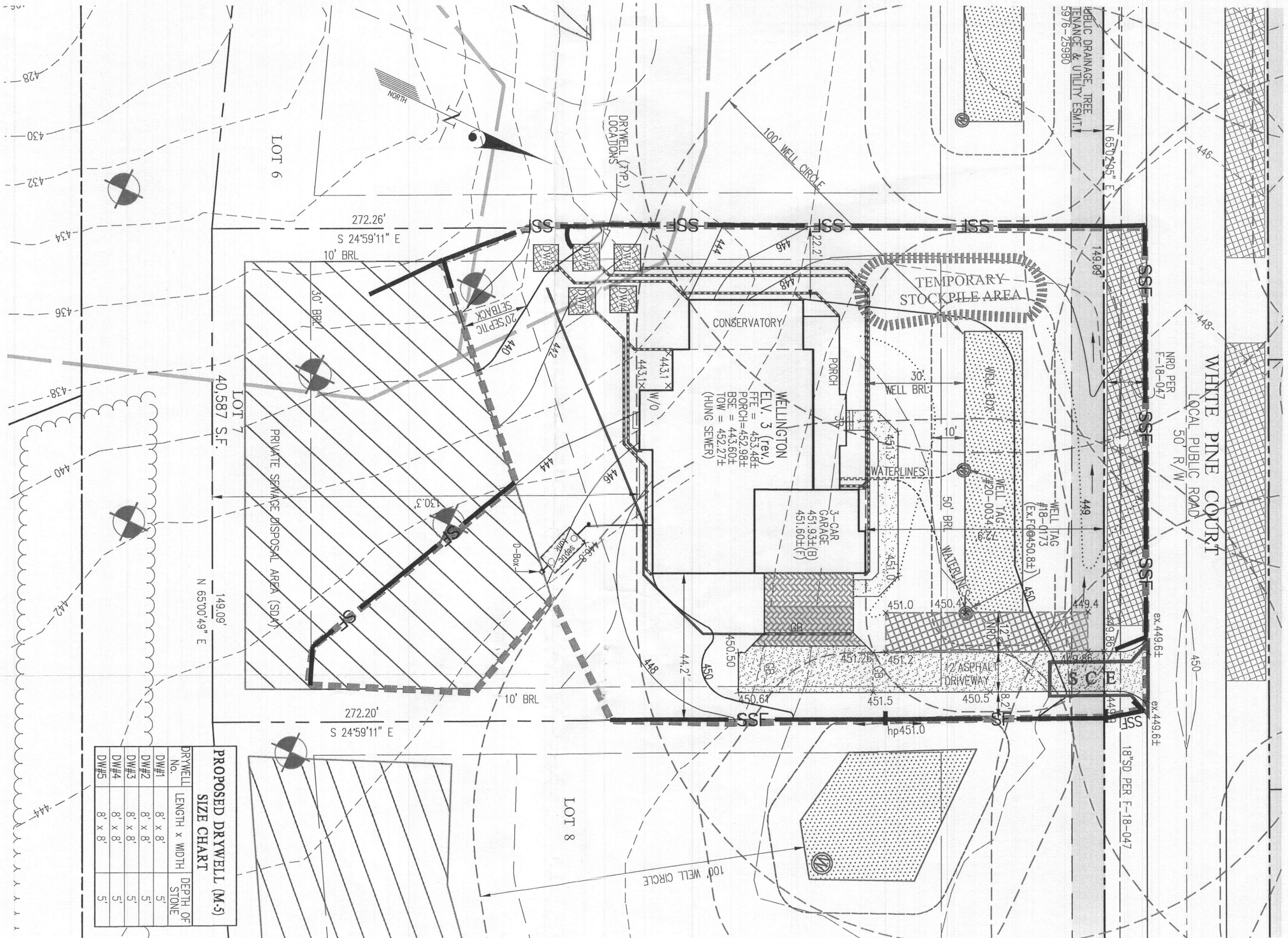
LICENSES & PERMITS  
DIVISION



Fulton Hill lot 7 basement bedroom

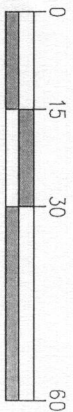






NOTE:  
SEE SHEET 16 OF F-18-047 FOR DRIVEWAY  
GRADING & PERMEABLE PAVEMENT DETAILS

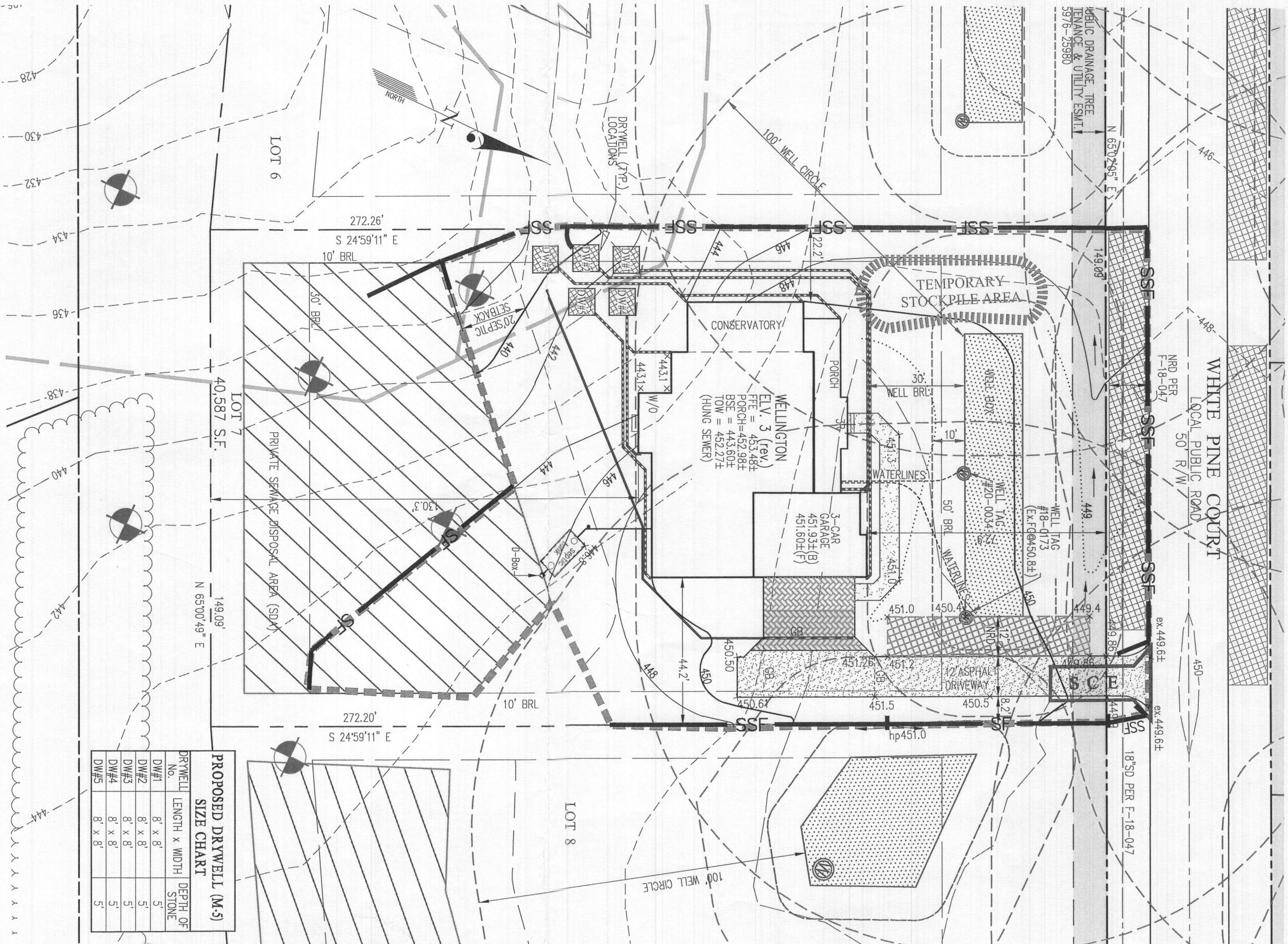
PROPOSED DRYWELL (M-5) SIZE CHART		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
DW#1	8' x 8'	5'
DW#2	8' x 8'	5'
DW#3	8' x 8'	5'
DW#4	8' x 8'	5'
DW#5	8' x 8'	5'



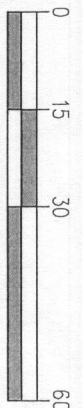
BUILDING PERMIT PLOT PLAN

DES.	PREPARED FOR :	LOT 7 (8225 White Pine Court) FULTON HILL PLAT No. 25976-25980	G. L. W. No.	21096
DRN.	BUILDER/OWNER:	WILLIAMSBURG GROUP 5485 HARPERS FARM RD. COLUMBIA, MD 21044 ATTN: BRUCE HARVEY 443-398-4358 bruceharvey@williamsburgilc.com	ZONING	RR-DEO
CHK.			TAX MAP/GRID	46-3
			DATE	JUNE 2023
			SCALE	1"=30'
			SHEET	1 OF 1





PROPOSED DRYWELL (M-5) SIZE CHART		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
DW#1	8' x 8'	5'
DW#2	8' x 8'	5'
DW#3	8' x 8'	5'
DW#4	8' x 8'	5'
DW#5	8' x 8'	5'



NOTE:  
SEE SHEET 16 OF F-18-047 FOR DRIVEWAY  
GRADING & PERMEABLE PAVEMENT DETAILS

BUILDING PERMIT PLOT PLAN

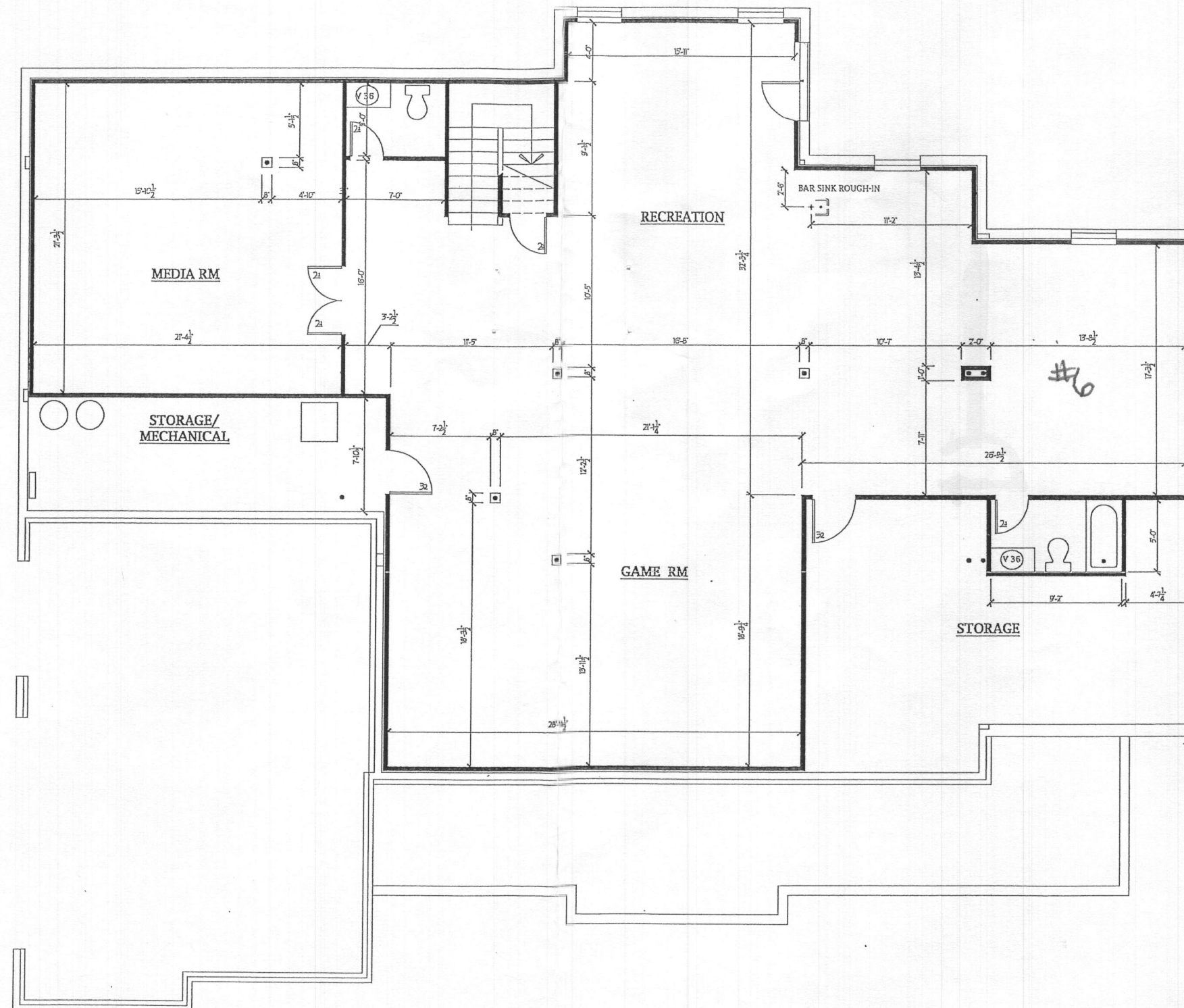
DES.  
DRN.  
CHK.

PREPARED FOR:  
BUILDER/OWNER:  
WILLIAMSBURG GROUP  
5485 HARPERS FARM RD.  
COLUMBIA, MD 21044  
ATTN: BRUCE HARVEY  
443-398-4358  
bruceharvey@williamsburglic.com

LOT 7 (8225 White Pine Court)  
FULTON HILL  
PLAT No. 25976-25980

G. L. W. No. 21096  
ZONING RR-DEO  
TAX MAP/GRID 46-3  
DATE JUNE 2023  
SCALE 1"=30'  
SHEET 1 OF 1





1 BR

BID AND PERMIT SET 5.24.23

**Plymouth Road Architects**  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE: 4.23  
REVISION:

Scale: 1/4"=1'-0"  
Drawn: TIM

Drawing: FINISHED BASEMENT PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
FULTON HILL LOT 7

W23.03  
Project No.

2b