

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Case #

EH-PLANS-23-0

Type

EnvHealth/Environmental Health/Plan Check/Application

Status

In Review

Opened Date

10/19/2023

Single Entry Edit-View Record Form

Application Name

[Redacted]

Description

SFD /CONSTRUCT 2-STORY ADDITION PER PLANS, APPROXIMATELY 800 SQ FT, 1 STORY, Full Basement, 2R, 1FB, 0HB, 0FP, OTHER STRUCTURE = Attached Garage, 1BR, PORCH/DECK

Total Invoiced

0.00

Total Paid

0.00

Balance

0.00

Assigned to Department Current Department

Well and Septic Progr: v

Assigned to Staff Current User

Zack Silvast

Address \* (This section is required.)

New Search Delete Set Primary

<input type="checkbox"/> Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U
<input type="checkbox"/> <input checked="" type="radio"/>	6757		Cortina	DR	High...	MD	20777				

Parcel (This section is not required.)

Search Delete Get Address & Owner Set Primary

<input type="checkbox"/> Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract
0 record(s) found.										

Owner (This section is not required.)

Search Delete Set Primary

<input type="checkbox"/> Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Country/Region
<input type="checkbox"/> <input checked="" type="radio"/>	Nathaniel Williams	6757 Cortina Dr.			Highland	MD	20777	301-502-8932	US

Applicant \* (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type \*

Applicant

Primary

Yes

First Name \*

Adam

Middle Name

Last Name \*

August

Home Phone ((xxx)xxx-xxxx)

Organization Name \*

Clarksville Construction Services

Mobile Phone ((xxx)xxx-xxxx)

Due 11/2  
Plot Plan is the  
Approved PC signed  
9/14/2023  
Approved 11/1/2023  
Zack

(443) 386-3099

E-mail

Business Phone ((xxx)xxx-xxxx)

Preferred Channel

--Select--

Applicant Address

New Look Up Deactivate Remove

Custom Fields

DATE TRACKING

Received Date 10/19/2023 Due Date 11/1/2023

Dates to Complete 14 (Number) Received by Food

Food Review Type --Select-- Equipment Specification Sheets Submitted

Equipment Specification Sheet Received by Community Hygiene

Received by Well and Septic

10/19/2023

FACILITY INFORMATION

Name of Business (dba) \* n/a (Text)

Associated Building Permit Number (Text)

Owner Switch Date

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

Yes No

Does the project include Private Septic? If Yes, forward to WS Program.

Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State.

Yes No

Facility Fax 0 (Text)

Days of Operation 0 (Text)

Does this project have a Building Permit?

Yes No

Building Permit Issued Date

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

Yes No

Does the project include Food Services? If Yes, forward to FP Program.

Yes No

Facility Phone 0 (Text)

Facility Email 0 (Text)

PROPERTY INFORMATION

Water Source Private

Sewage Disposal Private

Design Wastewater Flow 0 (Number)

Permit Type --Select--

PLAT STATS

Total Number of buildable lots to be recorded 0 (Number) Total number of open space lots to be recorded 0 (Number)

Total number of bulk parcels to be recorded 0 (Number) Total number of lots / parcels to be recorded 0 (Number)

New buildable lots created 0 (Number) Date PLAT signed by Health Officer

PLAT Type --Select--

DEVELOPMENT PLANS

Property Type Residential

Plan Version Initial

Signature Required Yes No

Engineer (Text)

Number of paper copies 0 (Number)

Number of mylar copies 0 (Number)

Number of buildable lots created

Number of non-buildable lots created

0  
(Number)  
Total Number of Lots  
0  
(Number)

0  
(Number)  
Associated Plans

WELL AND SEPTIC INTERNAL

State Review Required

Coordinate State Review

Yes  No

Yes  No

Proposed Septic System Type

--Select--

FOOD ESTABLISHMENT FACILITY

Priority Assessment

Licensed Type

--Select--

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

Operating Seasonally Only

If Operating Seasonally. What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

Yes  No

Full Bar?

Yes  No

RESTAURANT AND FOOD SERVICE

Food Service Facility Secondary Category

Total Seating Capacity

--Select--

(Number)

Number of Restrooms

Interior Restaurant Seating Capacity

(Number)

(Number)

Bar Seating Capacity

Outdoor Seating Capacity

(Text)

(Text)

Does the restaurant have outdoor seating

Yes  No

EQUIPMENT

Evaluated non NSF, ANSI, CF or other standards

Description of Refrigeration Units

Yes  No

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

Yes  No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

REFUSE AND RECYCLABLES

Dumpsters Located on a impervious surface?

--Select--

Will there be a grease receptacle?

--Select--

WAREWASHING DISHWASHING

Dishwashing Method

--Select--

HACCP

Plan Review Response Letter Received

Date HACCP Approved by the State

Yes  No



Date HACCP Plan Submitted

HACCP Plan Approved

HACCP Plan Review

Plan Review Letter Mailed

HACCP Plan Revision Submitted

HACCP Fee Type  
--Select--

FINISHING SCHEDULE

Kitchen Floor / Bar Flooring

Kitchen Cove Base

--Select--

--Select--

Storage - Food Storage Flooring

Storage - Food Storage Cove

--Select--

--Select--

Utensil Washing Area Flooring

Utensil Washing Area Cove

--Select--

--Select--

Dressing / Locker Room Flooring

Dressing / Locker Room Cove

--Select--

--Select--

Toilet Area Flooring

Toilet Area Cove

--Select--

--Select--

Walk-in Refrigerator Flooring

Walk-in Refrigerator Cove

--Select--

--Select--

Kitchen Walls

Utensil Washing Area Walls

--Select--

--Select--

Restroom Walls

Are Kitchen Ceilings tiles smooth non-fiberglass backing?

--Select--

Yes  No

Are ceiling rafters exposed ?

Are ceiling tiles in equipment and utensil washing areas, smooth with non-fiberglass backing?

Yes  No

Yes  No

SPECIAL PROCESSING

Does the facility conduct any special processing? If yes, Please describe.

Yes  No

(Text)

AF OWNERS STATEMENT

Owner's Statement Provided Comments - Owner

--Select--

AF Plans and Drawings

A. Drawn to scale and prepared by a licensed engineer or architect

B. Contour plan included

--Select--

--Select--

C. Top and sectional views provided

Comments

--Select--

AF BARRIER FENCING

A. Minimum 6' high barrier around the pool / spa facility

B. Maximum vertical clearance between grade and the bottom of the barrier is 4 inches

--Select--

--Select--

C. Fence pickets or barrier openings do not exceed 4 inches

D. A barrier with horizontal members less than 45 inches apart measured top to top does not have:

--Select--

--Select--

1. vertical openings > 1-3/4 inches in width

2. horizontal members on the outside of the fence

--Select--

--Select--

E. The barrier main access gate:

1. is located toward the shallow end of the pool

--Select--

--Select--

2. has a latch release at least 54 inches from grade level and is lockable

3. minimum width of 4 feet and is hung to open away from the pool or spa

--Select--

--Select--

4. complies with all disability regs (see COMAR 05.02.02)

F. Minimum 5' high barrier for semipublic pool or spa

--Select--

--Select--

G. A wading or infant pool is separated from a pool or spa by a barrier that is 3' or higher. Comments

--Select--

AF INFORMATION

Plan Review Type

Aquatic Facility Project Description

--Select--

(Text)

County Building Permit Number

Expected Completion of Construction

(Text)

Total Aquatic Facilities at Venue **Sewer Service**  
 --Select--

(Number)  
**Water Service**  
 --Select--

**County Plumbing Permit Number**  
 (Text)

**County Electrical Permit Number**  
 (Text)

**AF DECKS**

A. Completely surrounds the pool with a minimum width of 4' and an average width of 6'. --Select--

B. Is in conformance with applicable ANSI/NSPI-1 (2003) standards for decking (7.1.1 - 7.1.17) --Select--

C. The slope of the deck is away from the pool or spa, towards points of disposal --Select--

D. The deck has deck drains or other disposal points. --Select--

E. An expansion joint between the coping and the deck is sealed with a water tight sealant. --Select--

F. The deck's surface is slip resistant, nonskid & cleanable --Select--

G. Accessible hose bibs on the deck at 150 foot intervals --Select--

H. Note: Additional requirements if deck surface is not concrete --Select--

Comments

**AF EQUIPMENT ROOM**

A. The facility has an equipment room that houses the pool and/or spa circulation --Select--

B. Weather tight construction and adequate area for safe access to equipment --Select--

C. A minimum ceiling height of 7'6" --Select--

D. A waterproof floor that drains to a floor drain --Select--

E. A lockable entrance that allows complete access to the room --Select--

F. A minimum of 20 foot candles of artificial illumination --Select--

G. Ventilation sized at 2 cubic feet per minute per square foot of floor area --Select--

H. A hose bib with an atmospheric vacuum breaker and unencumbered by other equipment --Select--

I. A water resistant data sheet (COMAR 10.17.01.23) --Select--

Comments

**AF CIRCULATION SYS & COMP**

A. Presence and proper placement of both the influent and effluent pressure gauges --Select--

B. A vacuum or compound gauge on the influent side of the pump --Select--

C. Proper placement of a flow meter that is readable in gpm with the min and max flow rate --Select--

D. A thermometer on the return line to pool or spa when heated --Select--

E. Presence of sight glass and manually operated air release valve --Select--

F. Turnover rates (COMAR 10.17.01.25) --Select--

a. Pool or spa is constructed to achieve the required minimum turnover rate with 24-hour flow --Select--

b. Flow through a circulation system is between the minimum turnover rate and the design --Select--

G. Head Loss Calculations --Select--

1. Calculation of piping head loss using the Hazen- Williams formula --Select--

2. Determination of a clean and dirty total dynamic head --Select--

H. Ensure that the surface to bottom flow ratio is 80 % surface and 20 % bottom --Select--

I. Filter Capacity --Select--

1. Filter operates within the filter design rate --Select--

2. Has a filtration capacity sufficient in the range between the minimum rate and design flow rate --Select--

3. Pump curves for pool pumps are provided --Select--

J. Ensure the pool is not interconnected with a spa or wading pool --Select--

K. Verify that circulation systems components are NSF approved by ANSI --Select--

L. Verify that the manufacturer and model number information are provided for items listed in "K" --Select--

M. Verify that the chemical feeder can provide the minimum disinfectant residual --Select--

N. Vacuum Systems --Select--

1. System is available for cleaning the pool or spa floor --Select--

2. For circulation systems with greater than 4 skimmers the vacuum system is separate --Select--

3. Verify the vacuum line connection is prior to pump hair and lint strainer --Select--

4. Verify the vacuum line connection is prior to pump hair and lint strainer --Select--

O. Valves, controls, gauges, filters, feeders, pumps, piping are accessible and color coded --Select--

P. Note: see regs for Carbon Dioxide feeders & Ozone Systems --Select--

Comments

**AF DIVING AREA AND EQUIPMENT**

A. Meets minimum dimensions and is compliance with COMAR 10.17.01.27 & ANSI/NSPI-1 2003 --Select--

Comments

AF SUCTION ENTRAPMENT

- A. Main drain line for pool is connected to a minimum two main drain outlets  --Select--
  - B. A vacuum fitting is capped and a line valve is in the closed position when not in use  --Select--
  - C. Drain will be covered with a securely attached drain cover  --Select--
  - D. Skimmers must be connected to an equalization line, main drain line, vent or another skimmer  --Select--
  - E. Virginia Graeme Baker (VGB) Compliant  --Select--
  - F. Equalizer covers are VGB Compliant  --Select--
- Comments

AF ILLUMINATION

- A. Even illumination of water, deck and walkways  --Select--
  - B. A combination of underwater lighting and deck lighting so that  --Select--
  - 1. Underwater light .5 watts per sqft of surface area and deck lighting .6 watts per sqft of deck  --Select--
  - 2. Overhead lighting yields 2 watts per sqft of required deck area  --Select--
  - C. Walkway lighting yields a least 0.6 watts per square foot or 15 footcandles of light  --Select--
- Comments

AF VENTILATION OF AN INDOOR AF

- A. A ventilating system capable of:  --Select--
  - 1. Exhausting 1 1/2 cfm of air per square foot of enclosed area; or  --Select--
  - 2. Dehumidifying the recirculated air from the enclosed area  --Select--
- Comments

AF PLUMBING WATER SPLY&DISPOSAL

- C. Riser diagram for potable water and source of water supply  --Select--
  - D. Has at least one drinking fountain for every 5,000 square feet of water surface area  --Select--
  - E. Fill spout is within 10 inches of a ladder or handrailing or in front of the guard stand  --Select--
  - F. Backflow Protection  --Select--
  - 1. Backflow protection is provided for a potable water supply and for wastewater  --Select--
  - A. Permitted with DILP for all applicable State (COMAR) & local plumbing requirements  --Select--
  - 2. An air gap is provided that is 2 times the diameter of the fill spout from the flood rim level  --Select--
  - B. Riser diagram for sewerage and method of disposal  --Select--
  - 3. Backflow protection where the water enters the facility or nearby fill connections to the pool  --Select--
  - G. Backwash discharge  --Select--
  - 1. Verify whether discharge is to sanitary or storm sewer  --Select--
  - 2. If storm sewer or ground water discharge proposed ensure that MDE information is relayed  --Select--
- Comments

AF BATHHOUSE FACILITY

- A. Living quarters more than 500ft from the pool entrance and a bathhouse facility  --Select--
  - 1. A bathhouse, toilets, hand sinks and showers are within 100' of an entrance gate to a pool  --Select--
  - 2. One water closet, lavatory and urinal shall be provided for the first 100 male users.  --Select--
  - 3. Two water closets and lavatories shall be provided for the first 100 female users  --Select--
  - 4. A minimum of two shower heads is provided for each sex for the first 100 users  --Select--
  - 5. Each 2 gal min shower is to have an approved pressure balanced anti-scald device  --Select--
  - 6. Soap dispensers for liquid or dry powdered soap provided for each lavatory  --Select--
  - 7. Toilet paper holders & toilet paper shall be provided for each water closet (ANSI/NSPI-1)  --Select--
  - 8. Sanitary napkin disposable receptacles installed for toilets or shower area designated for users  --Select--
  - 9. Baby changing table provided (ANSI/NSPI-1 19.6.12)  --Select--
  - 10. Adequate lighting and ventilation provided for each restroom facility  --Select--
  - 11. Floors have a slip resistant surface with adequate floor drains  --Select--
  - 12. An adequate number of hose bibs are provided for each facility to ensure proper cleaning  --Select--
- Comments

AF ADA DISABLED ACCOMM

- A. Bathhouse Entrances, Exits, Fixtures, Etc.  --Select--
  - B. Pool or Spa Gates, Doors Entrances and Exits  --Select--
  - C. Available ADA self operating handicap lifts , ramps and or transfer walls  --Select--
- Comments

**AF BATHER LOAD**

- A. Number of people in 5ft or less for every 12 sq ft B. Number of people in 5ft or more for every 15 sq ft
- (Text) (Text)
- C. Number of people in diving area for every 300sq ft
- (Text)

**AF MISCELLANEOUS**

- Adequate Pool Chemistry Test Kit Adequate First Aid Equip and Signs
- Select-- --Select--
- Comments

**AGENCY-SPECIFIC INFORMATION**

**Legacy ID Cross Reference**

(Text)

**Associated GIS Features** *(This section is not required.)*

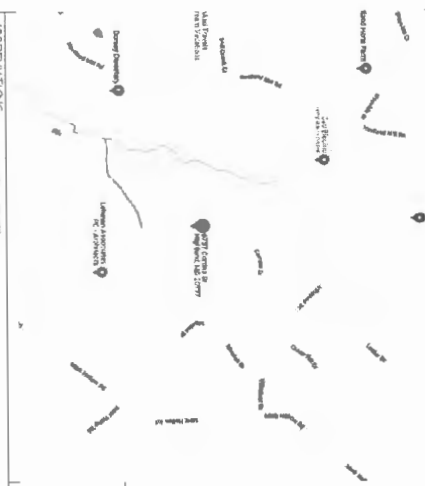
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0 record(s) found.

Submit Cancel

**SITE LOCATION MAP**



**REVISIONS & SECTION TO THE WILLIAMS RESIDENCE PER PLAN NO. 2011**

NO.	DATE	DESCRIPTION	BY	CHKD.
1	01/13/2023	ISSUED FOR PERMITS	CS	CS
2	01/13/2023	REVISED PER PERMITTING	CS	CS
3	01/13/2023	REVISED PER PERMITTING	CS	CS
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100	01/13/2023	REVISED PER PERMITTING	CS	CS

**PROJECT INFORMATION**

1. THESE CONSTRUCTION WORKS ARE NOT TO BE CONSIDERED AS A SUBSTITUTE FOR ANY OTHER PROFESSIONAL SERVICES THAT MAY BE REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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10/13/2023  
Pulled from DLS

**GENERAL NOTES**

- ALL WORK SHALL COMPLY TO ALL LOCAL AND STATE REGULATIONS OF THE PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND ALL APPLICABLE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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**REVISIONS**

NO.	REVISION/ISSUE	DATE

**PROJECT INFORMATION**

PROJECT NAME: WILLIAMS RESIDENCE ADDITION

DATE: 06-09-23

DRAWN BY: JIP

REVIEW BY: DKC

**CLARKSVILLE CONSTRUCTION SERVICES, INC.**

7380 ROCKY CREEK DRIVE #123

BANOWEN, MD. 21036

EST. 1989

**WILLIAMS RESIDENCE ADDITION**

6701 GARDEN GROVE

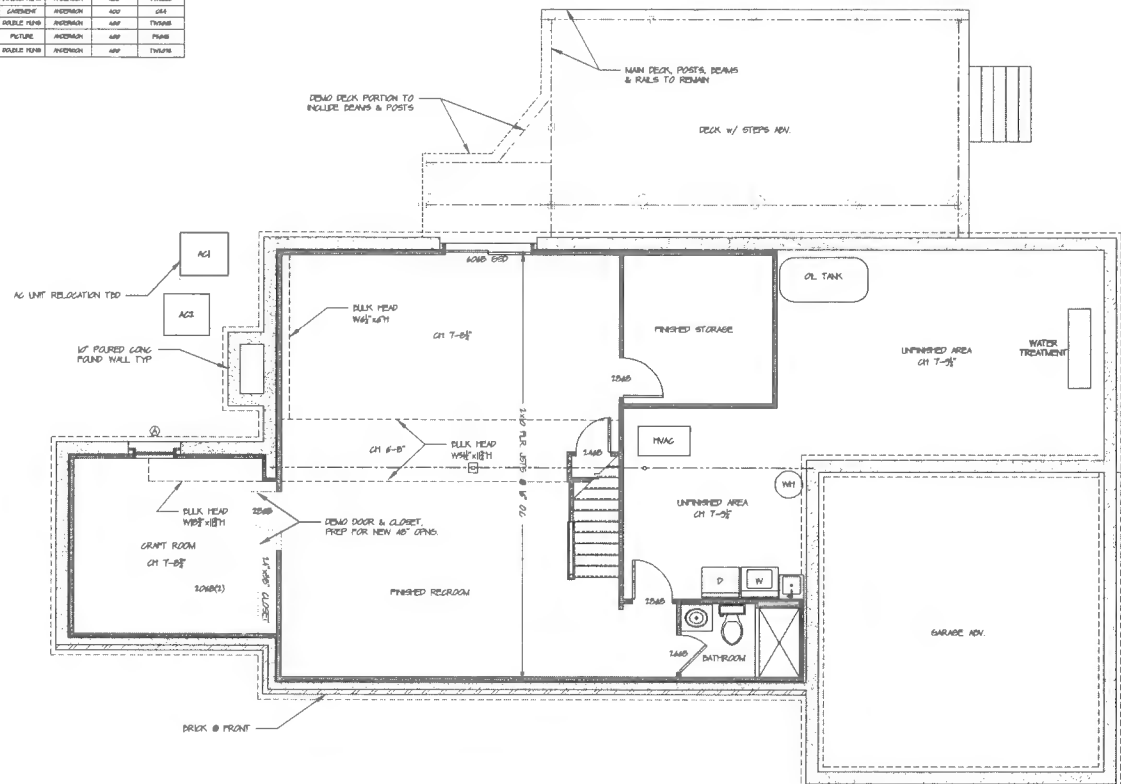
HERLAND, MD 20771

**PRELIMINARY CONSTRUCTION X PERMIT**

SHEET: 05



EXISTING WINDOW SCHEDULE					
NUMBER	SIZE	TYPE	MANUFACTURER	SERIES	APPROXIM. #
1	6'-0" x 4'-0"	DOUBLE HUNG	ANDERSON	AWP	FINISH
2	6'-0" x 4'-0"	DOUBLE HUNG	ANDERSON	AWP	FINISH
3	6'-0" x 4'-0"	CASEMENT	ANDERSON	AWP	1/4"
4	6'-0" x 4'-0"	DOUBLE HUNG	ANDERSON	AWP	FINISH
5	6'-0" x 4'-0"	PICTURE	ANDERSON	AWP	FINISH
6	6'-0" x 4'-0"	DOUBLE HUNG	ANDERSON	AWP	FINISH



1/8" = 1'-0" EXISTING FOUNDATION/BASEMENT PLAN

**GENERAL NOTES**

- FIELD VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS.
- CONFIRM EXACT FOUNDATION DIMENSIONS BEFORE STARTING FRAMING, REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALL DIMENSIONS SHOWN ARE TO FRAMED WALLS.
- UNLESS OTHERWISE NOTED, FRAMED WALLS ARE 2x4 @ 16" O.C.
- FLOOR JOIST ARE 2x10 @ 16" O.C.
- FOUNDATION WALLS ARE 10" PAURED CONCRETE, FLOOR JOIST 2x12 @ 16" O.C.
- CEILING HEIGHT FINISHED AREA T-04" - T-05" UNFINISHED AREA T-01"

No	Revision/Issue	Date

**CLARKSVILLE CONSTRUCTION SERVICES, INC.**  
EST. 1999

7380 COCA COLA DRIVE #123  
HANOVER, MD. 21076

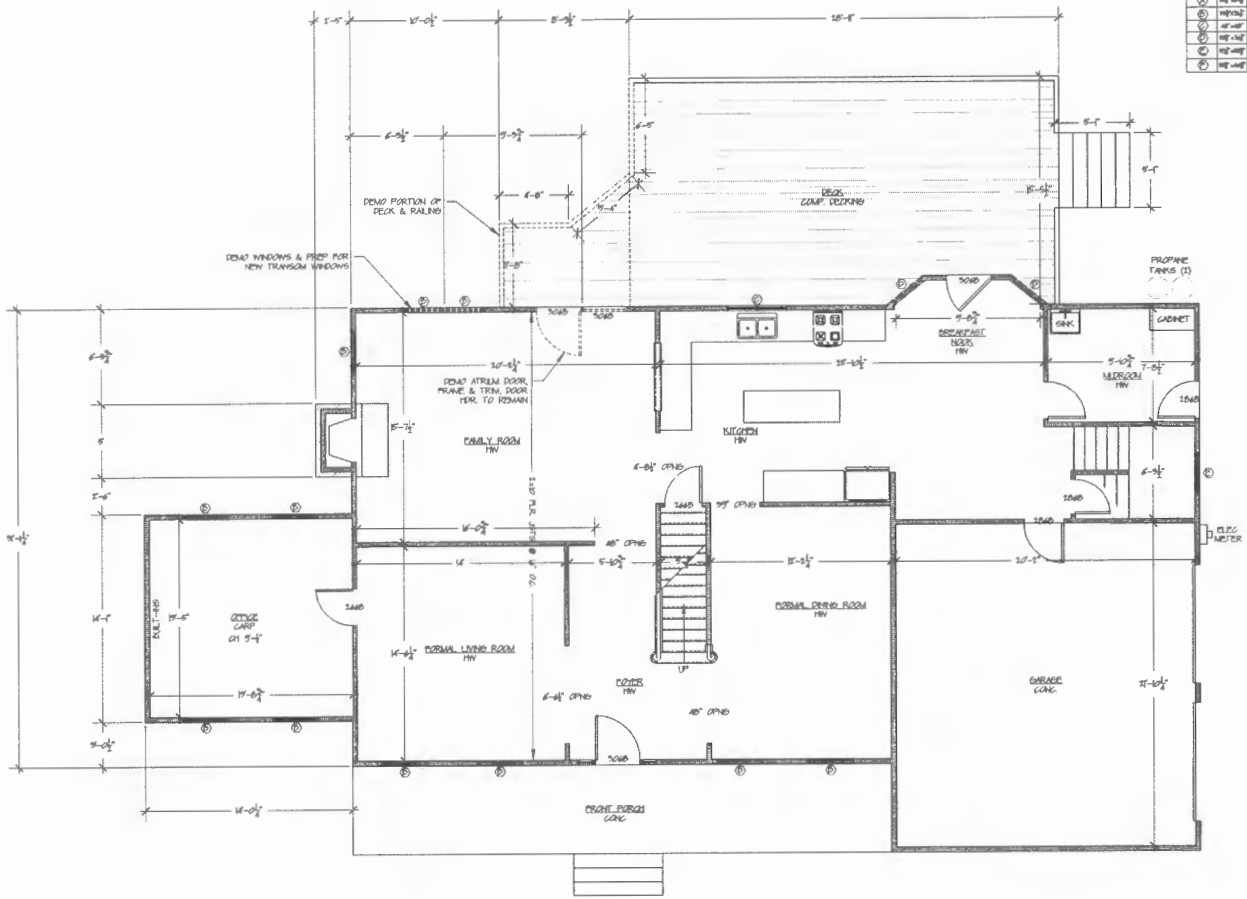
**WILLIAMS ADDITION**

6757 CORTINA DRIVE  
HIGHLAND, MD 20777

PRELIMINARY  
CONSTRUCTION  
X PERMIT

PROJECT: A47071	B1
DATE: 04-06-23	
DRAWN BY: JLP	
REV. & PROP. BY: DNG	

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WINDOW	SIZE	TYPE	MANUFACTURER	GRADE	REVISION #
①	4'-0" x 6'-0"	DOUBLE HUNG	ANDERSON	600	THRU
②	4'-0" x 6'-0"	DOUBLE HUNG	ANDERSON	600	THRU
③	4'-0" x 6'-0"	DOUBLE HUNG	ANDERSON	600	THRU
④	4'-0" x 6'-0"	DOUBLE HUNG	ANDERSON	600	THRU
⑤	4'-0" x 6'-0"	DOUBLE HUNG	ANDERSON	600	THRU
⑥	4'-0" x 6'-0"	DOUBLE HUNG	ANDERSON	600	THRU

EXISTING 1ST FLOOR PLAN  
1" = 1'-0"

GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
- CONFIRM EXACT FOUNDATION DIMENSIONS BEFORE STARTING FRAMING. REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALL DIMENSIONS SHOWN ARE TO FRAMED WALLS UNLESS OTHERWISE NOTED. FRAMED WALLS ARE 2x4 @ 16" O.C.
- CEILING HEIGHT 9'-0"

No.	Revision/Issue	Date

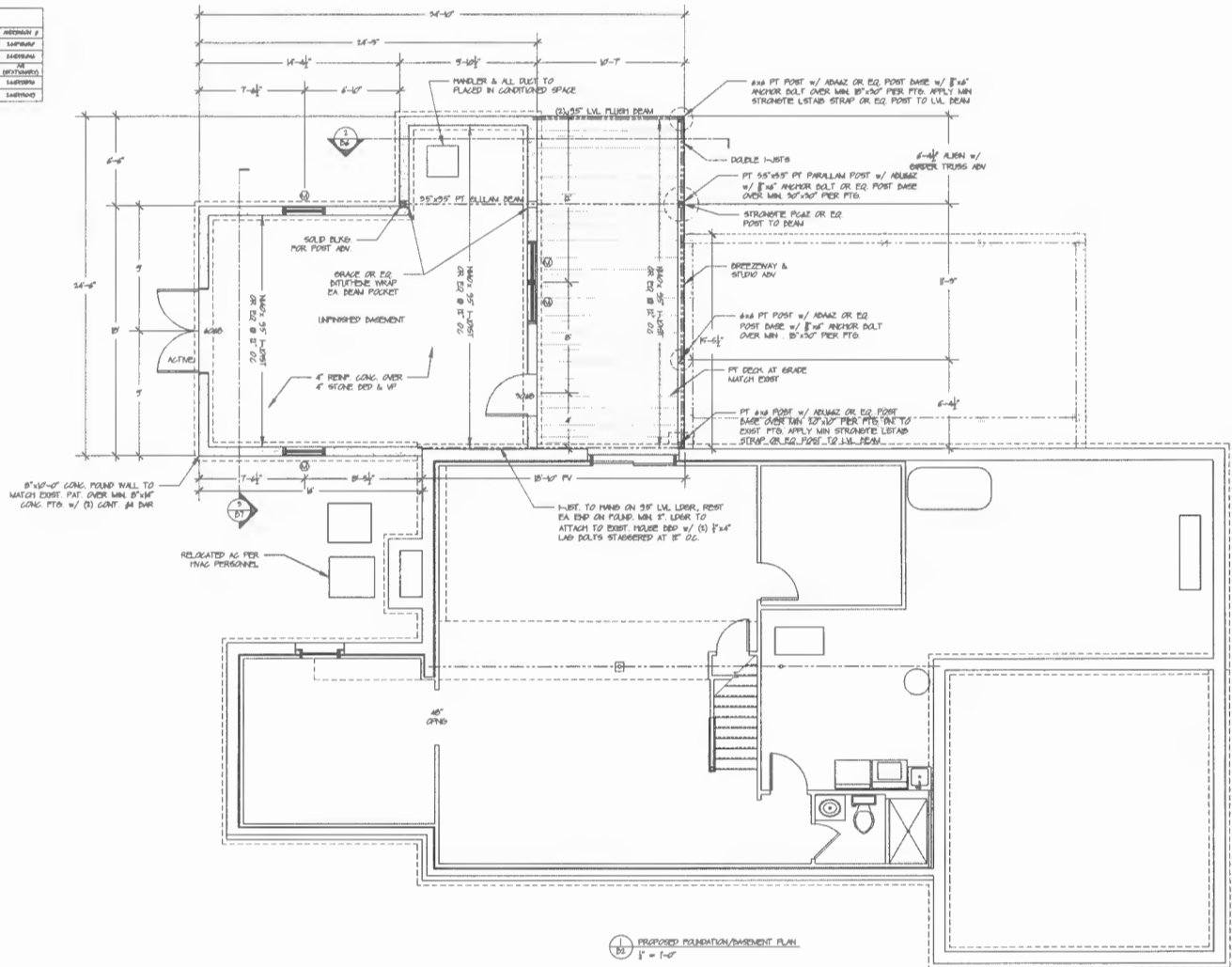
  
**CLARKSVILLE CONSTRUCTION SERVICES, INC.**  
 EST. 1999  
 7380 COCA COLA DRIVE #123  
 HANOVER, MD. 21076

WILLIAMS ADDITION  
 6787 CORTINA DRIVE  
 HIGHLAND, MD 20771

PRELIMINARY  
 CONSTRUCTION  
 X PERMIT

PROJECT: AM7071	SHEET:
DATE: 06-04-23	B3
DRAWN BY: JP	
REV. & PROP. BY: DMC	

PROPOSED WINDOW SCHEDULE				
SYMBOL	SIZE	TYP	MANUFACTURER	REMARKS
(1)	4'-0" x 6'-0"	TRANSOM	WEDGEMAN	LAP
(2)	4'-0" x 6'-0"	DOUBLE HUNG	WEDGEMAN	LAP
(3)	4'-0" x 6'-0"	TRANSOM	WEDGEMAN	LAP
(4)	4'-0" x 6'-0"	DOUBLE HUNG	WEDGEMAN	LAP



GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS.
- CONFIRM EXACT FOUNDATION DIMENSIONS BEFORE STARTING FRAMING. REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALL DIMENSIONS SHOWN ARE TO FRAMED WALLS UNLESS OTHERWISE NOTED. FRAMED WALLS ARE 2x4 @ 16" OC.
- EXISTING FOUNDATION WALLS ARE 12" FURRED CONCRETE.
- EXISTING HOUSE FLOOR JOIST 2x12 @ 16" OC.
- BOTTOM OF JOIST TO FLOOR HEIGHT = 7'-9"
- STUDY SUPPORT POSTS TO BE PVC SLEEVED OR WRAPPED.
- EXPOSED STUDY FLOOR SUPPORT BEAM TO BE PVC WRAPPED.

No.	Revision/Issue	Date

**CLARKSVILLE CONSTRUCTION SERVICES, INC.**  
EST. 1989

7380 COCA COLA DRIVE #123  
HANOVER, MD. 21076

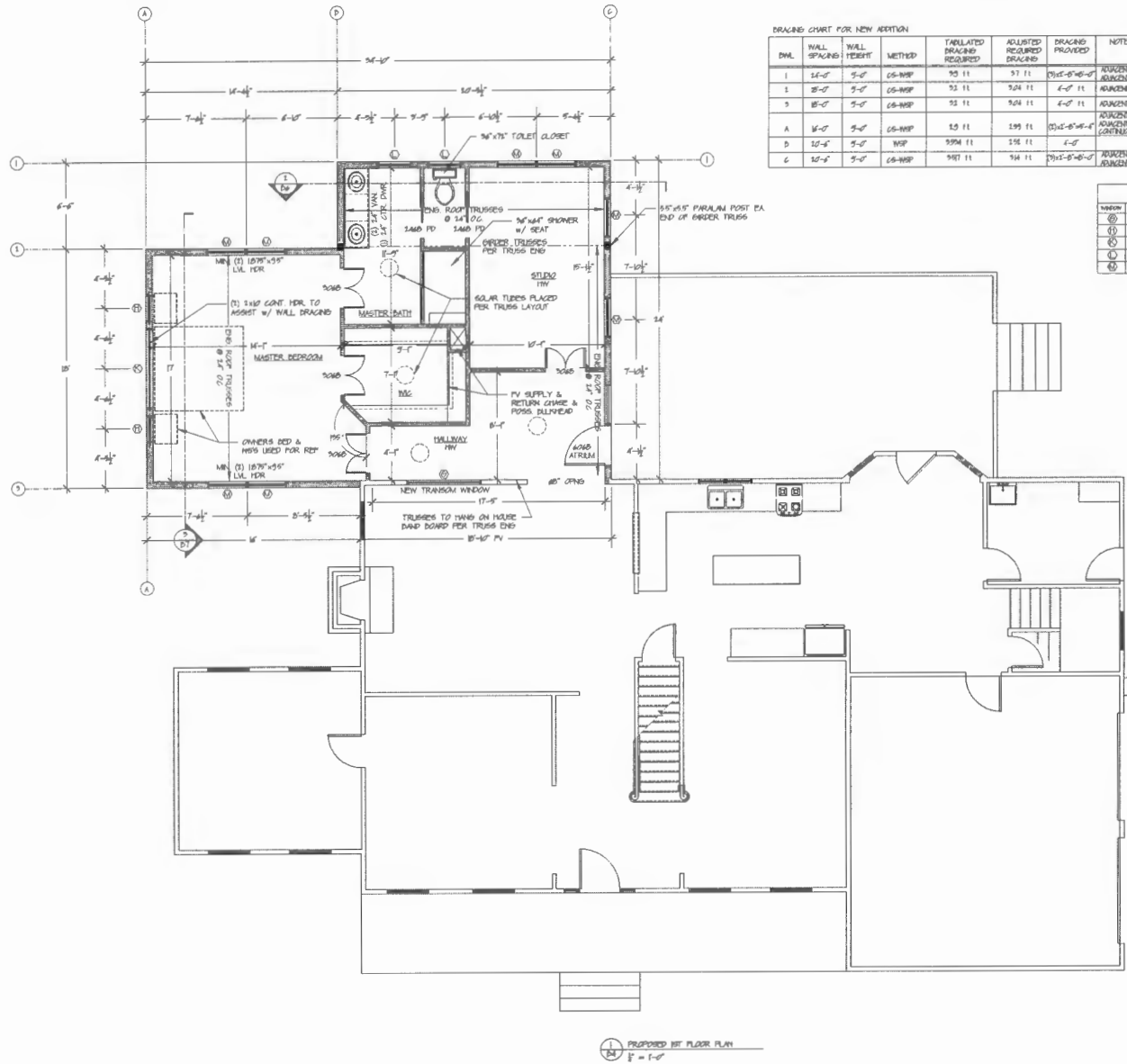
WILLIAMS ADDITION  
6787 CORTINA DRIVE  
MIDDLELAND, MD 20771

PRELIMINARY  
CONSTRUCTION  
X PERMIT

PROJECT: AM7971  
DATE: 04-08-23  
DRAWN BY: JLP  
REV. & PROP. BY: DMC

SHEET:  
B2

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BRACING CHART FOR NEW ADDITION

DWL	WALL SPACING	WALL HEIGHT	METHOD	TABULATED BRACING REQUIRED	ADJUSTED BRACING REQUIRED	BRACING PROVIDED	NOTES
1	14'-0"	9'-0"	CS-WSP	35 11	37 11	3x12-6'-0"-0"	ADJACENT TO CLEAR OPENING 14'-0" BY 9'-0" PROVED ADJACENT TO CLEAR OPENING 14'-0" BY 9'-0" PROVED
2	15'-0"	9'-0"	CS-WSP	33 11	32 11	4'-0" 11	ADJACENT TO CLEAR OPENING 14'-0" BY 9'-0" PROVED
3	15'-0"	9'-0"	CS-WSP	33 11	32 11	4'-0" 11	ADJACENT TO CLEAR OPENING 14'-0" BY 9'-0" PROVED
A	14'-0"	9'-0"	CS-WSP	35 11	35 11	3x12-6'-0"-0"	ADJACENT TO CLEAR OPENING 14'-0" BY 9'-0" PROVED ADJACENT TO CLEAR OPENING 14'-0" BY 9'-0" PROVED
D	10'-0"	9'-0"	WSP	55 11	55 11	4'-0"	CONTINUOUS HEADER OVER ALL WINDOWS TO ASSIST W/ BRACING
G	10'-0"	9'-0"	CS-WSP	34 11	34 11	3x12-6'-0"-0"	ADJACENT TO CLEAR OPENING 10'-0" BY 9'-0" PROVED ADJACENT TO CLEAR OPENING 10'-0" BY 9'-0" PROVED

PROPOSED WINDOW SCHEDULE

WINDOW	SIZE	TYPE	MANUFACTURER	GRADE	SCREENING
(1)	14'-0" x 9'-0"	TRANSOM	ALUMINUM	SLIP	SCREENING
(2)	14'-0" x 9'-0"	DOUBLE HUNG	ALUMINUM	SLIP	SCREENING
(3)	14'-0" x 9'-0"	TRANSOM	ALUMINUM	SLIP	SCREENING
(4)	14'-0" x 9'-0"	DOUBLE HUNG	ALUMINUM	SLIP	SCREENING
(5)	14'-0" x 9'-0"	TRANSOM	ALUMINUM	SLIP	SCREENING

GENERAL NOTES

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- CONFIRM EXACT FOUNDATION DIMENSIONS BEFORE STARTING FRAMING, REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALL DIMENSIONS SHOWN ARE TO FRAMED WALLS.
- UNLESS OTHERWISE NOTED, FRAMED WALLS ARE 2x4 @ 16" O.C.
- CEILING HEIGHT AS NOTED.
- UNLESS OTHERWISE NOTED, ALL HEADERS TO BE (2) 2x10 SPT.

No. Revision/Issue Date

  
**CLARKSVILLE CONSTRUCTION SERVICES, INC.**  
EST. 1993  
 7380 COCA COLA DRIVE #123  
 HANOVER, MD. 21076

**WILLIAMS ADDITION**  
 #757 GORTINA DRIVE  
 HIGHLAND, MD 20771

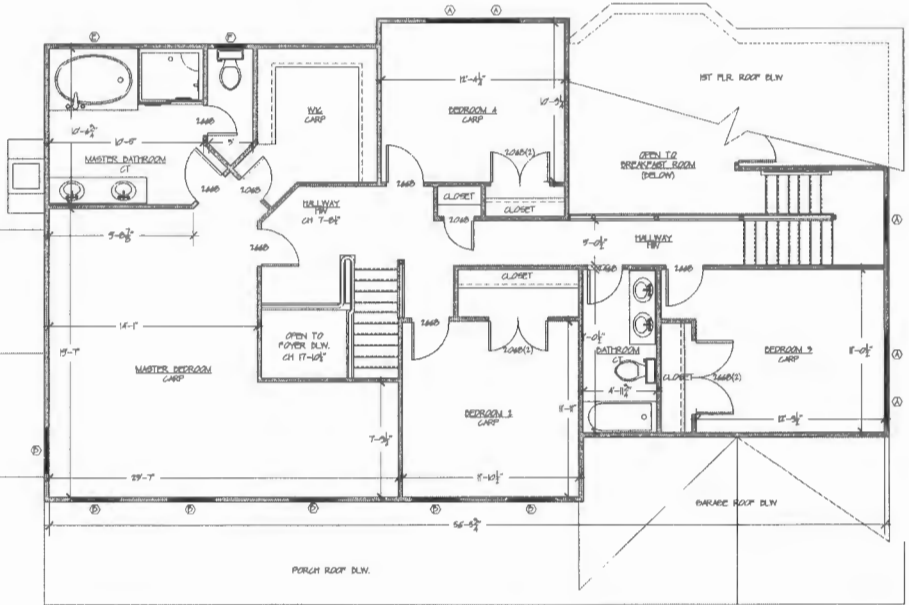
PRELIMINARY  
 CONSTRUCTION  
 X PERMIT

PROJECT: AM791	SHEET: B4
DATE: 06-08-23	
DRAWN BY: JP	
REV. & PROP. BY: DMC	

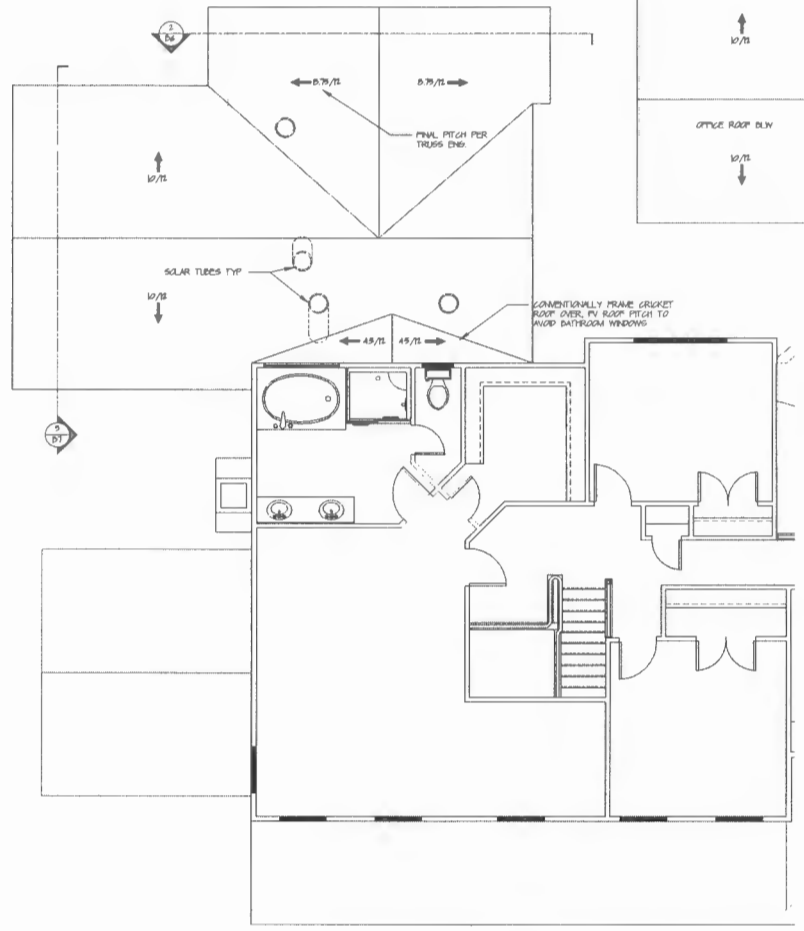
PREPARED BY: FLOOR PLAN  
 1/4" = 1'-0"

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EXISTING WINDOW SCHEDULE					
NO.	SIZE	TYPE	MANUFACTURER	FINISH	REMARKS
1	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
2	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
3	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
4	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
5	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
6	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
7	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
8	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
9	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE
10	12'-0" x 12'-0"	DOUBLE HUNG	ANDERSON	AWP	TRIPLE



1 EXISTING 2ND FLOOR PLAN  
1/8" = 1'-0"



1 PROPOSED ADDITION ROOF PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

- FIELD VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS

No.	Revision/Issue	Date

**CLARKVILLE CONSTRUCTION SERVICES, INC.**  
EST. 1989  
7380 COCA COLA DRIVE #123  
HANOVER, MD. 21076

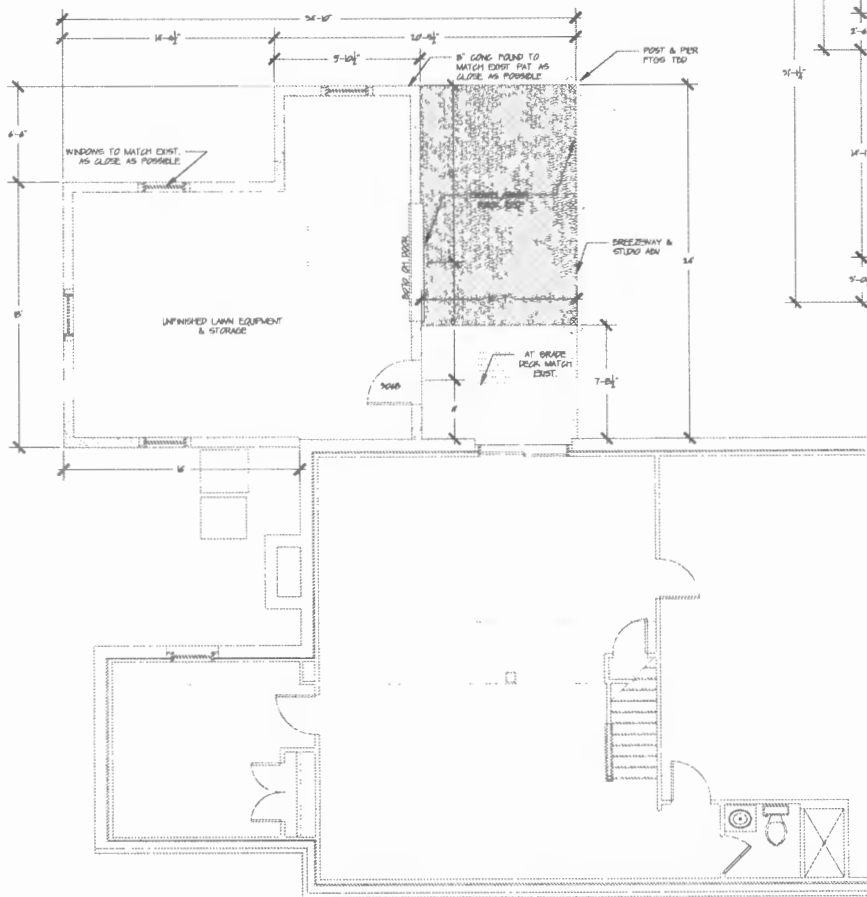
**WILLIAMS ADDITION**  
677 CORTINA DRIVE  
HIGHLAND, MD 20771

PRELIMINARY  
CONSTRUCTION  
X PERMIT

PROJECT: A47571  
DATE: 06-06-23  
DRAWN BY: JJP  
REV. & PROP. BY: DMC

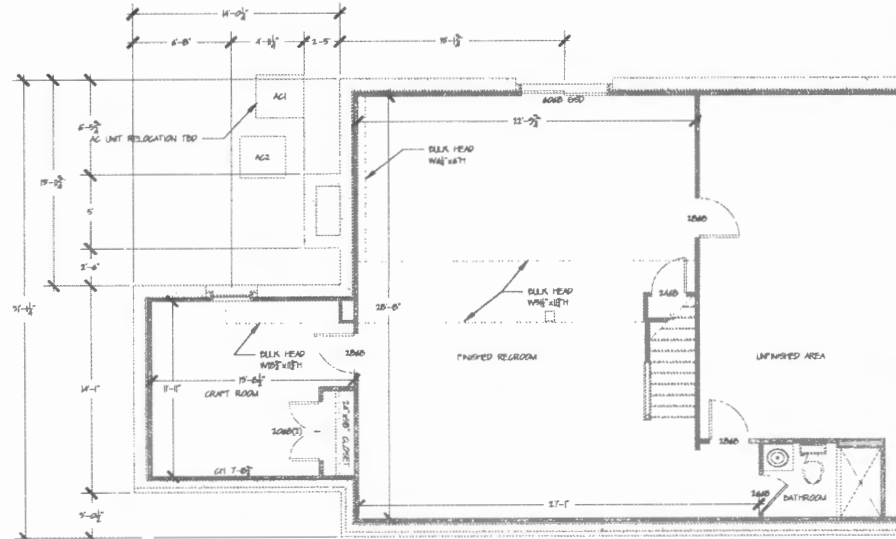
SHEET:  
B5

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1  
2

PROPOSED FOUNDATION/BASEMENT PLAN  
1" = 1'-0"



1  
2

EXISTING PARTIAL FOUNDATION/BASEMENT PLAN  
1" = 1'-0"

#### GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
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- ALL DIMENSIONS SHOWN ARE TO FRAMED WALLS.
- UNLESS OTHERWISE NOTED, FRAMED WALLS ARE 2x4 @ 16" O.C.
- FOUNDATION WALLS ARE 10" POURED CONCRETE. FLOOR JUST 2x10 @ 16" O.C.
- CEILING HEIGHT 7'-8 1/2"

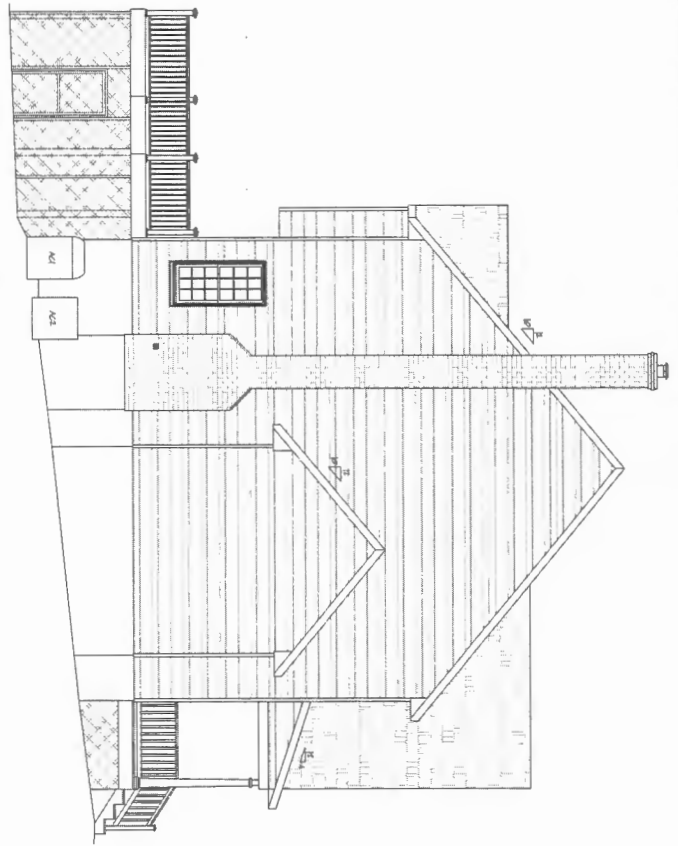
No	Revision/Issue	Date

  
**CLARKVILLE CONSTRUCTION SERVICES, INC.**  
 EST. 1999  
 12011 GUILFORD RD. #101  
 ANNAPOLIS JUNCTION, MD. 20701

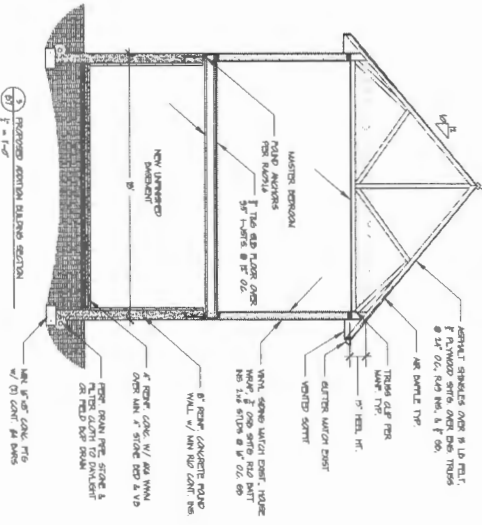
**WILLIAMS ADDITION**  
 6797 CORTINA DRIVE  
 HIGHLAND, MD 20777

<input checked="" type="checkbox"/> PRELIMINARY
<input checked="" type="checkbox"/> CONSTRUCTION
<input checked="" type="checkbox"/> PERMIT

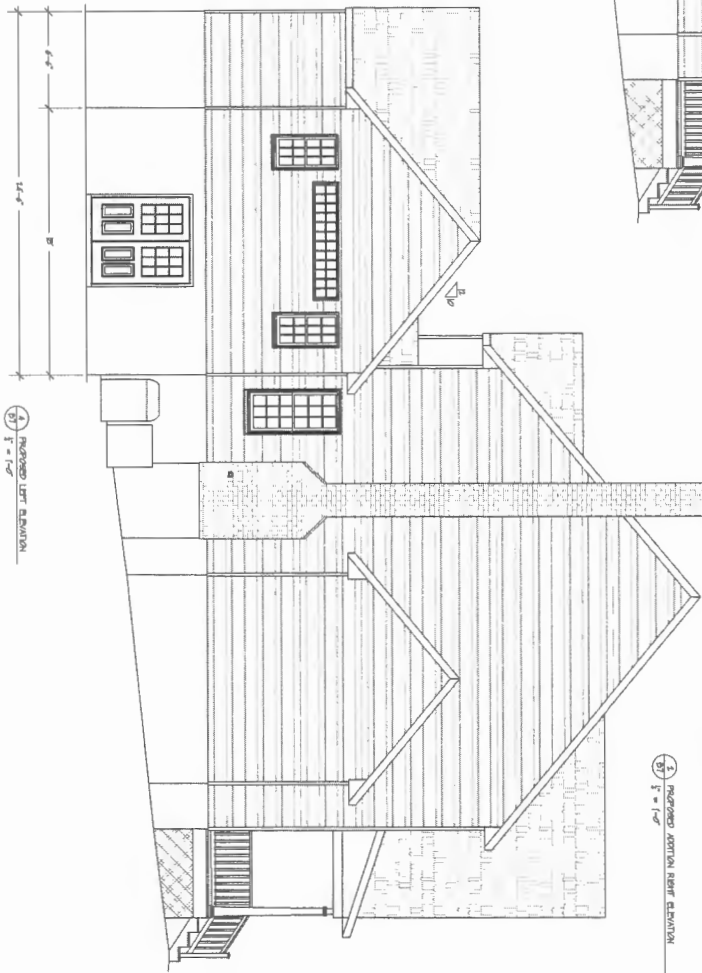
PROJECT: AN7M2	SHEET: <b>B1</b>
DATE: 12-15-22	
DRAWN BY: JJP	
REV & PROP. BY: DNE	



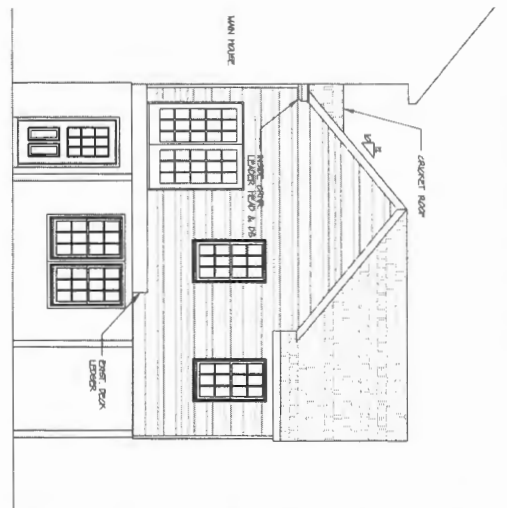
2) FINISHED ADDITION LEFT ELEVATION  
 1/8" = 1'-0"



3) FINISHED ADDITION BALANCE SECTION  
 1/8" = 1'-0"



1) FINISHED LEFT ELEVATION  
 1/8" = 1'-0"



3) FINISHED ADDITION RIGHT ELEVATION  
 1/8" = 1'-0"

GENERAL NOTES

NO	Revision/Issue	DATE

  
**CLARKSVILLE CONSTRUCTION SERVICES, INC.**  
 EST. 1988  
 7390 COOK COLD DRIVE #123  
 HANOVER, MD. 21076

**WILLIAMS ADDITION**  
 4371 CARTINA DRIVE  
 HIGHLAND, MD 21077

PRELIMINARY  
 CONSTRUCTION  
 X PERMIT

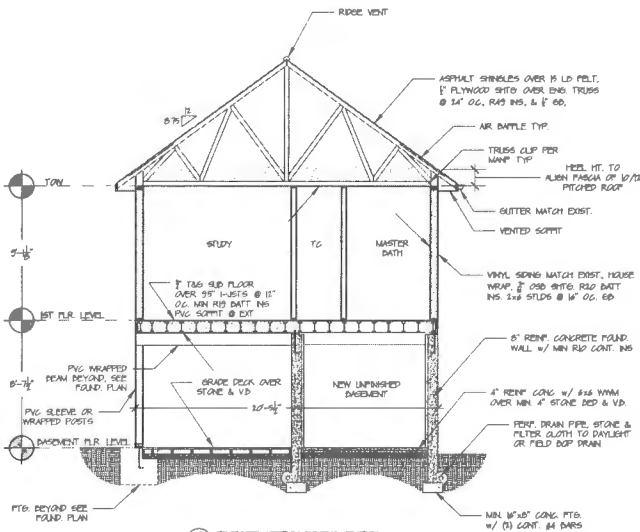
PROJECT: AM791  
 DATE: 08-04-25  
 DRAWN BY: JP  
 REV. & PROP. BY: DW  
B7



1 EXISTING REAR ELEVATION  
 $\frac{1}{8}'' = 1'-0''$



2 PROPOSED REAR ELEVATION  
 $\frac{1}{8}'' = 1'-0''$



3 PROPOSED ADDITION BUILDING SECTION  
 $\frac{1}{8}'' = 1'-0''$

GENERAL NOTES		
No.	Revision/Issue	Date

  
**CLARKSVILLE  
 CONSTRUCTION  
 SERVICES, INC.**  
EST. 1999  
 7380 COCA COLA DRIVE #123  
 HANOVER, MD. 21076

**WILLIAMS  
 ADDITION**  
 6757 CORTINA DRIVE  
 HIGHLAND, MD 20771

**PRELIMINARY  
 CONSTRUCTION  
 X PERMIT**

PROJECT: AMT97H	SHEET:
DATE: 06-06-25	B6
DRAWN BY: JJP	
REV. & PROP. BY: DNC	

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