

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B23002355	06/23/2023

**Description of Work**  
 SFD/ FINISHED BASEMENT TO INCLUDE REC ROOM, Exercise ROOM, Theater, Bedroom, Storage Area, Wet Bar Area and Full Bathroom, UNFINISHED UTILITY ROOM, APX 2500 SQ. FT.

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
12241	HAYLAND FARM	WAY	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.95513	39.2421
City	State	Zip Code	Primary
ELLCOTT CITY	MD	21042	Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1101238	49	222	2252400	2858900	606500	RURAL

**Legal Description**  
 IMPSPAR H 222.002 A. BU[ ]SHEPPARD LANE[ ]WALNUT CREEK PHASE 2

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	PAR H	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405342511	Walnut Creek					
Section	Area	Tax Map					
		28					
Grid	Zoning District	ADC Map					
28-11	RC-DEO	4933-H2					
SDP No.	Final Plan No.	WP File No.					
	F-07-076						
Record Plat No.	WS Contract No.	FDP No.	Primary				
22227-2224			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No	1970	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-02A	<input checked="" type="radio"/> Yes <input type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

**Name**  
 BV BUSINESS TRUST  
**Address Line 1**  
 PO BOX 482  
**Address Line 2**

**Address Line 3**

Mail City	Mail State	Mail Zip Code
LISBON	MD	21765
Phone	Primary	
267-973-4157	Yes	

**E-mail**

**Cell Number** **Fax Number**

**Professionals** (This section is not required.)

<b>License # *</b>	<b>Business Name</b>		
08010111112	E LONG DISTINCTIVE DESIGNS INC		
<b>License Type *</b>	<b>First Name</b>	<b>Middle Name</b>	<b>Last Name</b>
MHIC Ind	ERIC		LONG
<b>Primary</b>	<b>Address Line 1</b>		
Yes	118 S. FORNEY AVE		
	<b>Address Line 2</b>		
	<b>City</b>	<b>State</b>	<b>ZIP Code</b>
	HANOVER	PA	17331
	<b>Phone 1</b>	<b>Phone 2</b>	<b>Fax</b>
	4109846690		7176320123
	<b>E-mail</b>		
	ELONG.DD@GMAIL.COM		

**Applicant** (This section is not required.)

Search As Owner As Lic. Prof As Contact

<b>Type *</b>	<b>First Name</b>	<b>MI</b>	<b>Last Name</b>
Applicant	Eric	Claytor	Long
<b>Relationship</b>	<b>Full Name</b>		
Applicant	Eric Clayton Long		
<b>Primary</b>	<b>Organization Name</b>		
No	Distinctive Designs Inc		
	<b>Street Address</b>		
	118 S FORNEY AVE		
	<b>Address Line 2</b>		
	<b>City</b>	<b>State</b>	<b>Zip Code</b>
	Hanover	PA	17331
	<b>Phone</b>	<b>Cell</b>	<b>Fax</b>
	410-984-6690		
	<b>E-mail</b>		
	elong.dd@gmail.com		

**Contact** (This section is not required.)

Search As Owner As Lic. Prof As Contact

<b>Type</b>	<b>First Name</b>	<b>MI</b>	<b>Last Name</b>
Contact	ERIC		LONG
<b>Relationship</b>	<b>Full Name</b>		
Licensed Professional	ERIC LONG		
<b>Primary</b>	<b>Organization Name</b>		
Yes	E LONG DISTINCTIVE DESIGNS INC		
	<b>Street Address</b>		
	118 S FORNEY AVE		
	<b>Address Line 2</b>		
	<b>City</b>	<b>State</b>	<b>Zip Code</b>
	HANOVER	PA	17331
	<b>Phone</b>	<b>Cell</b>	<b>Fax</b>
	4109846690		7176320123
	<b>E-mail</b>		
	ELONG.DD@GMAIL.COM		

**Addtl Info**

<b>Est Construction Cost *</b>	<b>Housing Units *</b>	<b>Number of Buildings *</b>	<b>Public Owned</b>
150000	0	0	No
<b>Construction Type</b>			
--Select--			

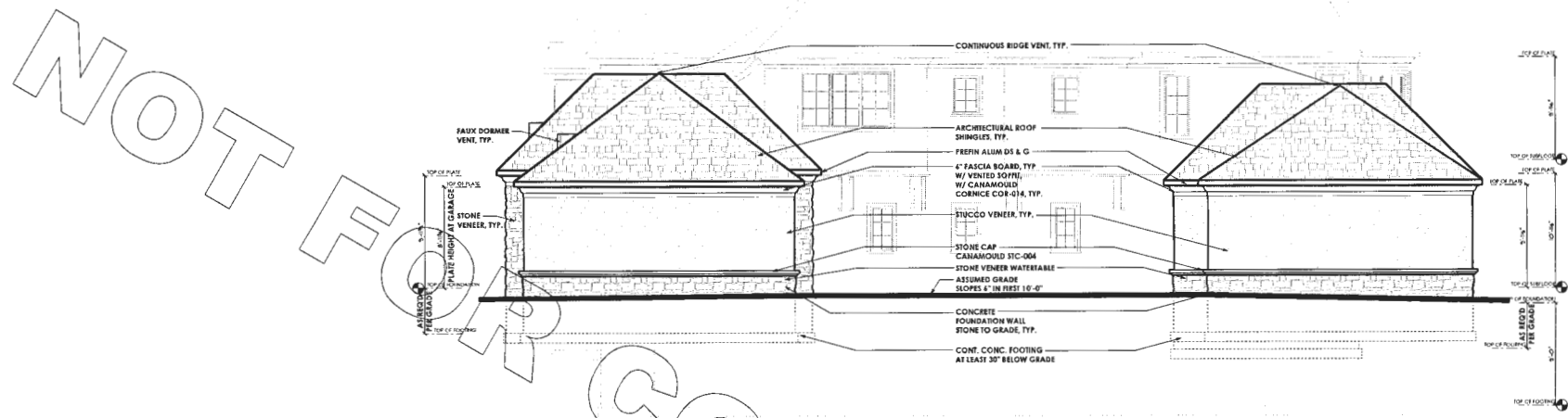
**RESIDENTIAL ALTERATION INFO**

**RESIDENTIAL ALTERATION INFORMATION**

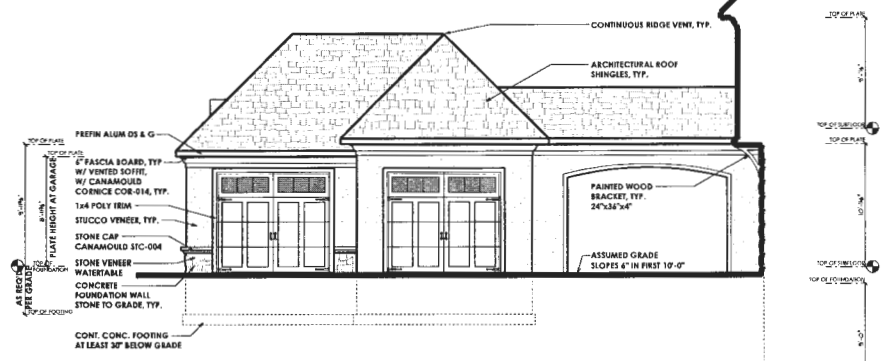
<b>Total Square Footage *</b>	<b>No of Stories *</b>	<b>Basement</b>	<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Water *</b>	<b>Sewage *</b>
2500	SQFT 2	Unfinished w/Rough-In	1	1	0	Private	Private
<b>Existing Utilities *</b>	<b>Existing Heating System *</b>	<b>Existing Sprinkler System *</b>	<b>Type of New Fireplace</b>	<b>Expiration Date</b>	<b>Fee Exempt *</b>		
Electric	Electric & Natural Gas	NFPA #13D	--Select--	12/24/2023	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

Submit

Cancel



**GARAGE - RIGHT ELEVATION**



**FRONT GARAGE REAR ELEVATION**



**REAR GARAGE FRONT ELEVATION**

REVISIONS

1	03-24-18	CONCEPT
2		
3		
4		
5		

ISSUE DATES:

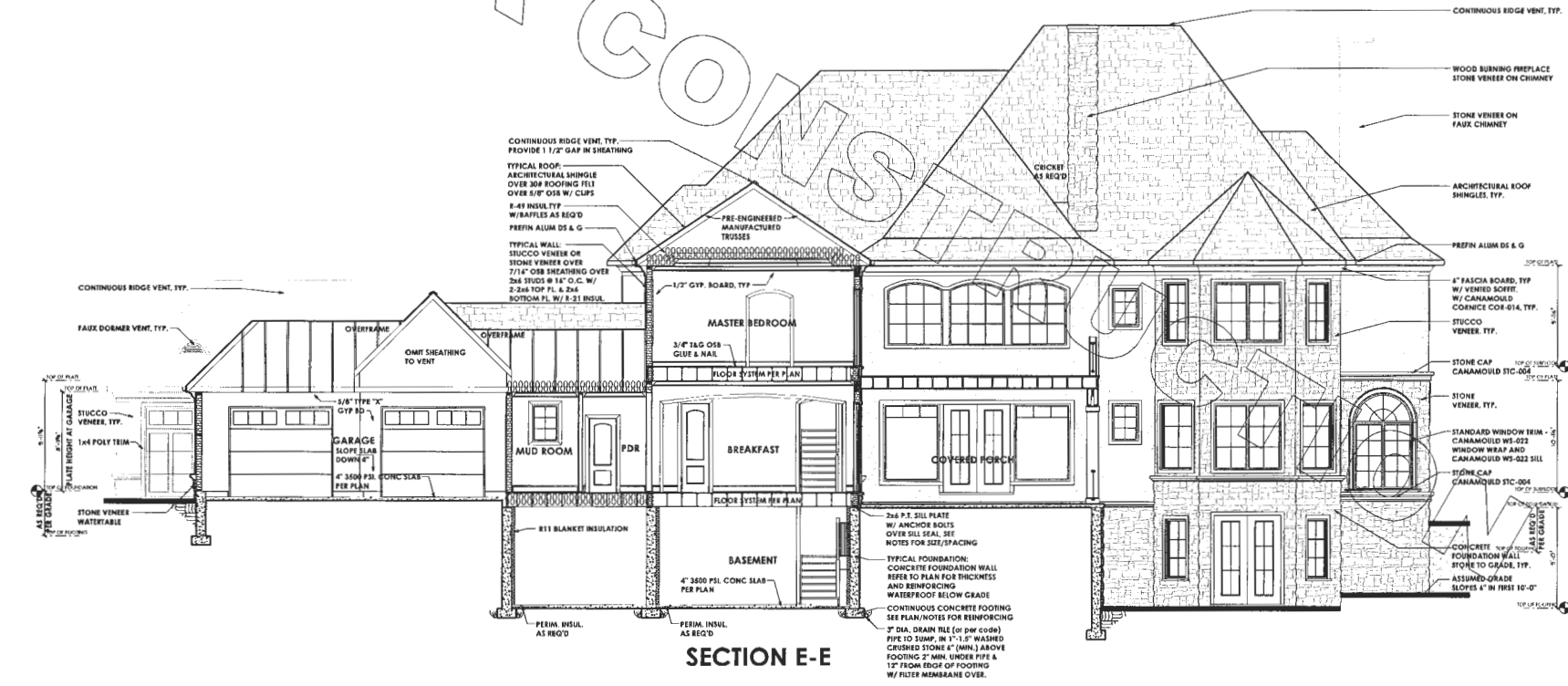
03-24-18	REVISED
----------	---------

SCALE: 1/4" = 1'-0"

**ELEVATIONS**

PRINT DATE: Tuesday, April 10, 2018

NOT FOR CONSTRUCTION



- SECTION NOTES**
- 1) 2005 FEM W/ SOIL BEARING CAPACITY ASSUMED
  - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPT #1/#2 OR EQ. TYP THROUGH U.S.A.
  - 3) BASEMENT WINDOW LOCATIONS TO BE DETERMINED AT PRECON.
  - 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, R/W/H, A/H, AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
  - 5) FOUNDATION WALL MIN. THICKNESS 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 14" HIGH
  - 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
  - 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4" O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.

PROFESSIONAL CERTIFICATION  
I certify that these documents were prepared or designed by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
License Number #1678  
Expiration Date 4/30/2018

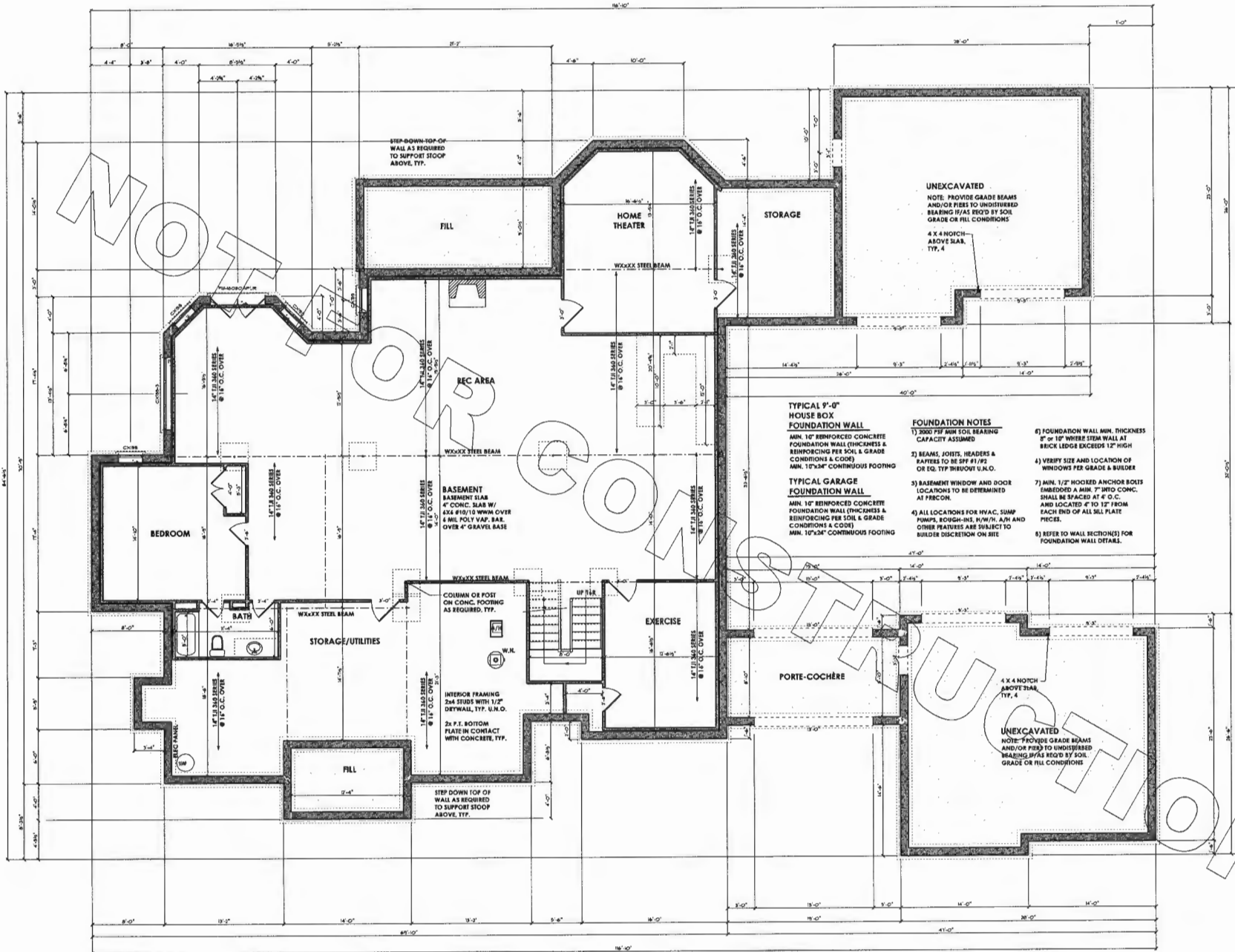
**Khan Residence**  
PROPOSED RESIDENCE  
Address, Maryland

REVISIONS

1	02-21-18	CONCEPT
2		
3		
4		
5		

ISSUE DATES:

02-21-18	REVIEW
----------	--------



# Khan Residence

PROPOSED RESIDENCE  
Address, Maryland

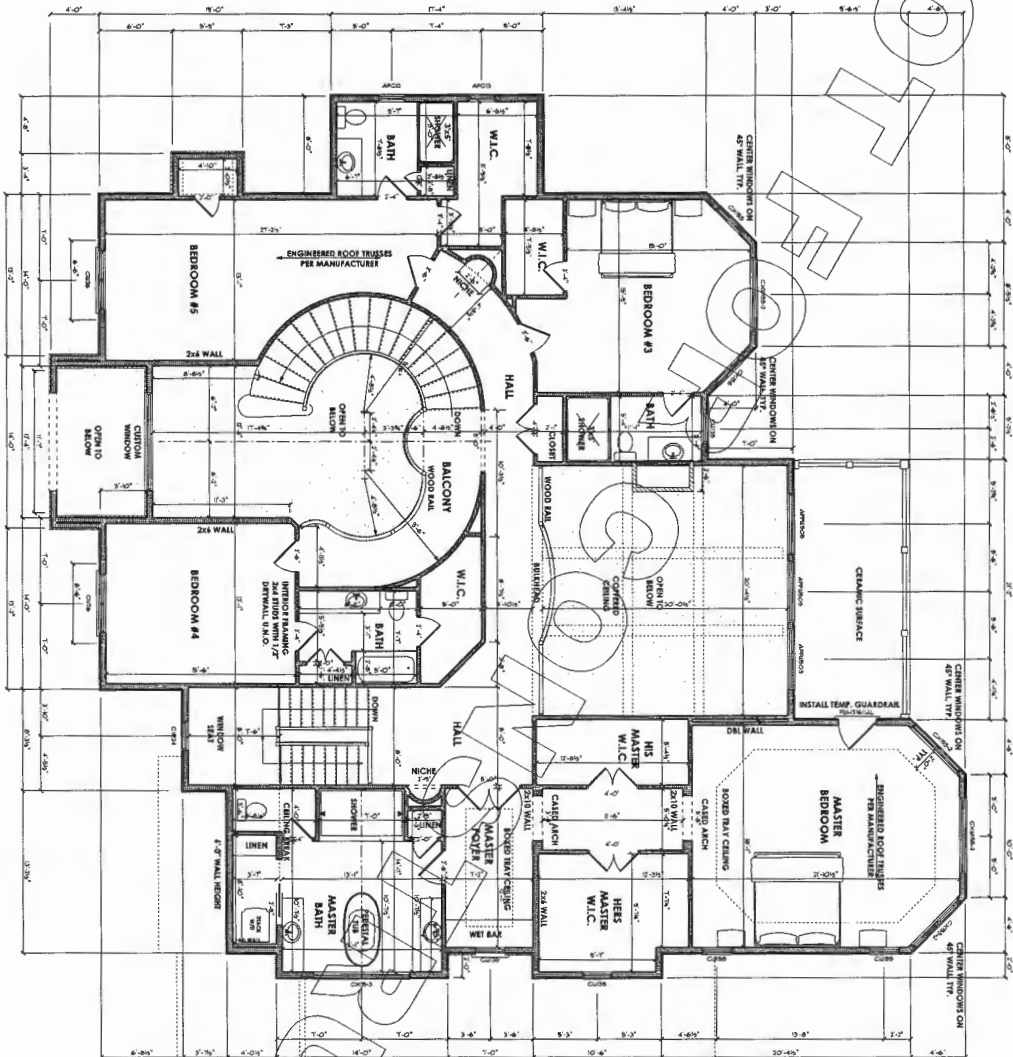
REVISIONS

NO.	DATE	DESCRIPTION

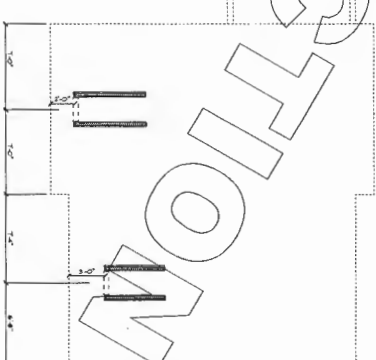
ISSUE DATES:

NO.	DATE	REVISION

SCALE: 1/4" = 1'-0"  
**FOUNDATION**  
**2.01**  
PRINT DATE:  
Tuesday, April 10, 2018



TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL  
 TYPICAL WINDOW OF WALL CONSTRUCTION - 4x22 1/2  
 COMPOSITE SHEATHING - WOOD STRUCTURAL PANEL



# Khan Residence

PROPOSED RESIDENCE  
 Address, Maryland

REVISIONS  
 SCALE: 1/4"=1'-0"  
**3.02**  
 SECOND FLOOR  
 ISSUE DATES:  
 03/22/18  
 04/13/2018

PROFESSIONAL CERTIFICATION  
 I, the undersigned, being a duly licensed Professional Engineer in the State of Maryland, do hereby certify that I am the author of the above design and that it was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Maryland.  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_



**Khan Residence**  
PROPOSED RESIDENCE  
Address, Maryland

REVISIONS

NO.	DATE	DESCRIPTION
1	02-26-18	CONCEPT

ISSUE DATES:

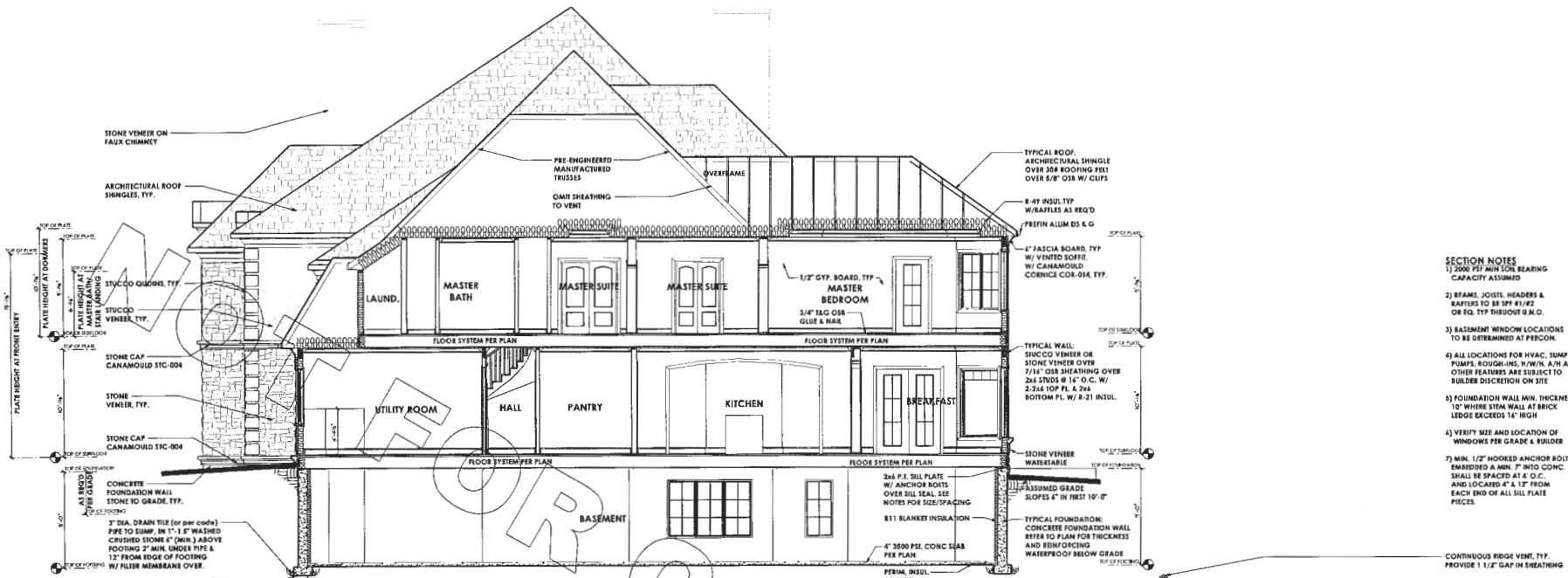
NO.	DATE	DESCRIPTION
1	02-26-18	REVIEW

SCALE: 1/4" = 1'-0"

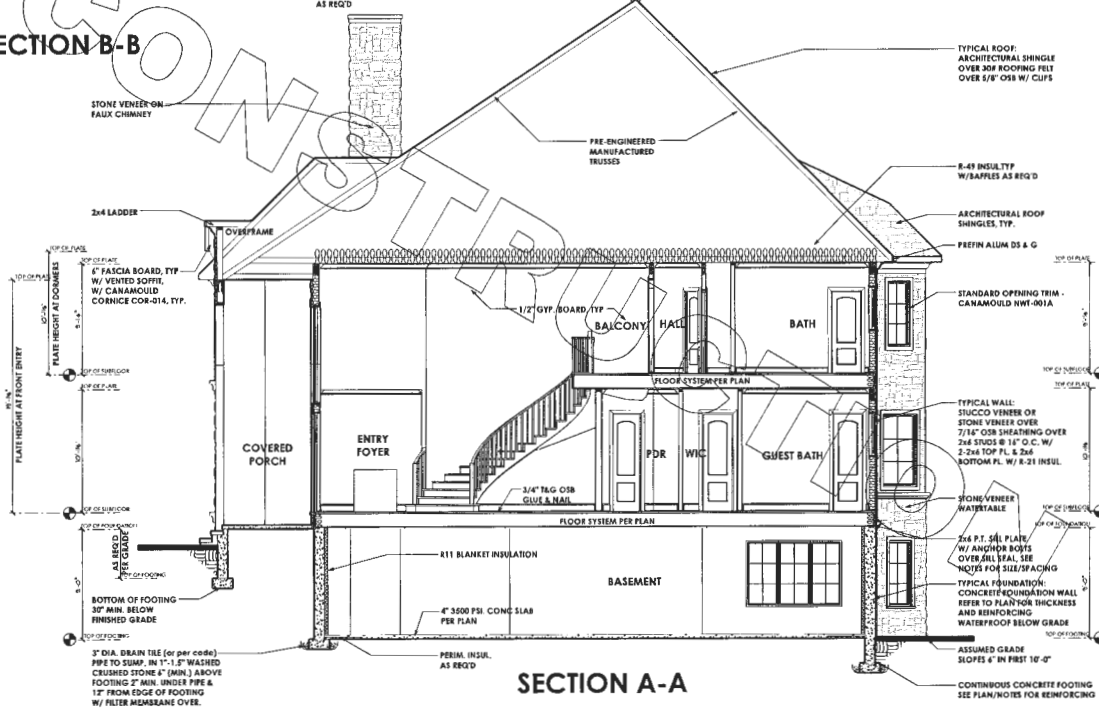
SECTIONS

**5.01**

PRINT DATE: Tuesday, April 16, 2018



**SECTION B-B**

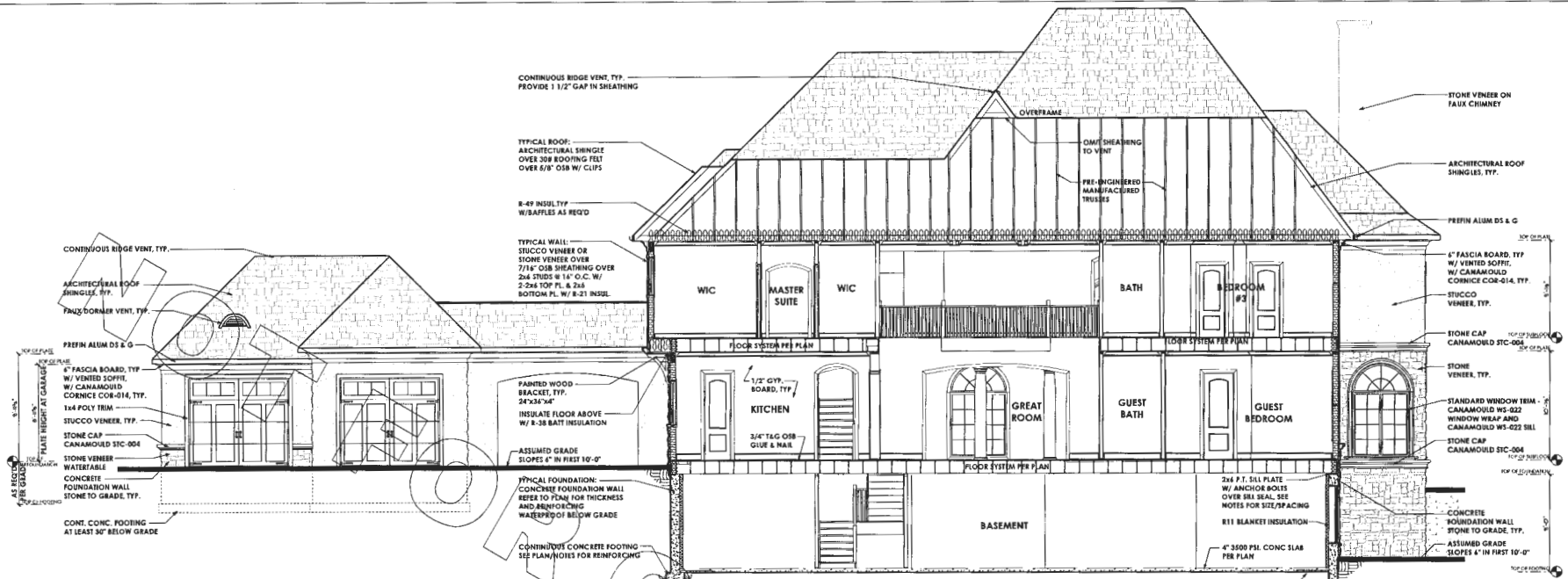


**SECTION A-A**

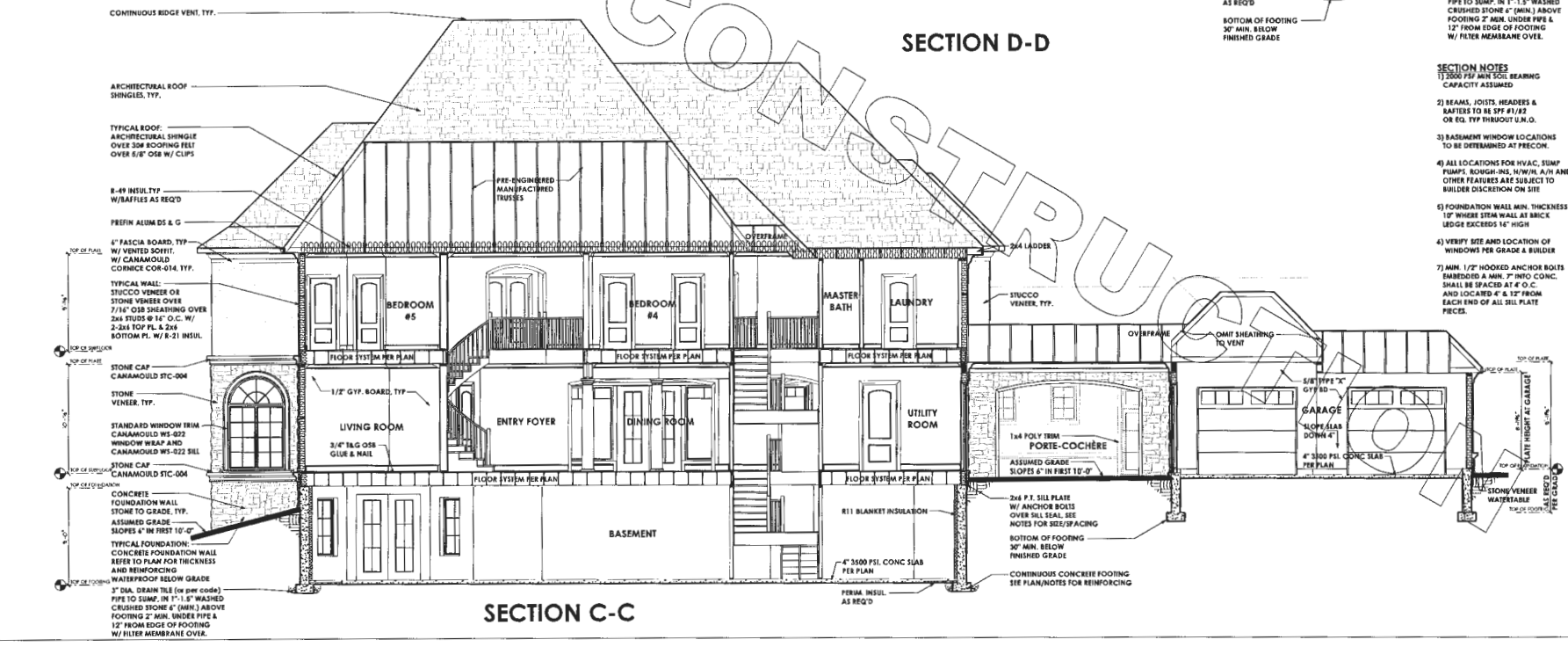
- SECTION NOTES**
- 1) 2000 P.F.F. MIN. ION BEARING CAPACITY ASSUMED
  - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SP# 81#42 OR EQ. TYP. THROUGH S.D.O.
  - 3) BASEMENT WINDOW LOCATIONS TO BE DETERMINED AT PRECON.
  - 4) ALL LOCATIONS FOR HVAC, STAMP PUMPS, ROUGH-INS, H/W/N, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
  - 5) FOUNDATION WALL MIN. THICKNESS 12" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 14" HIGH
  - 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
  - 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4" O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PICES.

- CONTINUOUS RIDGE VENT, TYP. PROVIDE 1 1/2" GAP IN SHEATHING
- TYPICAL ROOF ARCHITECTURAL SHINGLE OVER 30# ROOFING FELT OVER 5/8" OSB W/ CLIPS
- 8-41 INSUL TYP W/ RAFTERS AS REQ'D
- ARCHITECTURAL ROOF SHINGLES, TYP.
- PREFIN ALUM DS & G
- STANDARD OPENING TRIM - CANAMOULD INT-001A
- TYPICAL WALL: STUCCO VENER OR STONE VENER OVER 7/16" OSB SHEATHING OVER 2x4 STUDS @ 16" O.C. W/ 2x4s TOP FL. & 2x4s BOTTOM FL. W/ 8-21 INSUL.
- STONE VENER WATERTABLE
- 2x6 P.T. SILL PLATE W/ ANCHOR BOLTS OVER SILL SEAL. SEE NOTES FOR SIZE/SPACING
- TYPICAL FOUNDATION: CONCRETE FOUNDATION WALL REFER TO PLAN FOR THICKNESS AND REINFORCING WATERPROOF BELOW GRADE
- ASSUMED GRADE SLOPES 4" IN FIRST 10'-0"
- CONTINUOUS CONCRETE FOOTING SEE PLAN/NOTES FOR REINFORCING





**SECTION D-D**



**SECTION C-C**

- SECTION NOTES**
- 1) 2500 PSI AND EDGE BEARING CAPACITY ASSUMED.
  - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPT #1/82 OR EQ. TYP. THROUGHOUT U.O.
  - 3) BASEMENT WINDOW LOCATIONS TO BE DETERMINED AT FRECON.
  - 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, N/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE.
  - 5) FOUNDATION WALL MIN. THICKNESS 12" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 14" HIGH.
  - 6) VERIFY SITE AND LOCATION OF WINDOWS PER GRADE & BUILDER.
  - 7) MIN. 1/2" HOOKED ANCHOR BOLTS (BARBORES & MIN. 3" INTO CONC.) SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.

REVISIONS	
1	03-21-18 CONCEPT
2	
3	
4	
5	
ISSUE DATES:	
03-21-18	REVIEW
SCALE:	
<b>SECTIONS</b>	
<b>5.02</b>	
PRINT DATE:	
Tuesday, Apr 10, 2018	

PROFESSIONAL CERTIFICATION  
No. 0000000000  
I am a duly licensed and registered professional architect in the State of Maryland, No. 0000000000, dated 01/01/2018.

**Khan Residence**  
PROPOSED RESIDENCE  
Address, Maryland

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02-21-18	ISSUE
2	02-21-18	ISSUE

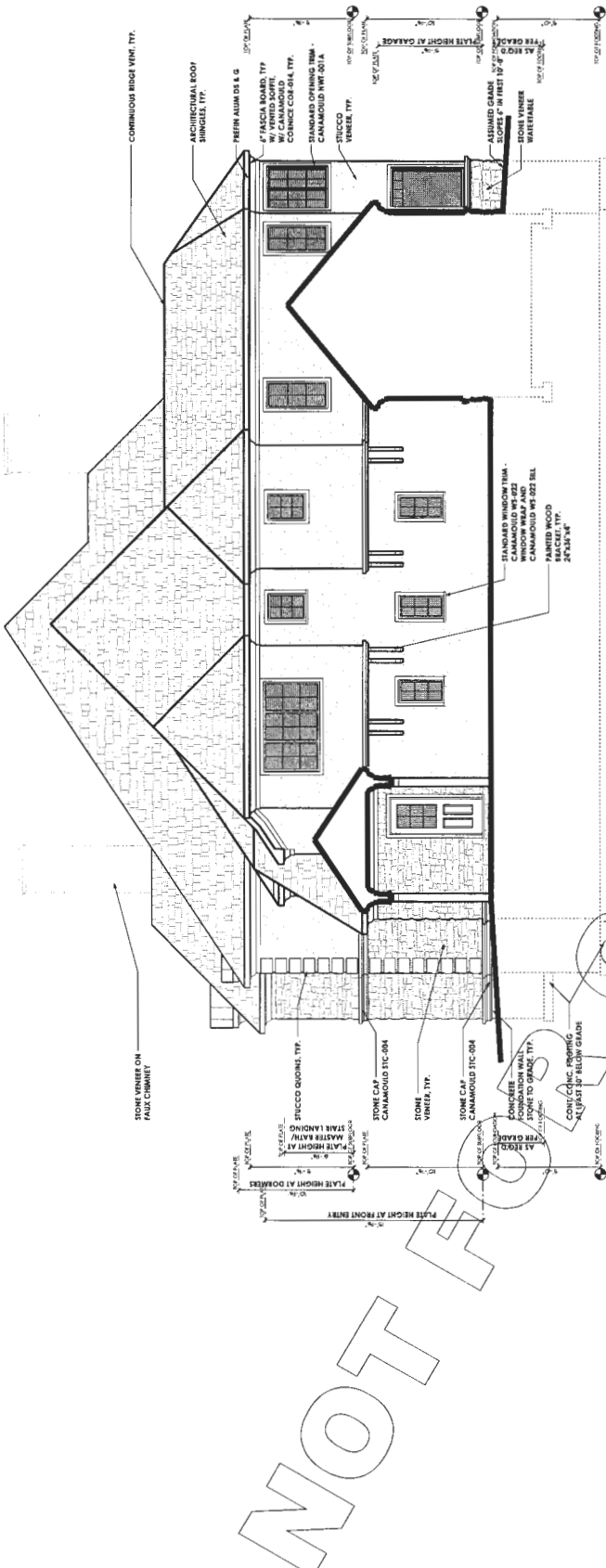
**ISSUE DATES:**

02-21-18

**SCALE:** 1/4" = 1'-0"

**ELEVATIONS**

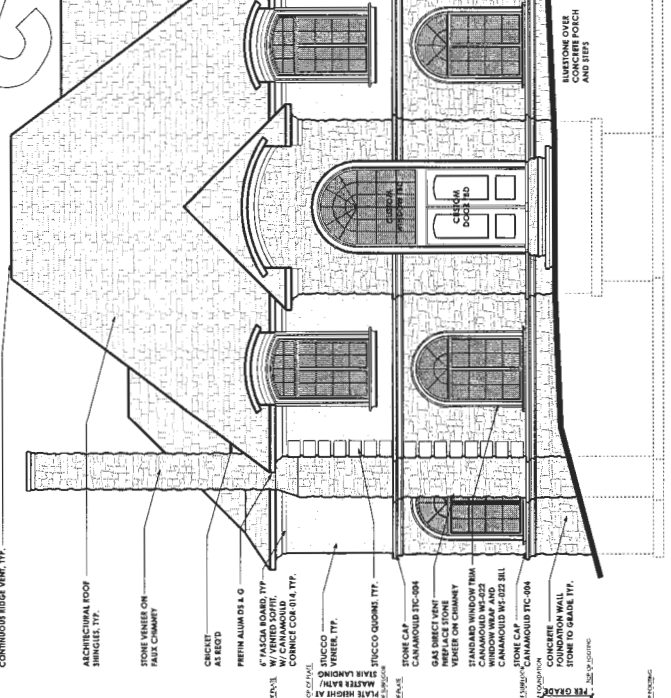
**1.01**  
DATE: Tuesday, April 10, 2018



**RIGHT ELEVATION**

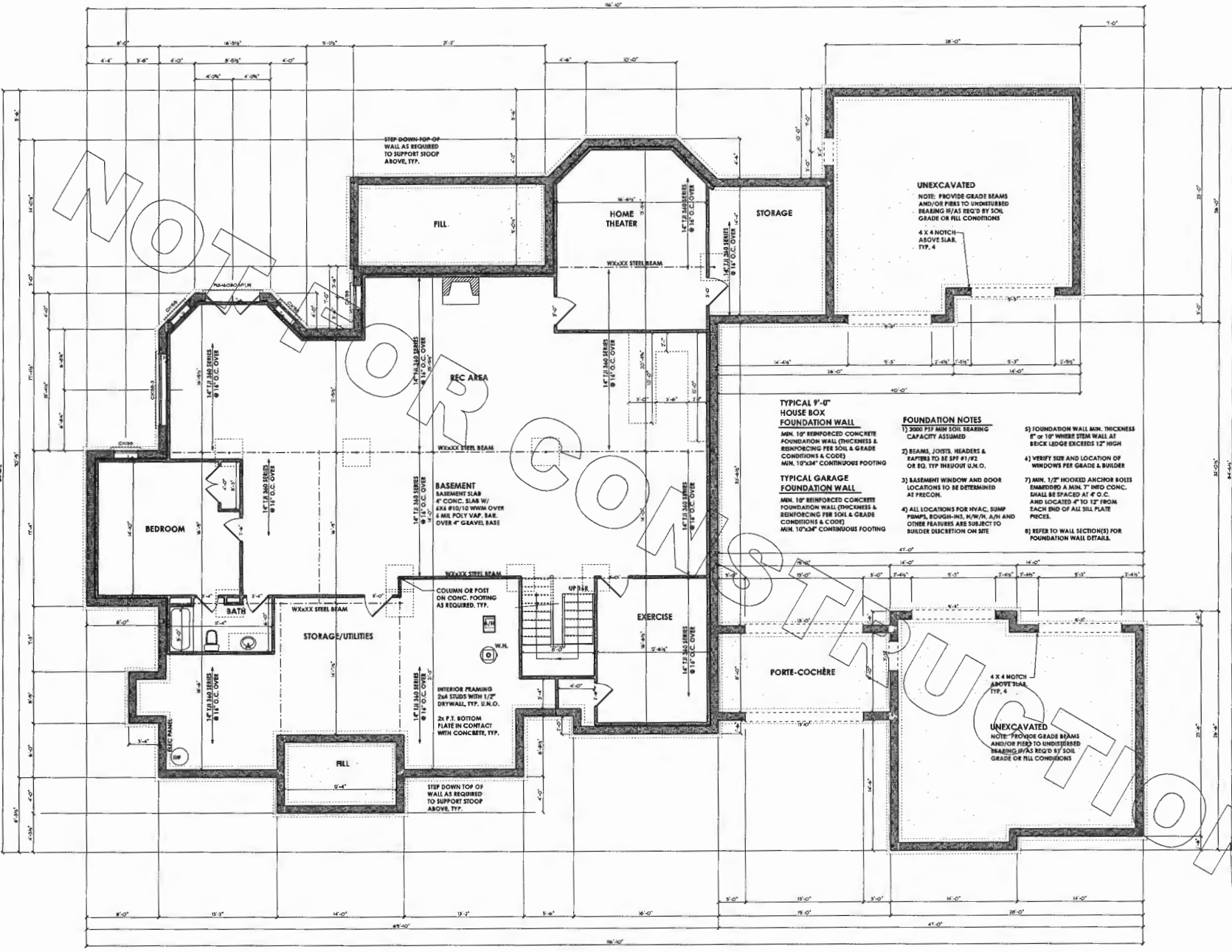
**NOTE:**  
WITH 2 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 3" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE FINISH OF THE TREADS.  
PORCHES, DECKS, BALCONIES OR BARRIAD FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRASS BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.  
RAILS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT EXCEED THE PERMITS OF 4" X 8" SQUARE.

**RIGHT ELEVATION**



**FRONT ELEVATION**

**NOT FOR CONSTRUCTION**



**TYPICAL 9'-0" HOUSE BOX FOUNDATION WALL**  
MIN. 12" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
MIN. 12"x4" CONTINUOUS FOOTING

**TYPICAL GARAGE FOUNDATION WALL**  
MIN. 12" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
MIN. 10"x4" CONTINUOUS FOOTING

**FOUNDATION NOTES**  
1) 2000 PSF MIN. SOIL BEARING CAPACITY ASSUMED  
2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SP4 #1/#2 OR EQ. TYP. HEADOUT U.N.O.  
3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PRECON.  
4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H and OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE  
5) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BECK LEDGE EXCEEDS 12" HIGH  
6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER  
7) MIN. 1/2" HOOKED ANCHOR BOLTS SHARPER & MIN. 7" INTO CONC. SHALL BE SPACED AT 4" O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.  
8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

**UNEXCAVATED**  
NOTE: PROVIDE GRADE BEAMS AND/OR PILES TO UNDISTURBED BEARING #/AS REQ'D BY SOIL GRADE OR FILL CONDITIONS  
4 X 4 NOTCH ABOVE SLAB, TYP. 4

**UNEXCAVATED**  
NOTE: PROVIDE GRADE BEAMS AND/OR PILES TO UNDISTURBED BEARING #/AS REQ'D BY SOIL GRADE OR FILL CONDITIONS  
4 X 4 NOTCH ABOVE TRAIL, TYP. 4

# Khan Residence

PROPOSED RESIDENCE  
Address, Maryland

REVISIONS

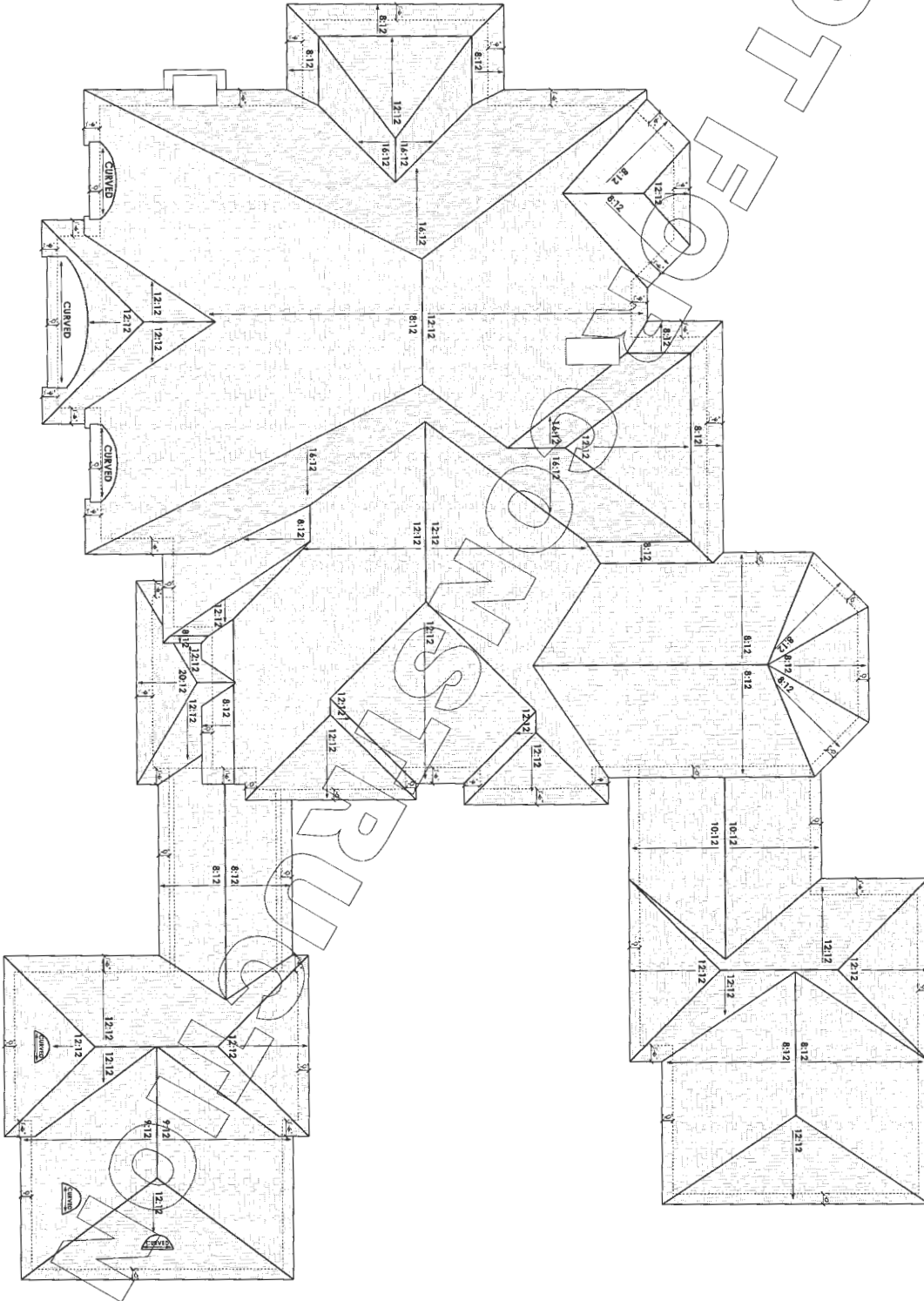
1	02-24-18	CONCEPT
2		
3		
4		
5		

ISSUE DATES:

02-24-18	REVIEW
----------	--------

SCALE: 1/4" = 1'-0"  
**FOUNDATION**  
**2.01**  
PRINT DATE: Tuesday, April 10, 2018

NOT FOR CONSTRUCTION



# Khan Residence

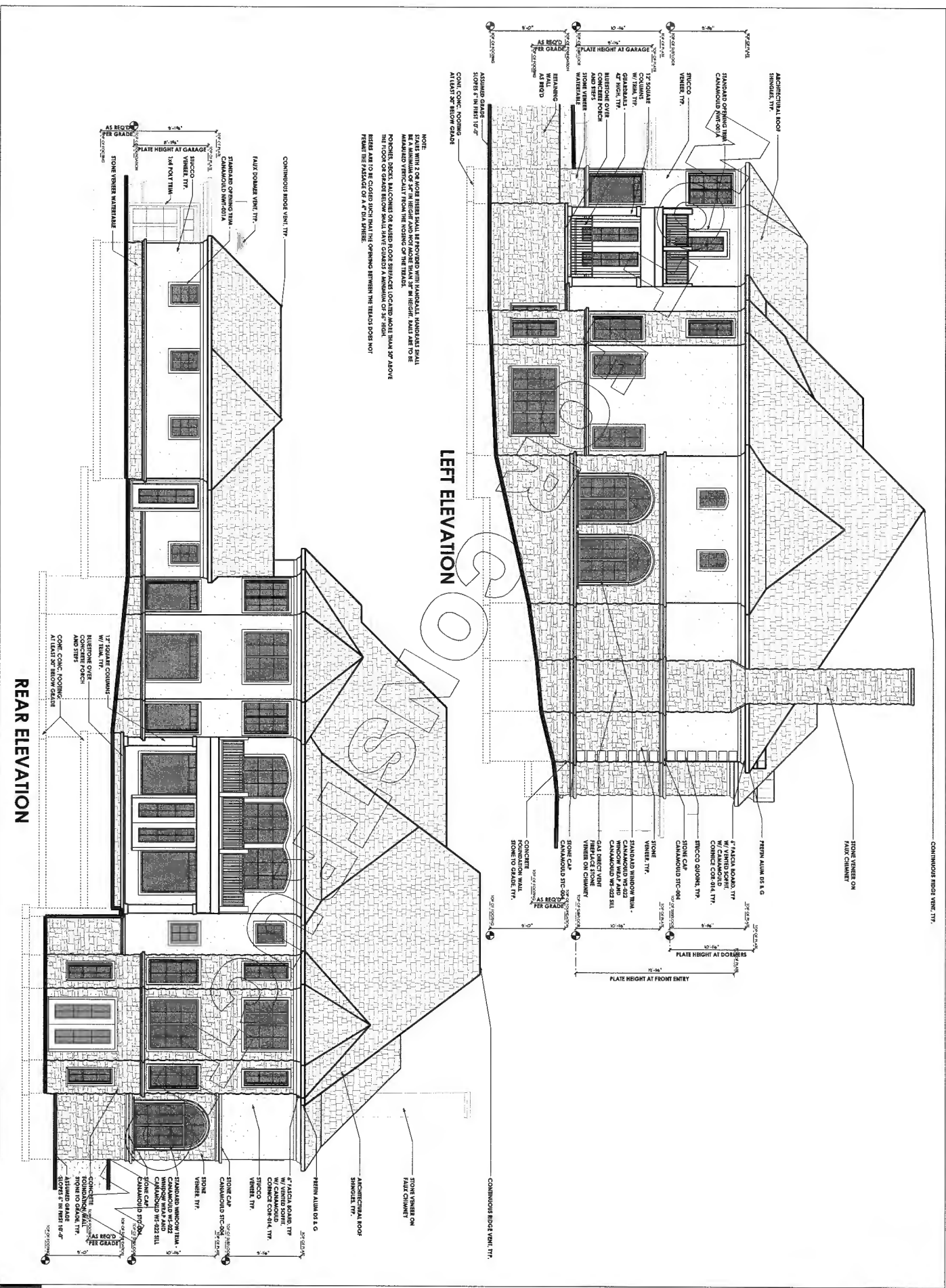
PROPOSED RESIDENCE  
Address, Maryland

SCALE: 1/8" = 1'-0"  
**4.01**  
ROOF PLAN  
ISSUE DATE: February, April 10, 2018

REVISIONS	
1	Issue
2	Change
ISSUE DATES:	
02-10-18	REVISION

1.0757 Residential Construction  
Contract Documents  
Standard Contract Documents  
Revised 2013  
Published by the  
Maryland Building  
Industry Council  
1400 North  
Baltimore Avenue, Suite 1000  
Baltimore, Maryland 21201

JONATHAN  
RIVERA  
ARCHITECTS  
P.C.



NOTE: WITH 3 OR MORE FEET SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 37" IN HEIGHT. SHALL BE TO BE MANAGED VERTICALLY FROM THE NOBING OF THE TREAD.  
 NO KICKS, DICKS, SALICONS OR LAPPED FLOOR JOISTS. LOCATED MORE THAN 36" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE COVERED A MINIMUM OF 36" MIN.  
 RISERS ARE TO BE CLOSED UPON THE OPENING BETWEEN THE TREADS DOES NOT REAR THE SPACES OF 1/2" OR SMALLER.

LEFT ELEVATION

REAR ELEVATION

**REVISIONS**

NO.	DATE	DESCRIPTION

ISSUE DATE: **REVISION**

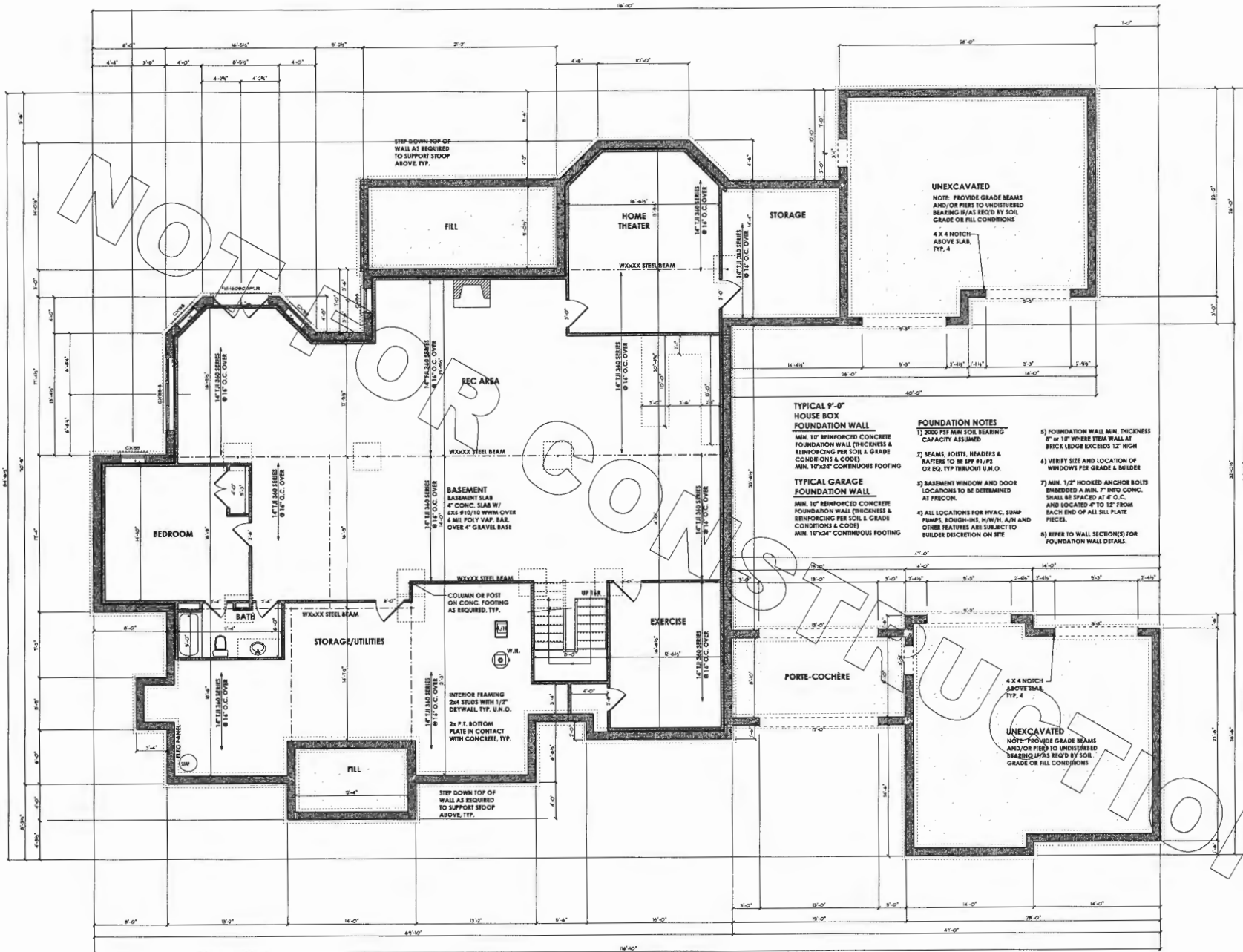
SCALE: 1/8" = 1'-0"  
**1.03**  
 ELEVATIONS  
 DATE: Monday, April 10, 2018

**Khan Residence**  
 PROPOSED RESIDENCE  
 Address, Maryland

PROFESSIONAL CERTIFICATION  
 I hereby certify that I am a duly licensed professional engineer in the State of Maryland. My license number is 1234567890. My expiration date is 12/31/2025.  
 Date: Monday, April 10, 2018  
 Signature: [Signature]



**Khan Residence**  
PROPOSED RESIDENCE  
Address, Maryland



**TYPICAL 9'-0" HOUSE BOX FOUNDATION WALL**  
MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
MIN. 10"x24" CONTINUOUS FOOTING

**TYPICAL GARAGE FOUNDATION WALL**  
MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
MIN. 10"x24" CONTINUOUS FOOTING

**FOUNDATION NOTES**

- 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAKERS TO BE SP #1 @ 16" OR EQ. TYP THROUGH U.O.
- 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT FRON.
- 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, SPOON-LINE, W/W, A/P, AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 5) FOUNDATION WALL MIN. THICKNESS 8" OR 10" WHERE STEEL WALL AS BRICK LEDGE EXCEEDS 12" HIGH
- 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 8) REFER TO WALL SECTIONS FOR FOUNDATION WALL DETAIL.

**UNEXCAVATED**  
NOTE: PROVIDE GRADE BEAMS AND/OR PIER TO UNDISTURBED BEARING UP AS REQ'D BY SOIL GRADE OR FILL CONDITIONS  
4 X 4 NOTCH ABOVE SLAB, TYP. 4

**UNEXCAVATED**  
NOTE: PROVIDE GRADE BEAMS AND/OR PIER TO UNDISTURBED BEARING UP AS REQ'D BY SOIL GRADE OR FILL CONDITIONS  
4 X 4 NOTCH ABOVE SLAB, TYP. 4

**REVISIONS**

1	03-15	CONCEPT
2		
3		
4		
5		
6		
7		
8		
9		
10		

**ISSUE DATES:**  
03-26-18 REVIEW