

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Accessory/Structure	B23004951	12/22/2023

Description of Work
 SFD/ CONSTRUCT NEW 24' x 36' UNCONDITIONED STORAGE BUILDING, 1 STORY, Slab on Grade, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = N/A,

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
5351	GREEN BRIDGE	RD
Unit Type	Unit #	X Coordinate
-Select-		-77.0006
		Y Coordinate
		39.2245
City	State	Zip Code
DAYTON	MD	21036
	Primary	Yes

On hold, need updated site plan.

gls 1/12/24

Approved.

gls 2/14/24

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
915851	73	3.25	286800	444500	157700	RURAL

Legal Description
 IMPS3.2570 A[]5351 GREEN BRIDGE RD[]

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405344816						
Section	Area	Tax Map					
		27					
Grid	Zoning District	ADC Map					
27-24	RR-DEO	4932-K5					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1955	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *
 GEURTS BRYAN

Address Line 1
 5351 GREEN BRIDGE RD

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
DAYTON	MD	21036
Phone	Primary	
410-531-6517	Yes	
E-mail		
Cell Number	Fax Number	

Professionals (This section is not required.)

License # 21040010019
License Type Architect
Primary Yes
Business Name RJ ARCHITECT
First Name RONALD
Middle Name
Last Name JOHNSTON
Address Line 1 11407 BARLEY FIELD WAY
Address Line 2
City MARRIOTTSVILLE
State MD
ZIP Code 21104-0000
Phone 1 4104423667
Phone 2
Fax
E-mail RON@RJARCHITECT.COM

Applicant (This section is not required.)

Search
 As Owner
 As Lic. Prof
 As Contact

Type Applicant
Relationship Applicant
Primary No
First Name Ronald
MI Kent
Last Name Johnston
Full Name Ronald Kent Johnston
Organization Name Ronald Johnston & Associates, Architects
Street Address 11407 Barley Field Way
Address Line 2
City Marriottsville
State MD
Zip Code 21104
Phone 410-442-3667
Cell 443-220-7457
Fax
E-mail ron@rjarchitect.com

Contact (This section is not required.)

Search
 As Owner
 As Lic. Prof
 As Contact

Type Contact
Relationship Licensed Professional
Primary Yes
First Name Ronald
MI Kent
Last Name Johnston
Full Name Ronald Kent Johnston
Organization Name Ronald Johnston & Associates, Architects
Street Address 11407 Barley Field Way
Address Line 2
City Marriottsville
State MD
Zip Code 21104
Phone 410-442-3667
Cell 443-220-7457
Fax
E-mail ron@rjarchitect.com

Addtl Info

Est Construction Cost 80000
Housing Units 0
Number of Buildings 0
Public Owned No
Construction Type -Select-

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION
Capital Project-No Fee Yes No
Capital Project Number
Fee Exempt Yes No
Roadside Tree Project Permit Yes No
Roadside Tree Project Permit #
No of Stories 1
Foundation Slab on Grade
Basement N/A
No of Rooms 1
Full Baths 0
Half Baths 0
Existing Use Other - See Description of Work
Model SFD/ CONSTRUCT NEW 24' x 36' UNCONDITIONED STORAGE BUILDING
Condominium Yes No

[check spelling](#)

Other Structure None	Bedrooms 0	Porch Deck N/A	No of Fireplaces 0	Type of Fireplace --Select--	Energy Code N/A
W & S Fees Paid <input type="radio"/> Yes <input type="radio"/> No	Water Private	Sewage Private	Utilities Electric	Heating System Electric	Sprinkler System None
1st Floor Width FT	1st Floor Depth FT	2nd Floor Width FT	2nd Floor Depth FT	Basement Width FT	Basement Depth FT
Total Square Footage 864	Occupiable Square Footage SQFT 0	Affordable Housing Funding SQFT N/A	Foundation Measurement	Height FT	Building Construction Type FT Conventional
Walls	Roof	Change In Use <input type="radio"/> Yes <input checked="" type="radio"/> No	Grading Permit No	Senior Housing <input type="radio"/> Yes <input type="radio"/> No	MIHU Outside Downtown Columbia <input type="radio"/> Yes <input type="radio"/> No
Additional Description Info				Expiration Date 7/9/2024	MIHU Provided Units <input type="radio"/> Yes <input type="radio"/> No
				MIHU Required Units	Affordable Downtown Columbia <input type="radio"/> Yes <input type="radio"/> No
					Plan Submittal Electronically by Invitation from ProjectDox

[check spelling](#)

GREEN INFORMATION

Goal Level --Select--	Actual Level --Select--	Leed Registration Number	Date of Leed Certification []
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STORM WATER MANAGEMENT

Green Roofs A1 <input type="radio"/> Yes <input type="radio"/> No	Permeable Pavements A2 <input type="radio"/> Yes <input type="radio"/> No	Reinforced Turf A3 <input type="radio"/> Yes <input type="radio"/> No	Disconnection of Rooftop Runoff N1	Disconnection of Non Rooftop Runoff N2 <input type="radio"/> Yes <input type="radio"/> No
Sheetflow to Conservation Areas N3 <input type="radio"/> Yes <input type="radio"/> No	Rainwater Harvesting M1	Submerged Gravel Wetlands M2	Landscape Infiltration M3	Infiltration Berms M4
Dry Wells M5	Micro Bioretention M6	Rain Gardens M7	Swales M8	Enhanced Filters M9

PSWM Certification Received in CID on
[]

Submit Cancel

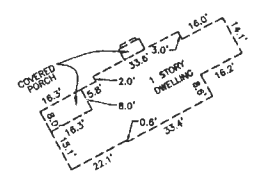
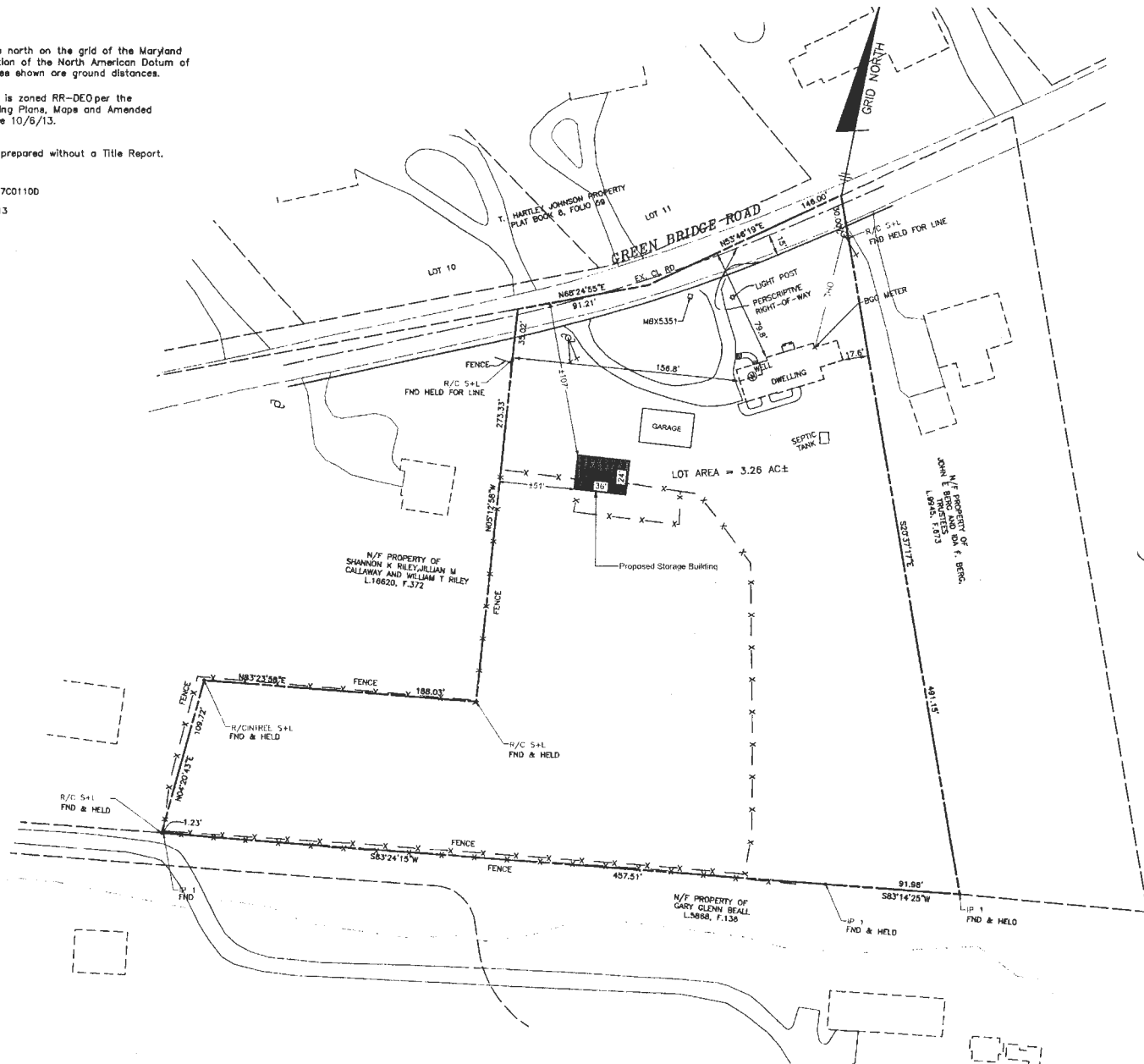
NOTES:

1.) Grid North is the north on the grid of the Maryland State Plane projection of the North American Datum of 1983. The distances shown are ground distances.

2.) Subject property is zoned RR-DE0 per the Comprehensive Zoning Plans, Maps and Amended Regulations effective 10/6/13.

3.) This survey was prepared without a Title Report.

FEMA FIRM No. 24027C01100
 ZONE: X
 DATED: NOV. 6, 2013



BLOWUP
 SCALE 1"=30'

PLAN
 SCALE 1"=50'

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1/7/2021, AND THAT THIS BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS IT RELATES TO BOUNDARY SURVEYS. THE DATE 09/13/08.03.

Donald A. Mason
 DONALD A. MASON
 REGISTERED PROFESSIONAL LAND SURVEYOR MARYLAND
 NO. 21320 FOR BENCHMARK ENGINEERING, INC.
 MARYLAND NO. 361



BOUNDARY DRAWING
5351 GREEN BRIDGE RD
 TAX MAP NO. 0027, PARCEL 0073

5th ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'
 ZONED: RR-DE0
 DATE: MARCH 20, 2019
 SHEET: 1 OF 1

BENCHMARK
 ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.

8400 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-8100 (F) 410-465-8044
 WWW.BC-CIVILENGINEERING.COM

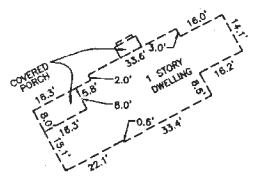
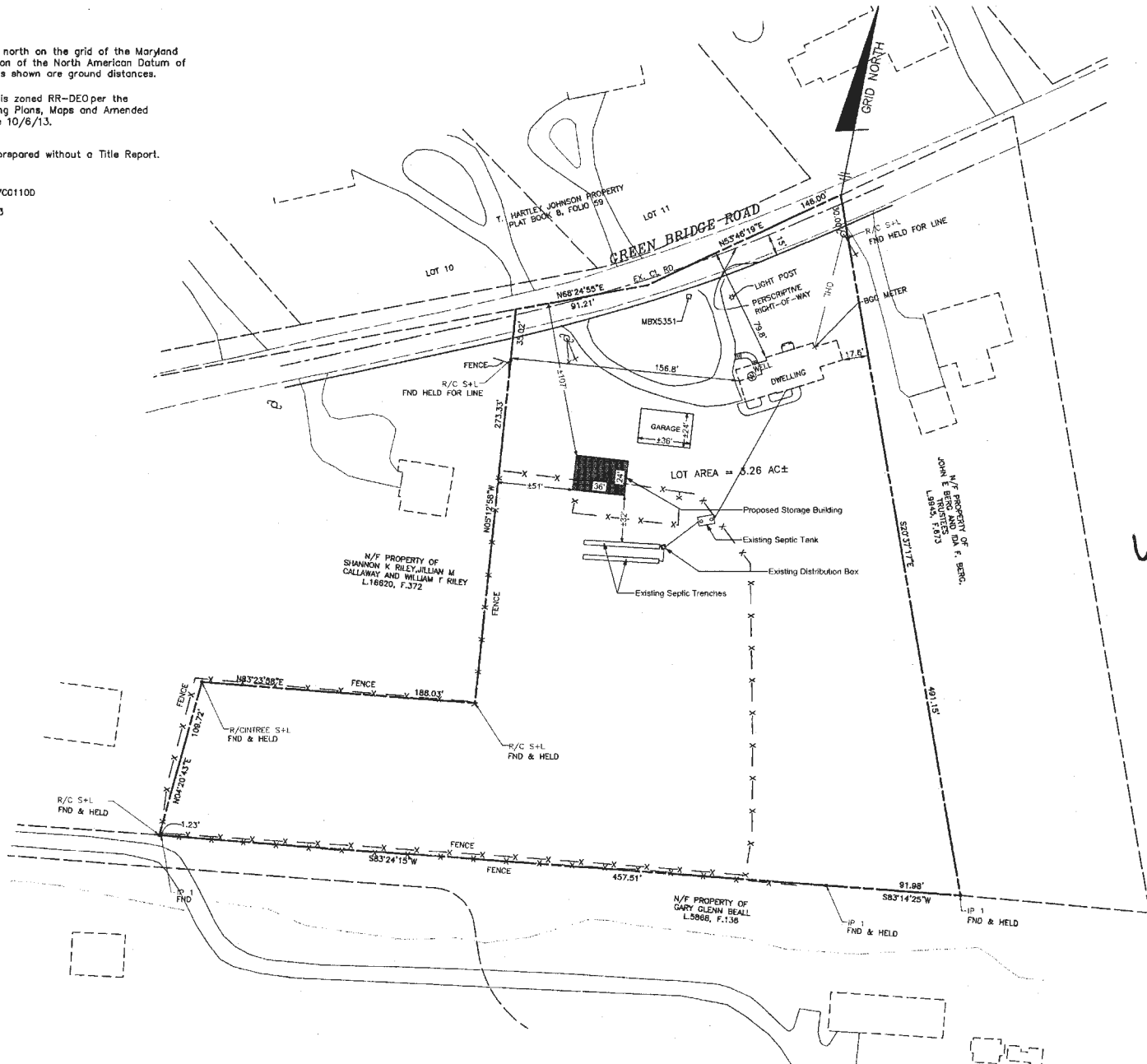
NOTES:

1.) Grid North is the north on the grid of the Maryland State Plane projection of the North American Datum of 1983. The distances shown are ground distances.

2.) Subject property is zoned RR-DEO per the Comprehensive Zoning Plans, Maps and Amended Regulations effective 10/6/13.

3.) This survey was prepared without a Title Report.

FEMA FIRM No. 24027001100
 ZONE: X
 DATED: NOV. 6, 2013



BLOWUP
 SCALE 1"=30'

Handwritten notes:
 up to date
 2/11/14

PLAN
 SCALE 1"=50'

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 613601, EXPIRATION DATE 1/7/2021, AND THAT THIS BOUNDARY SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS IT RELATES TO BOUNDARY SURVEYS, PREC. CODE, §9-2-09.05.

Signature: Donald A. Mason
 DONALD A. MASON
 REGISTERED PROFESSIONAL LAND SURVEYOR AND PLANNER
 NO. 613601 FOR BENCHMARK ENGINEERING, INC.
 MARYLAND NO. 361

BOUNDARY DRAWING
5351 GREEN BRIDGE RD
 TAX MAP NO. 0027, PARCEL 0073

BENCHMARK
 ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.

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 (P) 410-468-6105 (F) 410-465-0644
 WWW.BD-CVLENGINEERING.COM

5th ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'
 ZONED: RR-DEO
 DATE: MARCH 20, 2019
 SHEET: 1 OF 1