

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case #
EH-PLANS-24-0

Type
EnvHealth/Environmental Health/Plan Check/Application

Status
In Review

Opened Date
05/24/2024

Single Entry Edit-View Record Form

Application Name
B24001068 *REVISION*

Description
KFM247 LTD/ CONSTRUCT 70 X 40 POLE BARN TO BE USED AS WAREHOUSE SPACE FOR COMMERCIAL COMPANY HEADQUARTERED IN EXISTING DWELLING

Approved MDE
2/16/25

* REVISION

Total Invoiced

0.00

Total Paid

0.00

Balance

0.00

Assigned to Department Current Department

Well and Septic Progr

Assigned to Staff Current User

Dana Bernard

Address * (This section is required.)

New	Search	Delete	Set Primary		Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type
<input type="checkbox"/>	<input checked="" type="checkbox"/>				15947		Frederick	RD	Wood...	MD	21797			

Parcel (This section is not required.)

Search	Delete	Get Address & Owner	Set Primary		Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract
<input type="checkbox"/>	<input checked="" type="checkbox"/>				0 record(s) found.									

Owner (This section is not required.)

Search	Delete	Set Primary		Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Co
<input type="checkbox"/>	<input checked="" type="checkbox"/>			Nivia Jacobs Properties,, LLC.	15947 Frederick Rd.			Woodbine	MD	21797	443-277-9780	US

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type *
Applicant

Primary
Yes

First Name *
Jamie

Middle Name

Last Name *
Jacobs

Home Phone ((xxx)xxx-xxxx)

Organization Name *
KFM247 LTD

Mobile Phone ((xxx)xxx-xxxx)
(843) 283-2222

E-mail

JACOBS@KFM247.COM
Business Phone ((XXX)XXX-XXXX)

Preferred Channel
--Select--

Applicant Address

New Look Up Deactivate Remove

<input type="checkbox"/> Contact Address ID	Address Type	Address Line 1	City	State	Zip	Primary	Recipient	Status
0 record(s) found.								

Custom Fields

DATE TRACKING

Received Date 5/23/2024 Due Date 6/26/2024

Dates to Complete 14 Received by Food

Food Review Type --Select-- Equipment Specification Sheets Submitted

Equipment Specification Sheet Received by Community Hygiene

Received by Well and Septic

5/23/2024

FACILITY INFORMATION

Name of Business (dba) NA (Text)

Associated Building Permit Number (Text)

Owner Switch Date

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

Yes No

Does the project Include Private Septic? If Yes, forward to WS Program.

Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State.

Yes No

Facility Fax 0 (Text)

Days of Operation 0 (Text)

Does this project have a Building Permit?

Yes No

Building Permit Issued Date

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

Yes No

Does the project Include Food Services? If Yes, forward to FP Program.

Yes No

Facility Phone 0 (Text)

Facility Email 0 (Text)

PROPERTY INFORMATION

Water Source Private

Sewage Disposal Private

Design Wastewater Flow 0 (Number)

Permit Type --Select--

PLAT STATS

Total Number of buildable lots to be recorded Total number of open space lots to be recorded

Total number of bulk parcels to be recorded Total number of lots / parcels to be recorded

New buildable lots created Date PLAT signed by Health Officer

(Number)

PLAT Type --Select--

DEVELOPMENT PLANS

Property Type Commercial

Plan Version Initial

Signature Required Yes No

Engineer 0 (Text)

Number of paper copies 0 (Number)	Number of mylar copes 0 (Number)
Number of buildable lots created 0 (Number)	Number of non-buildable lots created 0 (Number)
Total Number of Lots 0 (Number)	Associated Plans

WELL AND SEPTIC INTERNAL

State Review Required Yes No

Proposed Septic System Type
--Select--

Coordinate State Review Yes No

FOOD ESTABLISHMENT FACILITY

Priority Assessment
--Select--

License Category
--Select--

Licensed Type
--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation (Text)

Operating Seasonally Only **Operating Seasonally Only**

If Operating Seasonally. What is the start month? (Text)

Are pets allowed in a outdoor seating area? Yes No

Full Bar? Yes No

RESTAURANT AND FOOD SERVICE

Food Service Facility Secondary Category
--Select--

Number of Restrooms (Number)

Bar Seating Capacity (Text)

Does the restaurant have outdoor seating Yes No

Total Seating Capacity (Number)

Interior Restaurant Seating Capacity (Number)

Outdoor Seating Capacity (Text)

EQUIPMENT

Evaluated non NSF, ANSI, CF or other standards Yes No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units (Number)

Is there a bulk ice machine available Yes No

Description of Walk-In Freezer Units (Text)

Space Limitation

Number of Hand Sinks Available (Number)

Ventless Equipment (Text)

Hood System (Text)

PLUMBING

Size and installation of the water heater? (Text)

Is there a grease interceptor or grease trap? --Select--

REFUSE AND RECYCLABLES

Dumpsters Located on a impervious surface? --Select--

Will there be a grease receptacle? --Select--

WAREWASHING DISHWASHING

Dishwashing Method
--Select--

HACCP

Plan Review Response Letter Received Date HACCP Approved by the State

Yes No
 Yes No
 Roadside Tree Permit
 Roadside Tree Project Permit Yes No
 Road Frontage State Yes No
 Existing n/a

Use Group: Storage/Warehouse
 Number of Solar Panels:
 Tenant: KFM247 LTD
 Assembly: Yes No
 Minor Alteration: Yes No

Revision Fees? Yes No
 Height: 25 FT (Number)
 No of Stories: 1 (Number)
 Gross Area - Sq Foot Per Floor: 3600 (Number)
 Area of Construction - SQ FT: 3600 (Number)
 Excise Tax at \$0.60 SQ FT: 3440 (Number)
 Excise Tax at \$1.17 SQ FT: 0 (Number)
 Construction Type: V Unprotected Wood Frame
 State Certified Module: Yes No
 Expiration Date: 12/28/2024

U&O Issued On:
 U & O Comments: [check spelling](#)

UTILITY INFORMATION

Water Supply: Private
 Sewage Disposal: Private
 Utilities: Electric
 Heating System: Electric
 Geothermal: Yes No
 Sprinkler System: None

GREEN BUILDING INFORMATION

Goal Level: --Select--
 Actual Level: --Select--
 Leed Registration Number: (Text)
 Date of Leed Certification:

Related Records

Showing 1-2 of 2

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B24001068	Commercial New Building Permit	Review In Process	15947	FREDERICK	03/29/2024	KFM247 LTD/ CONSTRUCT 70 X 40 POLE BARN TO BE I
E24003305	Commercial Electrical Permit	Review In Process	15947	FREDERICK	06/17/2024	Kfm247 ltd/ Furnish & install wiring & devices to replace exi

Submit Cancel

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR WAIVER

To Howard Co Code Subtitle 8: Onsite Sewage Disposal Systems and Subtitle 9: Individual Potable Water Supply Systems

Date Submitted: 12/21/2024

Property Address: 5947 Frederick Road Lisbon, Maryland

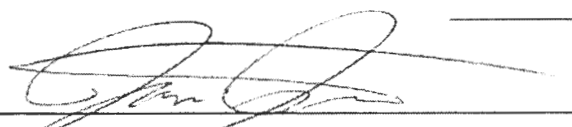
Subdivision	Lot	Tax Map	Grid	Parcel	Tax Account #
		7	12	196	04-328310

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

A SDP for a 40' x 70' Service Agency Pole Barn was approved. A Building Permit has been applied for. The septic system is in the front of the lot between the existing house and roadway. No septic testing or records are available.
Permit # B24001068

In the area below, list the specific section of the Howard Co Code to which a waiver is being requested and provide a brief summary of the regulation and an explanation of why the waiver is being requested (Attach a separate sheet if necessary).

Regulation Section	Summary and Explanation
1. <u>HC Sec. 3.805(a)</u>	<u>Existing Septic System with no records available. Proposed building does not add living space or additional employees. The existing system is adequate for existing use. Per HC Sec. 3.805(a), this proposed building should be exempt from requiring a percolation certification plan before a Building Permit is issued.</u>
2. _____	_____
_____	_____
_____	_____




Property Owner's Signature

Health Department Use Only

Reviewed by _____ HCHD Staff _____ Date _____ *or change use*

Comments/Conditions: building is for storage use with no increase in ~~maneuver~~ use from office/warehouse. Any ~~to~~ future increase in building footprint, use, or wastewater volume or strength will require perc testing + perc cert to establish repair area

Approved by:  _____ Date 12/23/24

BEH Deputy Director

Eshenbaugh, Melanie

From: Eshenbaugh, Melanie
Sent: Monday, February 10, 2025 10:32 AM
To: Karen Hecht
Subject: RE: Fwd:

Thank you Karen! The photos are sufficient for our records, and it will not be necessary for me to conduct a site visit. I will be giving HD approval today. Best wishes and have a wonderful day.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org



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From: Karen Hecht <khecht@kfm247.com>
Sent: Monday, February 10, 2025 10:11 AM
To: Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov>
Subject: Fwd:

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Thanks for taking my call today. Look forward to hearing back from you soon. Karen



Karen E. Hecht

Administration

KFM 247, LLC

410-525-6304 (o)

443-277-9780 - c

khecht@kfm247.com

www.kfm247.com

"Your Partner for Facility Solutions"

----- Forwarded message -----

From: **Karen Eaton** <karenhecht@icloud.com>

Eshenbaugh, Melanie

From: Karen Hecht <khecht@kfm247.com>
Sent: Tuesday, November 12, 2024 10:42 AM
To: Eshenbaugh, Melanie
Subject: Re: B24001068

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Melanie,

My apologies for the late response. I just got off the phone with Dana Bernard from your department, and she informed me that you had emailed me a while ago. Here are the answers to your questions:

1. Existing Uses: Offices and storage - approx. 6 employees.
2. No customers will be on site.
3. There will be no plumbing in the proposed warehouse.
4. There will be no change in business operations.
5. We have no records on our septic system. It was, however, pumped approximately one year ago.

Please let me know if you have any other questions. Karen

On Wed, Jul 17, 2024 at 5:25 PM Eshenbaugh, Melanie <MEshenbaugh@howardcountymd.gov> wrote:

Good afternoon,

After reviewing your building permit (B24001068) proposal, provided documentation and Health Dept. records, we kindly request more information to move forward with the building permit approval process. First we need to know all the existing uses for the commercial property currently: including the number of employees, the type of work conducted at this property, and whether there are/will be customers on site using the facilities. Additionally, will there be any plumbing in the proposed warehouse or any change of use regarding the business operations? Once we know these important details, we can determine the HD requirements for your business prior to giving approval of the building permit. Also, if you have any additional details and/or records that could be provided to the HD regarding your septic system that would be greatly appreciated. Thank you.

Melanie Eshenbaugh

Bureau of Environmental Health

Howard County Health Dept.

8930 Stanford Blvd. Columbia, MD 21045

www.hchealth.org



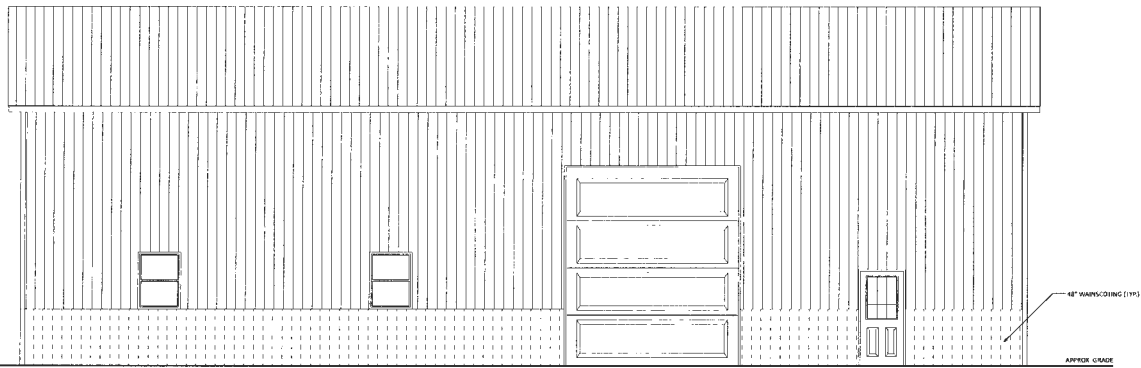
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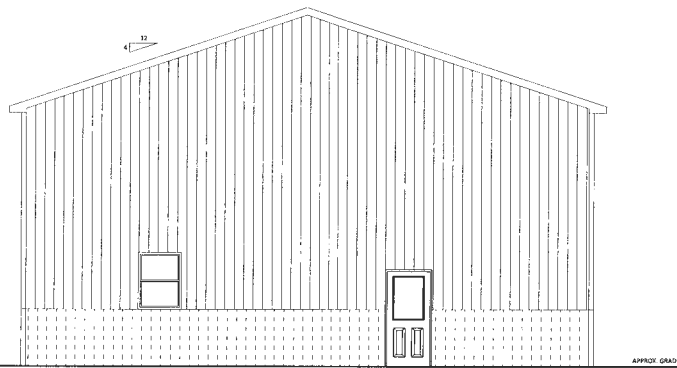




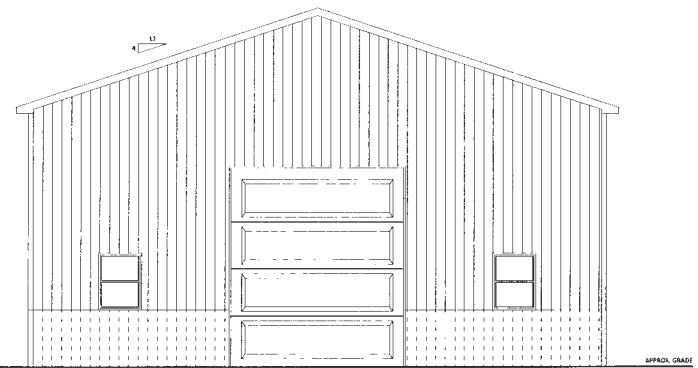




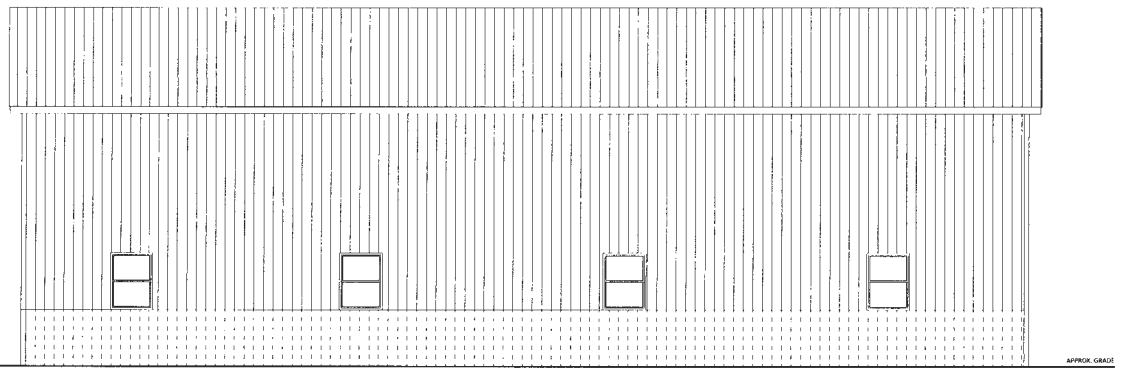
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 49873
Expiration Date: 8-18-25

John Ruff
[Signature]
09 / 27 / 2024

DRAFTING CONCEPTS
5115 Old Strasburg Rd
Farmingdale, PA 17535
P: 717-442-5093 F: 717-370-9925

ANY CHANGES FROM THE ORIGINAL DRAWINGS SHALL BE INDICATED BY A REVISION TABLE. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY ALL INFORMATION AND TO OBTAIN NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR ANY OTHER PROJECTS.

RUFF ENGINEERING
JOHN RUFF
6440 BUCKLE TOWN PIKE
DOUGLASSVILLE, PA 19518
PHONE: 610-888-9008
FAX: 610-888-9038

DATE	ITEM	BY
2/24/24	FINAL	J.R.

CONTRACTOR:
Ready Ridge Construction
55267 Frederick Rd
Crownsville, PA 19328
610-888-9007

CLIENT NAME & ADDRESS:
55267 Frederick Rd
Woodbine, MD 21797
PROJECT TITLE:
55267 Frederick Rd
Woodbine, MD 21797

POLE BUILDING

SHEET TITLE:
Elevations

DATE RECEIVED:
1/27/24

SCALE:
AS NOTED

DRAWING NO.:
D123-24

3



DATE	ITEM	BY
1/27/24	100% FLOOR PLAN	JR

CONTRACTOR:
 Ruff Ridge Construction
 1206 Lepp Farm Dr.
 Coatesville, PA 19328
 610-387-3647

CLIENT NAME & ADDRESS:
 Ruff Ridge LTD
 15947 Frederick Rd
 Woodbury, MD 21797
 ruff@ruff.com
 410-327-3647

PROJECT TITLE:
POLE BUILDING

SHEET TITLE:
 Floor plan

DATE RECEIVED:
 1/27/24

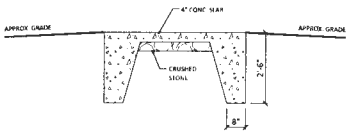
SCALE:
 AS NOTED

DRAWING NO.:
 D123-24

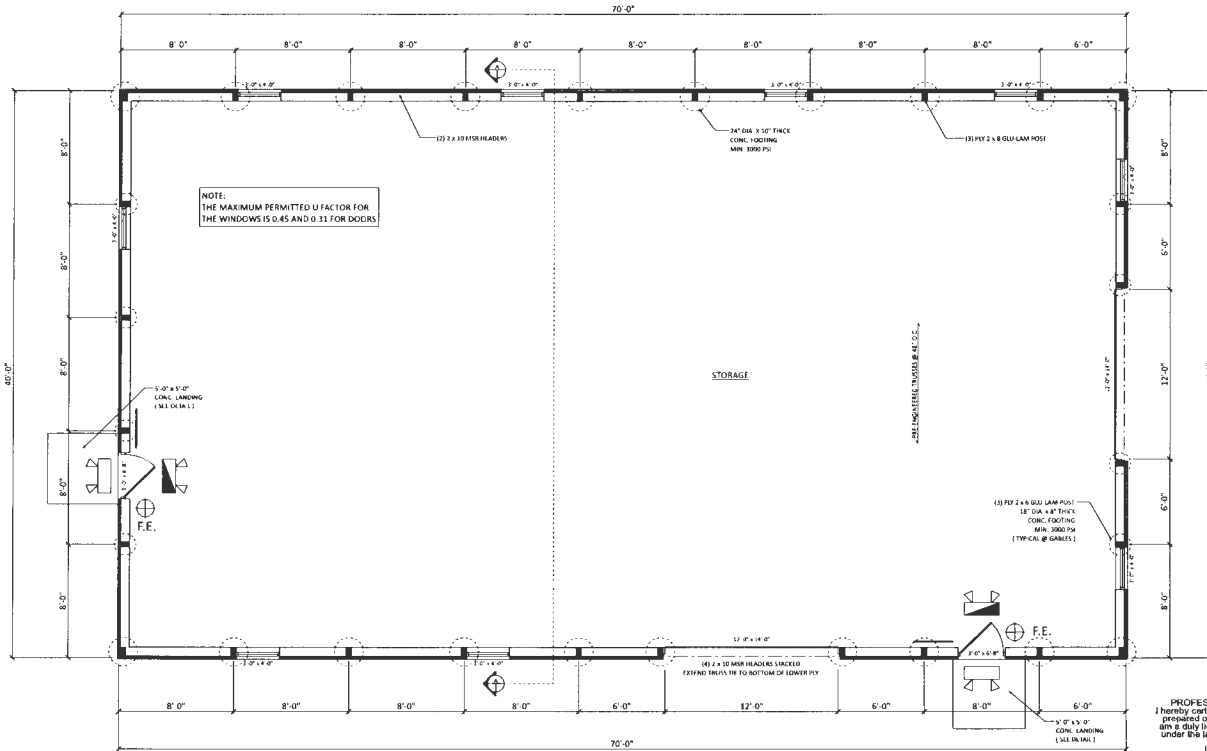
1

SYMBOL LEGEND:

- FIRE EXTINGUISHERS INSTALLED IN ACCORDANCE W/ IBC & NFPA 10
- COMBINATION LIGHTED EXIT SIGN AND EXIT PATH LIGHTS LIGHT W/ BATTERY BACKUP
- EMERGENCY EXIT SIGN LIGHT W/ BATTERY BACKUP
- EGRESS DOOR



CONCRETE LANDING
 SCALE: 1/2" = 1'-0"



FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 49979
 Expiration Date: 8-18-25

GENERAL NOTES:
 USE GROUP 1 STORAGE SPEED CONSTRUCTION TYPE V-B AREA 2. USE ALL ELECTRICAL DRAWINGS AND BY OTHERS.
 (LOADS) (2) BASED ON 50% OCCUPANCY.
 THESE NOTES ARE NOT INTENDED TO REPLACE ANY SPECIFICATIONS. UNLESS THE INFORMATION SHOWN IN THE DRAWINGS OR NOTES CONFLICTS WITH ANY SPECIFICATION, CONTACT THE ENGINEER FOR CLARIFICATION.
 FOLLOW ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS DURING CONSTRUCTION.
 ALL DIMENSIONS SHOWN ARE HORIZONTAL OR VERTICAL, EXCEPT AS NOTED.
 STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE.
 THE ENGINEER IS NOT LIABLE FOR SITE-SPECIFIC DETAILS. THE USER ACCEPTS THE SOLE RESPONSIBILITY OF THE CONSTRUCTION MANAGER AND CONTRACTOR.

LOADING NOTES:
 DEAD LOADS:
 FLOOR: 35 PSF
 1 1/2' JOISTS: 78 PSF
 CL. BRG.: 50 PSF
 SLOW LOADS:
 UNIFORM SNOW LOAD (Pg. 40): 40 PSF
 SNOW IMPORTANCE FACTOR (I): 1.0
 SNOW FACTOR (F): 0.7
 SNOW FACTOR (C): 1.0
 WIND LOADS:
 ULTIMATE WIND SPEED (V): 115 MPH
 RISK CATEGORY: C
 WIND EXPOSURE CATEGORY: C

FOUNDATION NOTES:
 REMOVE ALL ORGANIC MATERIAL, (INCLUDES CLAY OR SILTY SOIL, ASPHALT, CONCRETE, OR OTHER SOILS WITH FIN. LIMITS) OF THE FOUNDATIONS.
 USE ON SITE ORGANIC SOILS FOR FILL. PLACE FILL IN 16" TO 18" LAYERS TO LOOSE THICKNESS AND COMPACT TO 95% MAXIMUM JOB DENSITY PER ASTM D 1557. STANDARD PROCTOR TEST.
 FOUNDATIONS ARE DESIGNED BASED ON A PILE SUMMATIVE ALLOWABLE BEARING PRESSURE OF 3000 PSF. PER TABLE B-2.

PARAMETERS (LOAD ANALYSIS BASED ON EQUIVALENT LATERAL FORCE METHOD):
 SHORT PERIOD SPECTRAL ACCELERATION (S_a): 0.29 g
 SPECTRAL W/VE OF ASS.: 0
 SEISMIC W/VE COEFFICIENT (C_s): 1.5
 SEISMIC USE GROUP: I
 SEISMIC DESIGN CATEGORY: B
 SEISMIC FORCE RESPON. SYSTEM: LIGHT FRAME BUILDING W/ WOOD FRAMING
 REPTITION MODIFICATION FACTOR (R): 7.0
 SEISMIC IMPORTANCE FACTOR (I): 1.0

CONCRETE NOTES:
 CONCRETE ALL CONCRETE WORK IN ACCORDANCE WITH THE LATEST EDITION OF ACI 308
 USE CONCRETE WITH COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS:
 FOUNDATIONS: 3000 PSI
 CHAMFER EDGED CONCRETE 1:1.5:1.5 - 3" ACCEPT AS NOTED.
 MAKE FRESH ALL HORIZONTAL CONSTRUCTION JOINTS EXCEPT AS INDICATED.
WOOD NOTES:
 ALL TIMBER IS DESIGNATED IN ACCORDANCE WITH THE 2018 NDS USING ALLOWABLE STEEL NAIL METHOD.
 USE K1 OR K2 FOR ALL COMPRESSION LUMBER UNLESS NOTED OTHERWISE.
 USE 2x4 - 2x6S UP OVER LUMBER WHERE NOTED.
 USE 2x4 - 2x6S UP BEAMS WHERE NOTED.
 DESIGN, MANUFACTURE, AND ERECT PRE-ENGINEERED WOOD TRUSSES IN ACCORDANCE WITH THE AIDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION BY TRUSS PLATE INSTITUTE.
 PROVIDE PRESSURE TREATED WOOD THAT IS TREATED IN ACCORDANCE WITH ANWA STANDARDS.
 USE WOOD TREATED WITH CHLORANIL OR COPPER AZOLATE (CAL OR FORMALIN).
 USE RICE 3IP GALVANIZED OR STAINLESS STEEL CONNECTIONS OR PRESSURE TREATED LUMBER.

John Ruff *JR* 09 / 27 / 2024



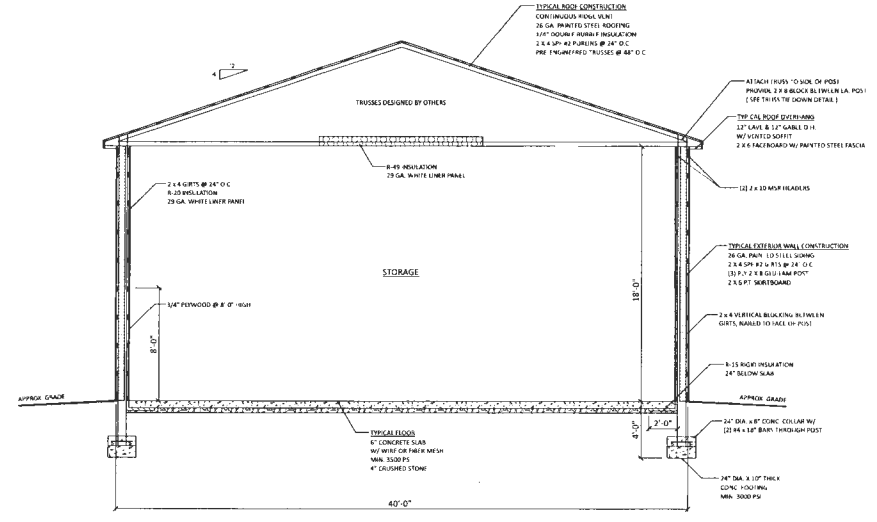
DATE	ITEM	BY
1/27/24	FINAL	J.R.

CONTRACTOR:
 Ruff Engineering
 8400 Noteland Drive
 Douglassville, PA 19118
 610-889-9000

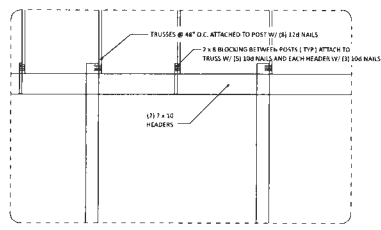
CLIENT NAME & ADDRESS:
 1507 Freedom Rd
 Woodbine, MD 21797
PROJECT SITE:
 1507 Freedom Rd
 Woodbine, MD 21797

PROJECT TITLE:
POLE BUILDING

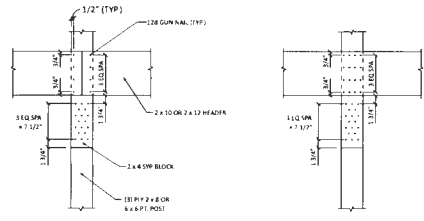
SHEET TITLE:
 Section details
DATE RECEIVED:
 1/27/24
SCALE:
 AS NOTED
DRAWING NO.:
 D123-24



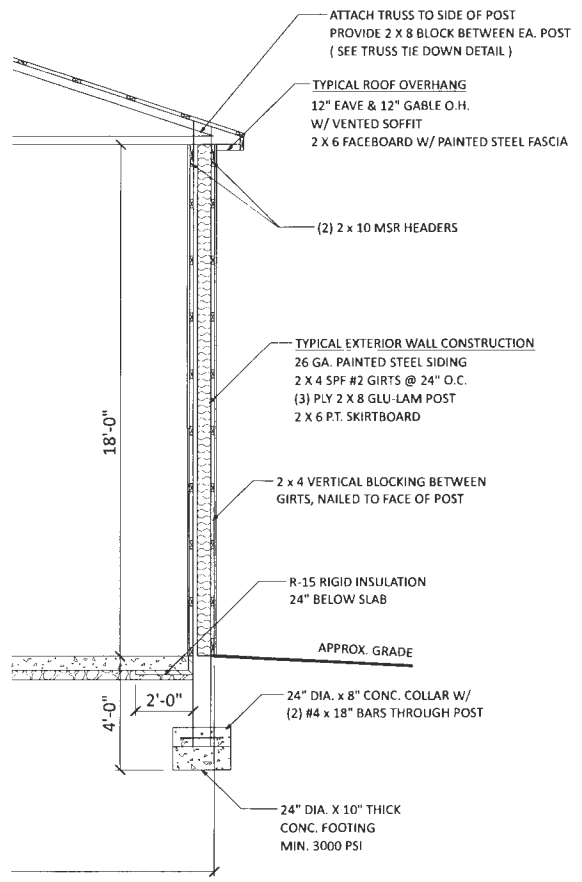
SECTION A
 SCALE: 1/4" = 1'-0"



TRUSS TIE-DOWN DETAIL (TYP.)



CONNECTION DETAILS



SECTION A
 SCALE: 1/2" = 1'-0"

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 40979
 Expiration Date: 6-18-25

John Ruff

 09 / 27 / 2024

LEGEND

- WATER LINE
- SEWER LINE
- UTILITY
- EXISTING CURB
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVE
- PROPOSED WALKWAY
- PROPOSED SIDEWALK
- PROPOSED DRIVE
- PROPOSED WALKWAY
- PROPOSED SIDEWALK
- PROPOSED DRIVE
- PROPOSED WALKWAY
- PROPOSED SIDEWALK
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- PROPOSED WALKWAY
- PROPOSED SIDEWALK
- PROPOSED DRIVE
- PROPOSED WALKWAY
- PROPOSED SIDEWALK
- PROPOSED DRIVE
- PROPOSED WALKWAY
- PROPOSED SIDEWALK

SOIL LEGEND

MAP SYMBOL	MAPPING UNIT	HYDROLOGIC SOIL GROUP	PERCENT COMPLETION	K _f	SLOPE
(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)

SWM TREATMENT SUMMARY

PRACTICE	DRAINAGE AREA (SQ FT)	VOLUME (ESW) REQUIRED	VOLUME (ESW) PROVIDED
N-1 ROOFTOP DISCONNECTION	2800 SF	222 c.f.t	222 c.f.t
N-2 HIGH-ROOFTOP DISCONNECTION	561 SF	44 c.f.t	44 c.f.t
TOTAL ESW PROVIDED		266 c.f.t	266 c.f.t

ADDRESS CHART

PARTIAL #	STREET ADDRESS
258	15047, FREDERICK ROAD, LISBON, MO 24785

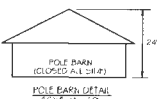
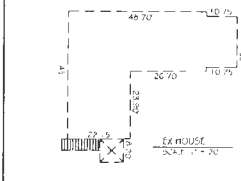
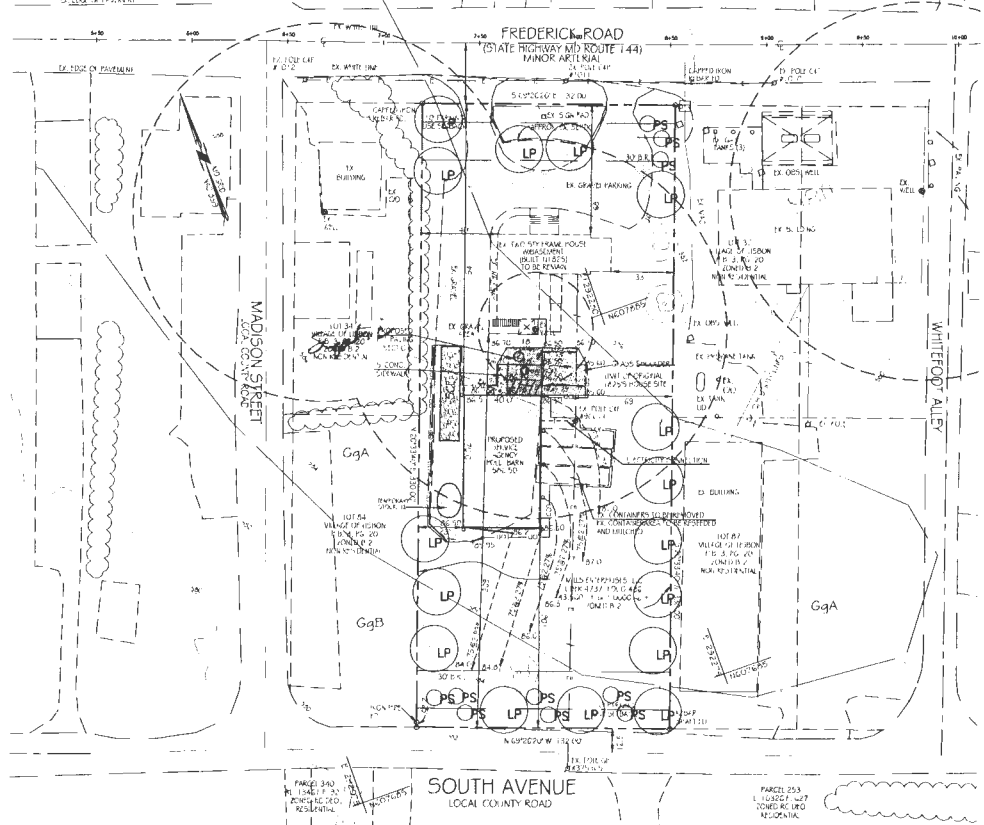
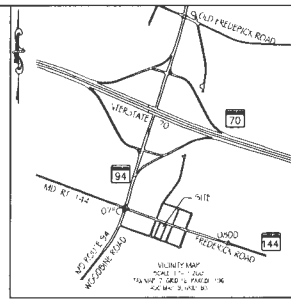
HOWARD COUNTY BENCH MARKS

677C MARK WITH TOP OF TOP LEAS COLUMN

2 #67C MARK ON SIDE OF ROUTE 144

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD AND SPECIFICATIONS OF HOWARD COUNTY. PLAN, DRAWINGS AND SPECIFICATIONS OF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/PLANNING & ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY THE COUNTY AT 1-800-251-7777 AT LEAST 48 HRS. PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. ALL PLAN DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. THE EXISTING TOPOGRAPHY IS SHOWN FROM HOWARD COUNTY SURVEY ELEVATIONS BY FIELD-RUN ELEVATIONS BY WHICH ACCORDANCE IS GIVEN UNLESS OTHERWISE SPECIFIED. THE DESIGN ELEVATION IS SHOWN IN FEET.
6. THE LOCATIONS OF STORM SEWERS ARE SHOWN UPON THE HOWARD COUNTY SURVEY CONTROL, WHICH IS BASED UPON THE HOWARD COUNTY SURVEY CONTROL SYSTEM AS PROVIDED BY HOWARD COUNTY SURVEY CONTROL STATIONING DATA IN RECORDS: DTIC - 80013535 (1) 1/24/90 140 (2) 80013535 (1) 7/21/95 340
7. WATER IS FRONT.
8. POLE IS FRONT.
9. STORMSEWER MANAGEMENT FOR THIS LOT WILL BE PROVIDED BY A NEW HIGH-ROOFTOP DISCONNECTION (N-2) AND ROOFTOP DISCONNECTION (N-1) TO BE CONSTRUCTED BY THE DEVELOPER UNDER PLAN S&P-23-025.
10. THERE IS NO FLOODPLAIN ON SITE.
11. THERE IS NO WETLANDS ON THIS SITE.
12. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
13. PROPERTY OWNER: MANN JACOBS PROPERTIES, LLC ADDRESS: 15047 FREDERICK ROAD, HOWARD, MO 24787 PH: (417) 277-8700
14. PROPERTY INFORMATION: SUB IMP. 7, GRID 12, PARCEL 195 TOTAL ACRES IN SUBJECT PROPERTY: 2.4110 ACRES TOTAL SITE AREA: 1.000 ACRES +/- APPROX. 1.2
15. THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARD UNLESS OTHERWISE NOTED.
16. THE USES SHOWN HAVE BEEN TAKEN FROM THE US DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, RED SOIL SURVEY MAPS.
17. A HOME STUDY IS NOT REQUIRED FOR THIS PROJECT BECAUSE THIS IS A NEW RESIDENTIAL USE.
18. THE SUBJECT PROPERTY IS LOCATED WITHIN HISTORIC DISTRICT AND AS SUCH, THE HISTORIC DISTRICT REVIEW BOARD SHALL REVIEW THIS PROJECT FOR HISTORIC DISTRICT REVIEW AS PER SECTION 205.0.
19. ANY CHANGE TO THE PROPERTY THAT WOULD REQUIRE WATER FLOW MODS FIRST REQUIRE A PERCOLATION DETECTION PLAN APPROVED BY THE HEALTH DEPARTMENT.
20. ANY DISTURBED AREA THAT DOES NOT DRAIN TO A SEWERMOUTH MEASURE SHALL BE STABILIZED SAME DAY.
21. THE PROPERTY IS LISTED ON THE HISTORIC SITES INVENTORY AS NO-253. THE HISTORIC DISTRICT REVIEW BOARD SHALL REVIEW THIS PROJECT FOR HISTORIC DISTRICT REVIEW AS PER SECTION 205.0.
22. HISTORIC PRESERVATION COMMISSION (HPC) RECOMMENDED THE BANK BE PAINTED WHITE COLORS, SO AS TO NOT CONTRAST WITH THE HISTORIC HOUSE.
23. THE PROPOSED BUILDING IS A PERMITTED USE PER SECTION 180.0.1.3 OF THE ZONING REGULATIONS. ALL STORAGE SUPPLIES AND MATERIALS MUST BE STORED INSIDE THE BUILDING AT ALL TIMES.
24. THERE WILL NOT BE FLOODPLAIN DAMAGES ON THE PROPOSED STORAGE BUILDING, A MINIMUM OF 3 FOOTING SPACES SHALL BE MAINTAINED FOR THE PROPOSED BUILDING. DEVELOPER SHOULD PROVIDE ONE HANDICAP AND ONE REGULAR PARKING.
25. ANY CHANGE TO THE PROPERTY THAT WOULD REQUIRE WATER FLOW MODS FIRST REQUIRE A PERCOLATION DETECTION PLAN APPROVED BY THE HEALTH DEPARTMENT.
26. PER THE HOWARD COUNTY FOREST CONSERVATION ORDINANCE, NO REMOVAL OR REDUCTION OF TREES SHALL BE ALLOWED UNLESS THE REMOVAL OR REDUCTION OF TREES IS NECESSARY FOR THE PROPOSED PROJECT. THE REMOVAL OR REDUCTION OF TREES SHALL BE COMPENSATED BY THE PROPOSED PROJECT. THE REMOVAL OR REDUCTION OF TREES SHALL BE COMPENSATED BY THE PROPOSED PROJECT. THE REMOVAL OR REDUCTION OF TREES SHALL BE COMPENSATED BY THE PROPOSED PROJECT.
27. THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROGRAMS OF SECTION 14.1.34 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SAFETY IN THE AMOUNT OF \$4,000 FOR THE 1/4 ACRE TRACT AND 10 CONSERVATION TREES HAS BEEN POSTED WITH THE ENGINEERING FIRM.
28. PROTECTION FROM THE EXISTING GRAVEL PAVEMENT OR ANY CHANGE TO THIS TRACT FROM THE EXISTING GRAVEL PAVEMENT SHALL BE PROVIDED AND RETURNED TO ORIGINAL CONDITION.
29. THE DESIGN MANUAL NUMBER FROM WHICH ORIGINAL VOLUME IS SECTION 2.3.1.6 AND APPROVED ON NOVEMBER 1, 2023. THIS IS USED TO REVIEW THE PROPOSED CIVIL SURFACE FOR PROPOSED AND EXISTING.



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: **CHRIS Schumann** DATE: 1/24/2024

Chief, Division of Land Development: **Lynda Swisher** DATE: 1/24/2024

Director: **Lynda Swisher** DATE: 1/24/2024

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Approved: **Robert E. Thompson** DATE: 1/22/2024

DESIGN CERTIFICATE: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH CURRENT BUILDING, FIRE, AND SAFETY CODES, REGULATIONS, AND ORDINANCES, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: **Ronald E. Thompson** DATE: 1/22/2024

PRINTED NAME (RONALD E. THOMPSON, P.E.) NO REGISTRATION NO. P.E., P.L.S. OR R.L.S.

OWNER'S/DEVELOPER'S CERTIFICATE: I, THE OWNER, CERTIFY THAT ANY EXCAVATION, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE IN ACCORDANCE WITH THE PROPOSED STANDARD AND SPECIFICATIONS PLAN INCLUDING THE CONSTRUCTION PERMIT WHICH I WILL OBTAIN FROM THE DEPARTMENT OF PUBLIC WORKS/PLANNING & ENGINEERING/CONSTRUCTION INSPECTION DIVISION PRIOR TO THE START OF WORK. I WILL NOTIFY THE COUNTY OF ANY CHANGES TO THE ORIGINAL PLAN PRIOR TO THE START OF WORK. I WILL NOTIFY THE COUNTY OF ANY CHANGES TO THE ORIGINAL PLAN PRIOR TO THE START OF WORK. I WILL NOTIFY THE COUNTY OF ANY CHANGES TO THE ORIGINAL PLAN PRIOR TO THE START OF WORK.

OWNER'S/DEVELOPER'S SIGNATURE: **MANN JACOBS PROPERTIES, LLC** DATE: 1/22/2024

PRINTED NAME & TITLE (MANN JACOBS PROPERTIES LLC)

SHEET INDEX

NO.	TITLE
1	GRADING, STORMWATER, SEWERAGE AND EROSION CONTROL
2	PERMITTING AND EROSION CONTROL NOTICES AND DETAILS
3	LANDSCAPE PLAN

SCALE: 1" = 30'

DATE: 1/24/2024

PROFESSOR OF CIVIL ENGINEERING: **Ronald E. Thompson**

PROFESSOR OF CIVIL ENGINEERING: **MANN JACOBS PROPERTIES, LLC**

VANMAR ASSOCIATES, INC. Engineers Surveyors Planners
160 South Main Street, Independence, Missouri 64241
(816) 899-2888 (816) 831-5015 (417) 540-2701
www.vanmar.com

Uniclass License ID: 827991.4 (913) 406A AB84 2885288 707

6.04.2 EXHIBIT A - PRELIMINARY CONSTRUCTION SPECIFICATIONS

This plan shows the proposed construction specifications for the site. The specifications are intended to provide a clear and concise description of the work to be done. The specifications are organized into sections corresponding to the different types of work to be done.

6.04.3 EXHIBIT B - PRELIMINARY CONSTRUCTION SPECIFICATIONS

This plan shows the proposed construction specifications for the site. The specifications are intended to provide a clear and concise description of the work to be done. The specifications are organized into sections corresponding to the different types of work to be done.

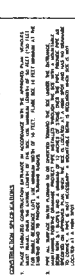
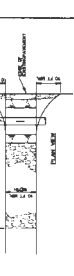
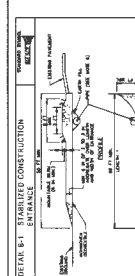
6.04.4 EXHIBIT C - PRELIMINARY CONSTRUCTION SPECIFICATIONS

This plan shows the proposed construction specifications for the site. The specifications are intended to provide a clear and concise description of the work to be done. The specifications are organized into sections corresponding to the different types of work to be done.

8.4 STAMMING AND MARKING

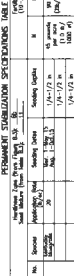
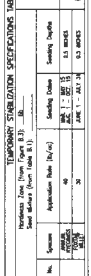
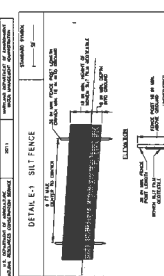
PERMANENT IDENTIFICATION

- 1. The stamming and marking shall be done in accordance with the following requirements:
 - a. The stamming and marking shall be done in a location that is easily accessible to all personnel.
 - b. The stamming and marking shall be done in a location that is protected from damage.
 - c. The stamming and marking shall be done in a location that is clearly visible.
 - d. The stamming and marking shall be done in a location that is clearly legible.
 - e. The stamming and marking shall be done in a location that is clearly permanent.



CONSTRUCTION SPECIFICATIONS

1. The retaining wall shall be constructed in accordance with the following specifications:
 - a. The wall shall be constructed using concrete of a minimum strength of 3000 psi.
 - b. The wall shall be constructed using 1/2" diameter vertical reinforcement bars.
 - c. The wall shall be constructed using 4" diameter horizontal reinforcement bars.
 - d. The wall shall be constructed using 6" diameter vertical reinforcement bars.
 - e. The wall shall be constructed using 8" diameter horizontal reinforcement bars.



APPROVED: *[Signature]*
DATE: 11/25/2010

CHEF, DIVISION OF PLANNING AND ZONING
DATE: 11/25/2010

CHEF, DIVISION OF LAND DEVELOPMENT
DATE: 11/25/2010

CHEF, DIVISION OF CONSTRUCTION
DATE: 11/25/2010

CHEF, DIVISION OF...
DATE: 11/25/2010

SITE DEVELOPMENT PLAN
SEDIMENT AND EROSION CONTROL NOTES & DETAILS
NIMA JACOBS PROPERTIES LLC

15487 FREEDOM ROAD
SUITE 200
WILKES BARRE, PA 18250
TEL: 570.833.9900
WWW.NIMAJACOBS.COM

DATE: 11/25/2010
SCALE: 1"=100'

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 11/25/2010

Real Property Data Search ()
Search Result for HOWARD COUNTY

[View Map](#) [View GroundRent Redemption](#) [View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 04 Account Number - 328310

Owner Information

Owner Name: NIVIA JACOBS PROPERTIES LLC Use: COMMERCIAL
Principal Residence: NO
Mailing Address: 1319 MILITARY CUTOFF ROAD Deed Reference: /21110/ 00243
WILMINGTON NC 28405-

Location & Structure Information

Premises Address: 15947 FREDERICK RD Legal Description: 1.000 ACRES
WOODBINE 21797- 15947 FREDERICK RD

Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No:
0007 0012 0196 20000.14 0000 2023 Plat Ref:

Town: None

Primary Structure Built Above Grade Living Area Finished Basement Area Property Land Area County Use
1940 3,312 SF 1.0000 AC

StoriesBasementType ExteriorQualityFull/Half BathGarageLast Notice of Major Improvements
OFFICE BUILDING/ C3

Value Information

	Base Value	Value As of 01/01/2023	Phase-in Assessments	
			As of 07/01/2023	As of 07/01/2024
Land:	370,200	255,800		
Improvements	220,400	255,100		
Total:	590,600	510,900	510,900	510,900
Preferential Land:	0	0		

Transfer Information

Seller: MILLS ENTERPRISES LLC Date: 11/16/2021 Price: \$520,000
Type: ARMS LENGTH IMPROVED Deed1: /21110/ 00243 Deed2:
Seller: DUSTIN CONSTRUCTION INC Date: 05/13/1999 Price: \$250,000
Type: ARMS LENGTH IMPROVED Deed1: /04737/ 00486 Deed2:
Seller: SNYDER THEODORE Date: 05/02/1990 Price: \$247,500
Type: ARMS LENGTH IMPROVED Deed1: /02163/ 00212 Deed2:

Exemption Information

Partial Exempt Assessments: Class 07/01/2023 07/01/2024
County: 000 0.00
State: 000 0.00
Municipal: 000 0.00|0.00 0.00|0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date: