

RECEIVED

PERMIT NUMBER: B

23002571

DATE ACCEPTED:

JUL 07 2023



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

LICENSES & PERMITS DIVISION

BUILDING SITE ADDRESS REQUIRED

Street Address: 14190 Twisting Ln
City: Dayton
State: MD
Zip Code: 21036
Subdivision/Village/Complex Name:
SDP/WP/BA #:
Lot:
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Patio
Proposed Use: Expanded deck-patio
Estimated Cost: \$ 50,000
Trade Work to Be Completed (Separate Permits Required):
We currently have a covered porch/small deck and looking to expand deck with additional paved patio. 16x31 Open Deck w/steps

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Anthony Allen & Laura Emmanuel-Allen
Primary Residence: Yes
Owner's Street Address: 14190 Twisting Ln
City: Dayton
State: MD
Zip Code: 21036
Phone: 443-535-5048
Email: l Emmanuel09@gmail.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: N/A
Contact Name: Laura Emmanuel-Allen
Street Address: 14190 Twisting Ln
City:
State:
Zip Code:
Phone:
Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: Owner to Act as Contractor
Licensee's Name: N/A
License #: N/A
Street Address:
City:
State:
Zip Code:
Phone:
Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name:
Street Address: N/A
City:
State:
Zip Code:
Phone:
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric, Gas
Water Supply: Private (Well)
Sewage Disposal: Private (Septic)
Heating System: Electric, Natural Gas, Propane, Other
Roadside Tree Project: No
Sprinkler System: NFPA 13, NFPA 13R, NFPA 13D, None
Fire Alarm System: Yes, No, Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF):
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms:
Full Baths:
Half Baths:
Fireplaces: 2
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Finished Basement: Full or Partial
1st Fl Width:
1st Fl Depth:
2nd Fl Width:
2nd Fl Depth:
Bsmt Width:
Bsmt Depth:
Energy Method: Prescriptive, Performance, UA Alternative, ERI
Gross Area: sq ft
Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE
DATE SIGNED: 7/3/2023

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
PR, DPZ, DED, Health, SHA, CID
SUBMITTAL FEES: 5500
PAYMENT: 10460
ACCEPTED BY:

THIS DOCUMENT IS CERTIFIED TO:

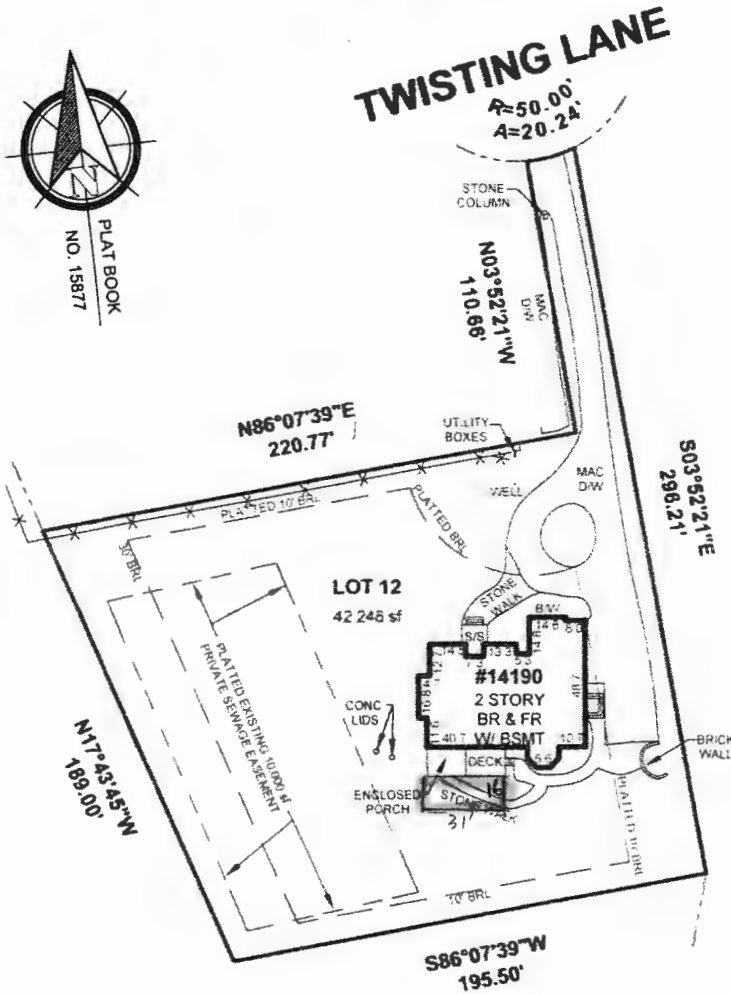


DISTRICT TITLE



DISTRICT TITLE

CASE #: 20-0241TJB



Approved
1523002571
R/E 7/24/2023

LOCATION DRAWING OF:

#14190 TWISTING LANE
LOT 12 BLOCK O
 SHEET 4 OF 6
TWIST & TURN ESTATES
 PLAT BOOK NO. 15877
 HOWARD COUNTY, MARYLAND

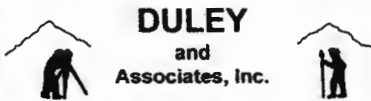
SCALE: 1"=60' DATE: 03-13-2020

DRAWN BY: B.G. FILE #: 201902-722

LEGEND:

- FENCE
 - BE - BASEMENT ENTRANCE
 - BW - BAY WINDOW
 - BR - BRICK
 - BRL - BLDG. RESTRICTION LINE
 - BSMT - BASEMENT
 - CIS - CONCRETE STOOP
 - CONC - CONCRETE
 - DW - DRIVEWAY
 - EX - EXISTING
 - FR - FRAME
 - MAC - MACADAM
 - G - GATE
 - OH - OVERHANG
 - PUE - PUBLIC UTILITY ESMT
 - PIE - PUBLIC IMPROVEMENT ESMT
- COLOR KEY:**
- RED - RECORD INFORMATION
 - BLUE - IMPROVEMENTS
 - GREEN - EASEMENTS & RESTRICTIONS

A Land Surveying Company



DULEY
 and
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111

Fax: 301-888-1114

Email: orders@duley.biz

On the web: www.duley.biz

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 08 13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1": NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST A BOUNDARY SURVEY IS RECOMMENDED.

DULEY & ASSOC.

WILL GIVE YOU A 100% FULL CREDIT TOWARDS UPGRADING THIS SURVEY TO A "BOUNDARY/STAKE" SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)

