

Record Detail * (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B24003133 Opened Date 08/21/2024
 Description of Work SFD/ CONSTRUCT 20' X 22'8" FIRST FLOOR ADDITION FOR PROPOSED OFFICE SPACE AND CONSTRUCT 20' X 30' OPEN DECK WITH STEPS, 1 STORY, Crawl Space, 1R, 0FB, 0HB, 0FP, OTHER STRUCTURE = 3 Car Attached, 0BR, PORCH/DECK = Open and Screen Porch, ENERGY METHOD = N/A,

Online BP.
 g2 9/6/24

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner
 Street # 13542 Street Name MITCHELLS Street Type WAY
 Unit Type --Select-- Unit # X Coordinate -76.98923 Y Coordinate 39.3058
 City WEST FRIENDSHIP State MD Zip Code 21794 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner
 GIS ID * 923999 Parcel 4 Parcel Area 1.01 Land Value 210100 Improved Value 1068100 Exemption Value 0 Plan Area RURAL
 Legal Description LOT 7 1.016 A []13542 MITCHELLS WAY []CLOVERFIELD

[check spelling](#)

Block 7 Lot 7 Census Tract 603000 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
 Plan Area State Tax Id 1403348822 Subdivision Name Cloverfield
 Section Area Tax Map 15
 Grid 15-8 Zoning District RC-DEO ADC Map 4813-B2
 SDP No. Final Plan No. F-06-110 WP File No. Primary Yes
 Record Plat No. 18953-1895 WS Contract No. FDP No.
 Owner Occupied Year Built 2012 Historic District Yes No
 Historic District Registry No. Stat Area 3-04 Flood Plain Yes No
 Building No

Owner (This section is not required.)

Search Reset Clear
 Name * Jane H
 Address Line 1 13542 Mitchells Way
 Address Line 2
 Address Line 3
 Mail City West Friendship
 Mail State MD
 Mail Zip Code 21794
 Phone 443-285-9057
 Primary Yes
 E-mail

jane.facchina@gmail.com
Cell Number

Fax Number

Professionals (This section is not required.)

License # * 0
 License Type * Property Owner
 Primary Yes

Business Name
 OWNER TO ACT AS CONTRACTOR

First Name Middle Name Last Name
 JANE HARDESTY

Address Line 1
 Address Line 2

City State ZIP Code

Phone 1 Phone 2 Fax

E-mail

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant
 Relationship Applicant
 Primary No

First Name MI Last Name
 Jane Facchir Hardesty

Full Name
 Jane Facchina Hardesty

Organization Name

Street Address
 6432 Western Star Run
 Address Line 2

City State Zip Code
 Clarksville MD 21029

Phone Cell Fax
 443-285-9057

E-mail *
 jane.facchina@gmail.com

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Contact
 Relationship Applicant
 Primary Yes

First Name MI Last Name
 Jane Facchir Hardesty

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 Clarksville MD 21029

Phone Cell Fax
 443-285-9057

E-mail
 jane.facchina@gmail.com

Addtl Info

Est Construction Cost * 125000
 Housing Units * 0
 Number of Buildings * 0
 Public Owned No

Construction Type
 -Select-

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee *
 Yes No

Capital Project Number
(Text)

Fee Exempt *
 Yes No

Roadside Tree Project Permit
 Yes No

Roadside Tree Pr

No of Stories * 1 (Text) Foundation * Crawl Space Basement * N/A No of Rooms * 1 (Text) Full Baths * 0 (Number) Ha 0

Model *

SFD/ CONSTRUCT 20' X 22'8" FIRST FLOOR ADDITION FOR PROPOSED OFFICE SPACE AND SFD/ CONSTRUCT 20' X 30' OPEN DECK

check spelling

Other Structure * 3 Car Attached Bedrooms * 0 (Number) Porch Deck * Open and Screen Porch No of Fireplaces * 0 (Number) Type of Fireplace --Select--
W & S Fees Paid Water * Private Sewage * Private Utilities * Gas & Electric Heating System * Electric & Natural Gas Sprinkler System * None
1st Floor Width FT (Number) 1st Floor Depth FT (Number) 2nd Floor Width FT (Number) 2nd Floor Depth FT (Number) Basement Width FT (Number) Basement Depth FT (Number) Height FT (Number)
Total Square Footage * 453 SQFT (Number) Occupiable Square Footage * 0 SQFT (Number) Affordable Housing Funding * N/A Foundation Measurement (Text)
Walls (Text) Roof (Text) Change In Use Change In Use Grading Permit No Grading Permit No Senior Housing Senior Housing MIHU Outside Downtown Columbia MIHU Outside Downtown Columbia
Additional Description Info Expiration Date 3/3/2025 MIHU Required Units 0 (Num)

check spelling

GREEN INFORMATION

Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification 3/3/2025

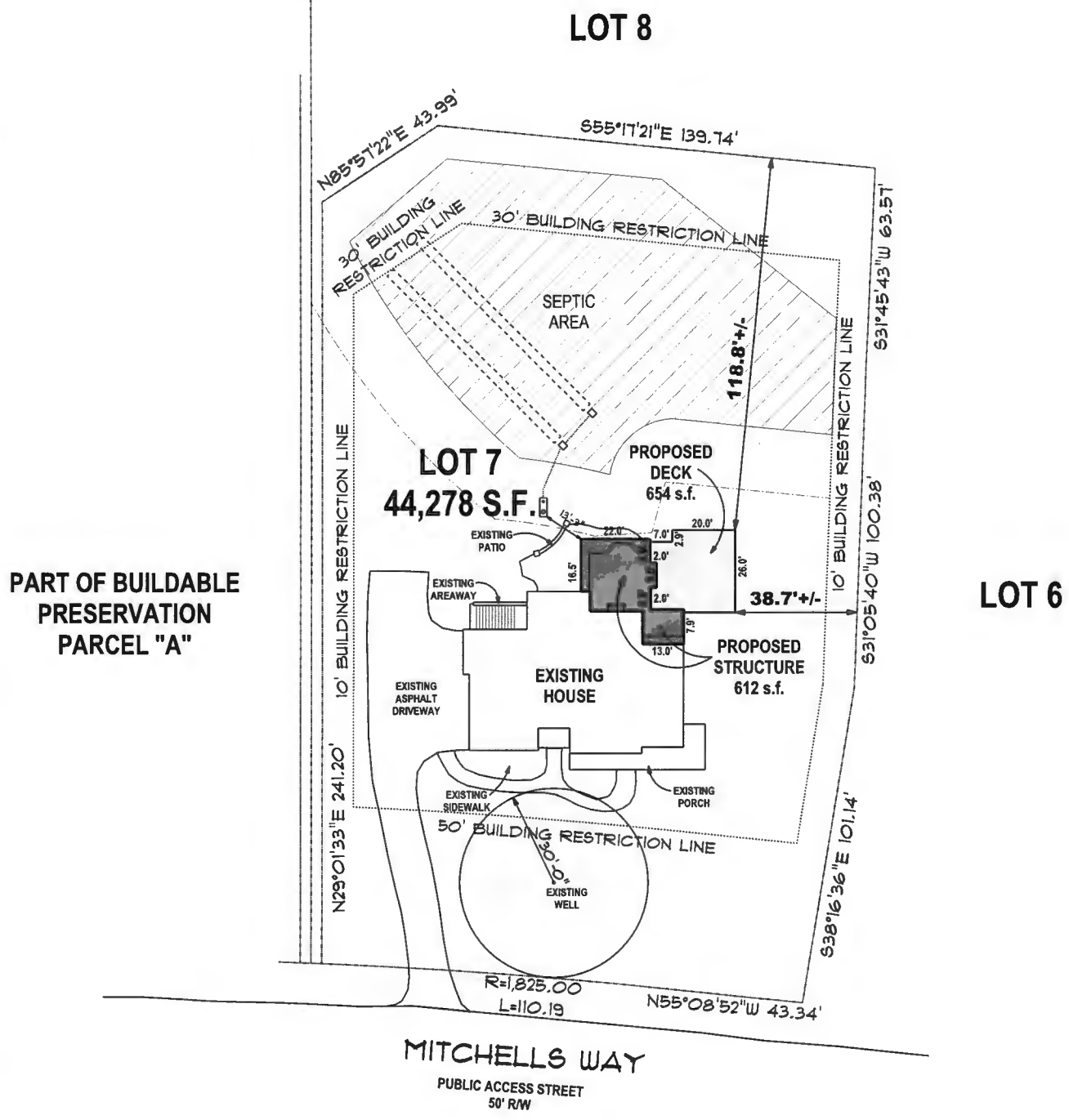
STORM WATER MANAGEMENT

Green Roofs A1 Permeable Pavements A2 Reinforced Turf A3 Disconnection of Rooftop Runoff N1 (Number)
Sheetflow to Conservation Areas N3 Rainwater Harvesting M1 Submerged Gravel Wetlands M2 Landscape Infiltration (Number)
Dry Wells M5 (Number) Micro Bioretention M6 Rain Gardens M7 Swales M8 (Number)
PSWM Certification Received in CID on

Submit Cancel

Revised site plan 2/14/25

321003133-Approved
2/16/25



PROPOSED SITEPLAN

SCALE: 1" = 50'

Hardesty Residence

Office/ Deck Addition

13542 Mitchells Way, West Friendship, Maryland 21794

LEGEND

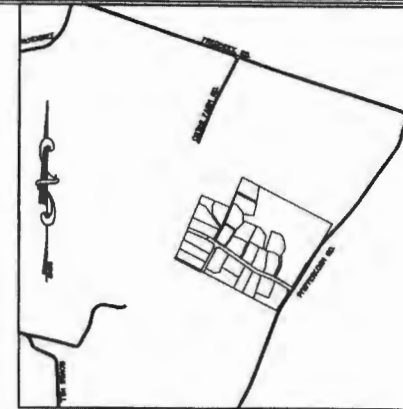
- EXISTING 2' CONTOURS
- - - EXISTING 10' CONTOURS
- SOIL LINE SOIL LINES AND TYPES
- DENOTES FAILED PERC
- DENOTES PASSED PERC
- DENOTES 1500 Sq.Ft. ALTERNATE WELL SITE
- ▨ DENOTES EXISTING PERC AREA
- ▨ DENOTES PROPOSED PERC AREA

SOILS LEGEND

SOIL	NAME	CLASS
ChE2	Chester silt loam, 3 to 6 percent slopes, moderately eroded	B
ChC2	Chester silt loam, 6 to 15 percent slopes, moderately eroded	B
GhE2	Glenly loam, 3 to 6 percent slopes, moderately eroded	B
GhC2	Glenly loam, 6 to 15 percent slopes, moderately eroded	B

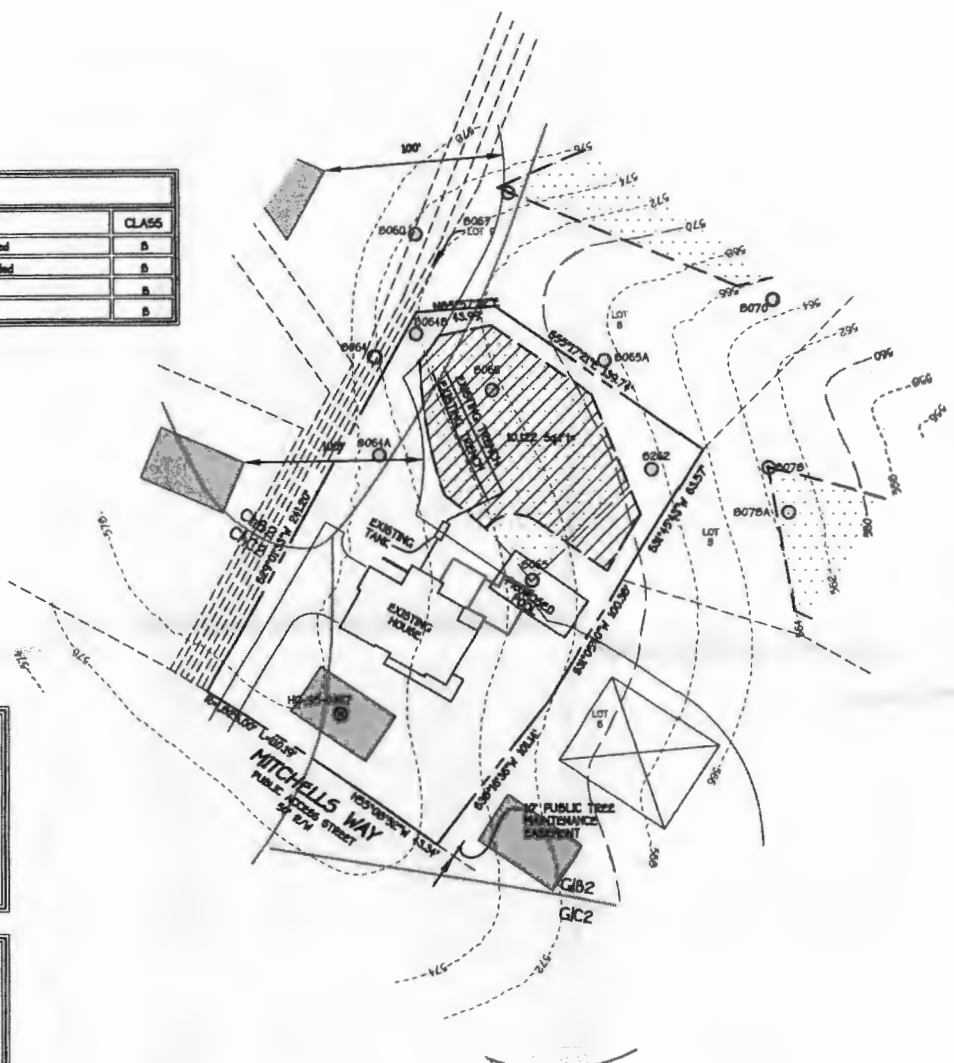
NOTES

- Hydric soils and/or contains hydric inclusions
- ** May contain hydric inclusions
- † Generally only within 100-year floodplain areas



VICINITY MAP

SCALE: 1" = 1200'



GENERAL NOTES:

- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
- ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM ALL REASONABLE EFFORTS.
- ALL HOUSE SITES SHOWN COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
- TOPOGRAPHY SHOWN IS FROM HOWARD COUNTY GIS TOPOGRAPHY AT 5' CONTOUR INTERVAL INTERPOLATED FOR 2' CONTOUR INTERVAL.
- BOUNDARY OUTLINE BASED ON AVAILABLE DEED OF RECORD WITHOUT THE BENEFIT OF A FIELD SURVEY AT THIS TIME.
- ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.
- PLAT REFERENCE 14993-10999

FOR LOTS 1, 2, 3, 4, 5, 6, 7, (leave 8052A, 8 (leave 8057 and 8059), 9 (leave 8054 and 8053), 10, 11 (leave 8056, 8054 and 8053), 12 (leave 8050 and 8051), and ADDITIONAL HOLE NUMBERS 8055A, 8057, 8008, 9009, 9013, 8009, 8001, 8002, 8003 AND 8004 as shown hereon.

I PERSONALLY WITNESSED SOIL PERCOLATION TESTS SHOWN AS "CLOVERFIELD". ALL SEWAGE DISPOSAL AREAS SHOWN ON THE ABOVE REFERENCED LOTS AND ADDITIONAL HOLES MEET ALL APPLICABLE COMAR REGULATIONS REGARDING ONSITE SEWAGE DISPOSAL. I RECOMMEND APPROVAL FOR ONSITE SEWAGE DISPOSAL AND PRIVATE WATER SUPPLIES ON THESE LOTS.

FOR SIGNATURE SEE ORIGINAL SIGNED PERC DRAWING DATED 2/21/03
 Signature _____ License # _____ Date _____

FOR LOTS 14, 15, 16, 17, 18, 19, 20, and 21, as well as ADDITIONAL HOLE NUMBERS 9007, 9008, 9013, 9009, 8028C, 8056A, 8050, 8056, 8058A, 8051A, 8008A, 8033, 8052A, 8032, 8094, 8050, 8055, 8057, 8085, 8254, 8253, 8257A, 8259, 8282, and 8002 as shown hereon.

I PERSONALLY WITNESSED SOIL PERCOLATION TESTS SHOWN AS "CLOVERFIELD". ALL SEWAGE DISPOSAL AREAS SHOWN ON THE ABOVE REFERENCED LOTS AND ADDITIONAL HOLES MEET ALL APPLICABLE COMAR REGULATIONS REGARDING ONSITE SEWAGE DISPOSAL. I RECOMMEND APPROVAL FOR ONSITE SEWAGE DISPOSAL AND PRIVATE WATER SUPPLIES ON THESE LOTS.

FOR SIGNATURE SEE ORIGINAL SIGNED PERC DRAWING DATED 2/21/03
 Signature _____ License # _____ Date _____

PERC CERTIFICATION
 I certify that the locations shown hereon are based on field locations done under my direct supervision and are correct to the best of my professional knowledge and belief.
 Signature of Professional Land Surveyor: *Terril A. Fisher* 5/18/11
 Terril A. Fisher, Professional Land Surveyor No. 10952

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
 Signature of Peter Reileman 5/31/2011
 COUNTY HEALTH OFFICER DATE 1700

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 3000 BALDWIN NATIONAL PERC
 BLISSITT CITY, MARYLAND 20714
 410-261-8888

AMENDED PERC CERTIFICATION PLAT
CLOVERFIELD

Lot 7

TAX MAP 15 ZONED: RC-DEO PARCEL: 4 GRID 8
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: MAY 17, 2011

MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	7'-0"
8" Poured Concrete	7'-0"
10" Poured Concrete	8'-0"

- Masonry veneer shall be installed over 15# felt or approved water repellent sheathing. Through-wall flashing and weeps shall be provided at any location where interior space projects beyond the face of the veneer. I.e. bay windows, Off-set chimneys, etc...

- Masonry veneer shall be attached and anchored in accordance with the local code requirements.

- Walls over 7'-0" or on unstable soil shall be engineered and certified by a registered professional engineer.

- Concrete masonry units shall meet ASTM C-90 Grade A solid block or ASTM C-145 Grade B Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 2000 psi.

- Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a coat of approved bituminous material applied at the recommended rate below grade.

- MASONRY LINTELS: Provide lightweight pre-cast lintels for all openings and recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two #4 bars at top and bottom and with #2 ties spaced 9" O.C., unless noted otherwise. Pre-cast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads.

- Use Type "M" mortar for masonry below grade in contact with earth.

- Use Type "S" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

- Galvanized metal brick veneer ties shall be installed 16" o.c. each way.

- Steel lintels for all opening and recesses in brick or Brick Facet Masonry wall not specifically detailed: Provide (1) steel angle for each 4" of wall thickness. Steel angles to have minimum 6" bearing at each end. Horizontal leg shall be 3/4", unless noted otherwise.

• LINTSEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

L-1	3 1/2"x3-1/2"x5/16"	steel angle	up to 3' opg.
L-2	4"x 3-1/2"x5/16"	steel angle	3' to 5' opg.
L-3	6"x 3-1/2"x3/8"	steel angle	5' to 6'-4" opg.
L-4	6"x3-1/2"x1/2"	steel angle	up to 9' opg.
L-5	6"x 4"x5/8"	steel angle	up to 10'-0"
L-6	8" OR 9"x4"x9/16"	steel angle	16' garage

- Lintels shown shall not support any superimposed loads.

- All steel angles in masonry walls are to be flashed and painted.

- Paint all exterior ferrous or galvanized metals EXCEPT completely pre-finished factory items.

- All work shall comply to local code.

STAIR CRITERIA

- INTERIOR AND EXTERIOR STAIRS

- All stairs shall comply with all local codes.

- Minimum finish width: 36"
- Minimum finished headroom height: 6'-8"
- Maximum riser height: 7 3/4"
- Minimum tread depth: 11"
- Maximum space between balusters: 4"
- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" head when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be engineered by others.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are stamped and certified by a registered engineer and meet TPI manufacturer's minimum requirement.

- See drawings for type of floor construction.

- Tongue and groove floor decking glued and nailed on (SPF #2) 2x8 or 2x10 or 2x12 floor joists at 16" o.c. maximum to meet the American Plywood Association Stud-I-Floor system.

- Tongue and groove floor decking glued and nailed on pre-engineered wood joists/trusses at 24" o.c. maximum to meet the American Plywood Association Stud-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- Structural sawn lumber shall be SPF #2 or better

- All exterior walls are 2x6 stud @16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud @16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 3-2x10's unless noted otherwise

- Joist hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing at all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All laminated veneer lumber (LVL) beams, girders and headers labeled on the plans, to have a Fb rating of 2,950 and modulus of elasticity of 2,000,000 min. unless otherwise noted. Structural laminated beams to be installed as per manufacturer specifications.

- Where applicable, refer to engineered lumber manufacturer specifications for multi-member installation & connection requirements.

- Fasten multiple jacks together w/ min. 10d nails @ 4" o.c. staggered both sides - along the entire length of members. Provide nailing within 3.5" of top or bottom of members.

- Fasten multiple member beams together w/ min. 16d nails @ 12" o.c. staggered along the entire length of members. Two rows required for depths up to 12". Three rows required for depths of 12'-18". Provide nailing within 22" of each end of members. For beams 7" or greater in width provide bolted connection w/ ASTM Grade A-307 (or better) 1/2" dia. bolts in two rows 3" from each end of beam @ 24" o.c. staggered.

- All work shall comply to local code.

CONCRETE

- Concrete works shall conform to American Concrete Institute Standard 318-19

- Bottom of all footings shall be located a minimum of 30", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs shall have 6"x6"-W1.4x1.4 W.W.M. or control joints. Monolithic finishing down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade shall be dampproofed or water proofed using materials and methods approved by local building jurisdiction.

Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3500 PSI
- Interior Basement Slabs	2500 PSI
- Foundation Walls	3500 PSI
- Garage and Exterior Slabs	3500 PSI
- Rat Slabs	2500 PSI

(or as per local code)

- Deformed reinforcing bars: ASTM A-615 Grade 60 and A-305 Mesh: 6x6-W1.4x1.4 WWF; ASTM A-185. Reinforcing in footings is required where variations in soil conditions may exist.

- All interior slabs of 30 FEET or more in any dimension shall have WWF, Control Joints, or Fiber Reinforcement.

- Vapor barrier under all slabs EXCEPT garages: 10 MIL Polyethylene. Lap all edges 6", Lay over 4" Gravel bed.

- Exterior Concrete Slabs: 5% to 7% Air Entrained and shall have a minimum 28 Day Compressive Strength of 2500 psi - unless noted otherwise.

- All work shall comply to local code.

WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-21	5 1/2"	2x6 Walls (exterior)
R-38	9"	Crawl Space
R-38	"	Floors exposed to unheated condition
R-49 Batt.	12"	Roof
R-49 Blown	"	Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

- DAMPPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastomeric, vinyl acrylic mastic, 35 Mil. min. thickness or other approved equal.

- SLAB VAPOR BARRIER: 6 Mil. polyethylene sheet where noted on drawings. Overlay all edges 6".

- SILL SEALER: 1/2" x 5 1/2" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.

- Provide approved corrosion-resistive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof intersection; at chimney and roof intersections; in roof valleys; at all roof penetrations; and at wall openings if recommended by window and door manufacturers.

- Slab perimeters exposed to outside air within 30" of grade; 4,5x24", either vertical or horizontal from slab intersection.

- ROOFING: unless noted otherwise, roofing shall be min 200# Class "C" fiberglass based asphalt shingles over 15 pound felt. Eave flashing to a point 24" inside of interior face of wall line may be also installed at the owner discretion.

- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.

- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room. If required by local code. Provide detectors outside each sleeping area within 10'-0" of each door.

- Fire suppression systems shall be installed as per local building code.

- All work shall comply to local code.

SITEWORK

- GENERAL: These drawings do not cover site work, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 1500 PSF. Additional engineering is required if soil bearing capacity is less than 1500 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2" dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and garage slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

DOORS and WINDOWS

- Provide safety glazing as required by local code.

- Garage door into dwelling shall be fire rated minimum 45 minute or as per local building code. The threshold of the door opening between the garage and the adjacent interior space shall not be less than 4" above the garage door. (or as per local code)

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

STRUCTURAL STEEL

- All materials and workmanship shall comply with the requirements of the following codes and standards:

- "Steel Construction Manual", fourteenth edition, 2011, American Institutes of Steel Construction (including specifications for structural steel buildings, specifications for structural joints using ASTM A325 or A490 bolts, and AISC code of standard practice)

- "Detailing for steel construction", American Institutes of Steel Construction

- "Structural welding code ANSI/AWS D.1", American Welding Society

Channels, angles, & plates:	ASTM A36
Wide flange shapes:	ASTM A992
Structural tubing (rect):	ASTM A500; Grade B, Fy=46 KSI
Structural pipe:	ASTM A333, Grade B, TYP E S Py=33 KSI
High-strength bolts:	ASTM A325-16
Anchor rods:	ASTM F1554 Grade 36
Nuts:	ASTM A563, Heavy Hex
Washers:	ASTM A436
Plate washers:	ASTM A36
Threaded rod:	ASTM A108
Headed shear studs:	AWS A5.1 or A5.5 E70xx
Welding electrodes:	ASTM C1107, nonmetallic
Nonshrink grout:	Hilti Kwik-Bolt II, ITW Rammed/Redhead Fru-bolt or approved equal
Expansion bolts:	Hilti HIT HY150 System, ITW Rammed/Redhead Epon System or approved equal
Adhesive anchors:	Hilti HIT HY150 System, ITW Rammed/Redhead Epon System or approved equal

- Verify as built plan dimensions, anchor bolt locations, projections, etc. and bearing elevations prior to erection. Notify the structural engineer in writing of any discrepancies, fabrication or erection errors or deviations and receive written approval before any field corrections are made.

- Cutting or burning of structural steel in the field is not allowed.

- The framing shown on the completed drawings has been designed for the loads indicated on the drawings. The fabricator and erector are solely responsible for the design of temporary bracing and recommended erection procedures.

- All column and equipment base plates shall be set on the concrete, shimmed to level, and grouted with non-shrink grout unless noted otherwise.

- All shop and field connections shall be made with high strength bolts installed snug tight unless otherwise indicated or welded. All bolts and nuts shall be clearly marked as required by site specifications. All connections made with unmarked nuts and bolts will be rejected.

- All connections shall be standard double angle connections with a minimum of 5/16 inch thick angle and (2) 3/4 inch dia. high strength bolts per row with threads not excluded from the shear plane or welds of equal strength. All connections shall conform to AISC requirements and shall be designed for the loads shown using allowable stress design methods. The number of bolts per maximum nominal beam depth shall be as follows: 2 rows - W12; 3 rows - W18; 4 rows - W21, 5 rows - W30, 6 rows - W34.

- Shop prime all steel with rust inhibitive metal primer applied of a spreading rate recommended by the manufacturer to achieve a total dry film thickness of not less than 1.5 mils (0.038 mm).

- After erection, clean field welds and abraded areas and apply paint using same material as used for shop painting to achieve a total dry film thickness of not less than 1.5 mils (0.038 mm).

- All steel at and below finished grade or floor slab shall receive two coats of bituminous paint or 3" minimum concrete cover



PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License Number: #14678
Expiration Date: 6/30/2026

BY ME AND
THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED BY JONATHAN RIVERA ARCHITECT. ANY PARTY OTHER THAN JONATHAN RIVERA ARCHITECT IS A VIOLATOR OF LAW THAT VIOLATES PROVISIONS OF THE FLSA COURT.
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PROPOSED ADDITION

HARDESTY RESIDENCE

13542 Mitchell Way
West Friendship, Maryland 21794

ARCHITECT

Jonathan Rivera AIA, NCARB
Howard County, Maryland

443.226.5745
jrvera@jonathrivera.com

STRUCTURAL ENGINEER

Naylor Structural Engineering
Greg Naylor
Ellicott City, Maryland

410-952-4797

greg@naylorstructural.com

BUILDER

ISSUE DATES:

7-31-24	REVIEW SET
10-30-24	REVIEW SET
11-04-24	REVIEW SET
12-26-24	PERMIT SET

SCALE:

GENERAL INFO

0.02

PRINT DATE:
Thursday, December 26, 2024

The provisions of this Section shall be applied as part of the prescriptive compliance path of Section 411.02.1.2.1. Additional energy efficiency from Table 411.02.1.2.1 must be achieved in order to exceed a minimum percentage increase of 4% for Climate Zones 2 and 3a, and 5% for Climate Zone 5.

Table 411.02.1.2.1 Additional Energy Features ¹		
Energy Feature	Percentage Increase for Climate Zone 4	Percentage Increase for Climate Zone 5
1. ≥ 2.5% reduction in total UA ¹	1%	1%
2. ≥ 5% reduction in total WP ²	2%	2%
3. ≥ 2.0% reduction in total MA ¹	1%	2%
4. 0.22 U-factor windows ³	3%	4%
5. High performance cooling system (Greater than or equal to 18 SEER and 14 EER air conditioning) ⁴	3%	2%
6. High performance cooling system (Greater than or equal to 16 SEER and 12 EER air conditioning) ⁴	2%	2%
7. High performance gas furnace (Greater than or equal to 98 AFUE natural gas furnace) ⁵	5%	7%
8. High performance gas furnace (Greater than or equal to 92 AFUE natural gas furnace) ⁵	4%	5%
9. High performance heat pump system (Greater than or equal to 10 HSPF/12 SEER air source heat pump) ⁶	6%	6%
10. High performance heat pump system (Greater than or equal to 9.5 HSPF/16 SEER air source heat pump) ⁶	5%	5%
11. Ground source heat pump (Greater than or equal to 3.1 COP ground source heat pump) ⁷	6%	8%
12. Fossil fuel service water heating system (Greater than or equal to 82 EF fossil fuel service water-heating system) ⁸	3%	2%
13. High performance heat pump water heating system option (Greater than or equal to 2.9 UEF electric service water heating system) ⁹	5%	5%
14. High performance heat pump water heating system (Greater than or equal to 3.2 UEF electric service water-heating system) ⁹	5%	5%
15. Solar hot water heating system (Greater than or equal to 0.4 solar fraction solar water-heating system) ¹⁰	6%	6%
16. More efficient HVAC distribution system (100 percent of ductless thermal distribution system or hydronic thermal distribution system located completely inside the building thermal envelope)	10%	12%
17. 100% of duct in conditioned space (100 percent of duct thermal distribution system located in conditioned space as defined by Section 403.3.2.)	12%	15%
18. Measured total duct leakage. When ducts are located outside conditioned space, the total leakage of the ducts, measured in accordance with 902.3.3, shall be in accordance with one of the following: a. Where air handler is installed at the time of testing, 2.0 cubic feet per minute per 100 square feet of conditioned floor area. b. Where air handler is not installed at the time of testing, 1.5 cubic feet per minute per 100 square feet of conditioned floor area.	1%	1%

19. 2 ACH50 air leakage rate with ERV or HRV installed. (Less than or equal to 2.0 ACH50, when either an Energy Recovery Ventilator (ERV) or Heat Recovery Ventilator (HRV) installed.) ¹¹	10%	15%
20. 2 ACH50 air leakage rate with balanced mechanical fresh air system (Less than or equal to 2.0 ACH50, with balanced ventilation as defined in Section 202 of the 2021 International Mechanical Code.) ¹²	4%	5%
21. 1.5 ACH50 air leakage rate with ERV or HRV installed. (Less than or equal to 1.5 ACH50, with either an ERV or HRV installed.) ¹³	12%	15%
22. 1 ACH50 air leakage rate with ERV or HRV installed. (Less than equal to 1.0 ACH50, with either an ERV or HRV installed.) ¹⁴	14%	17%
23. Energy Efficient Appliances (Minimum 5 appliances must be placed 1 foot each year with higher efficiency. Refrigerators - Energy Star Program Requirements, Product Specification for Consumer Refrigeration Products, Version 5.1 (04/25/2021); Dishwashers - Energy Star Program Requirements for Residential Dishwashers, Version 6.0 (01/25/2019); Clothes Dryer - Energy Star Program Requirements, Product Specification for Clothes Dryers, Version 1.1 (05/05/2017); and Clothes Washer - Energy Star Program Requirements, Product Specification for Clothes Washers, Version 5.1 (04/23/2018).	7%	5%
24. Renewable Energy Measure. ¹⁵	11%	9%

¹ Energy efficiency percentage increases as established by BPIW.

² For multiple cooling systems, all systems shall meet or exceed the minimum efficiency requirements in this section and shall be sized to serve 100 percent of the cooling design load. For multiple heating systems, all systems shall meet or exceed the minimum efficiency requirements in this section and shall be sized to serve 100 percent of the heating design load. Increases to minimum efficiency requirements are limited to one selection.

Assemblies with R value of insulation materials equal to or greater than that specified in Table 411.02.1.2.1 shall be an alternative to the U-factor in Table 411.02.1 when combined with Section 411.02.3. The provisions of Section 411.02.1 shall be applied to the base model house to establish the reference base design establishing energy efficiency.

Table 411.02.1.3.1 (MOC 1.3.1)										
MOC Alternative Insulation Minimum R-Values and Fenestration Requirements by Component ¹										
Climate Zone	Fenestration U-Factor ²	Shyglite ³ U-Factor	Glass Fenestration SHGC ⁴	Ceiling R-Value	Wool Frame Wall R-Value ⁵	Mass Wall R-Value ⁶	Floor R-Value	Attic/Wall ⁷ R-Value	Slab ⁸ R-Value & Depth	Basement ⁹ R-Value
4 except Marine	0.30	0.51	0.45	49	20 or 13-5 ¹⁰	N/A	19	10x19	13	19x14 ¹¹
5	0.30	0.51	0.45	49	20 or 13-5 ¹⁰	13/17	20	15x19 or 13-5 ¹¹	19x14 ¹¹	15x19 or 13-5 ¹¹

For Slab 1 (foot = 304.8 mm).

U = continuous insulation.

¹ Values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the total or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.

² The fenestration U-factor column excludes shyglites. The SHGC column applies to all glazed fenestrations. Exception in Climate Zones 0 through 3, shyglites shall be permitted to be excluded from glazed fenestration SHGC requirements provided that the SHGC for such shyglites does not exceed 0.30.

³ 10x19 or 13-5 means R-10 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior side of the wall. *15x19 or 13 & 5x19 means R-15 continuous insulation (ci) on the interior or exterior surface of the wall, or R-19 cavity insulation on the interior side of the wall; or R-13 cavity insulation on the interior of the wall in addition to R-5 continuous insulation on the interior or exterior surface of the wall.

⁴ ci = insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.

There are no SHGC requirements in the Marine Zone.

Basement wall insulation is not required in Warm Humid locations as defined by Figure R201.1 and Table R201.1.

⁵ The first value is cavity insulation; the second value is continuous insulation. Therefore, as an example, "13 & 5" means R-13 cavity insulation plus R-5 continuous insulation.

⁶ Mass walls shall be in accordance with Section 402.3.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

⁷ A maximum U-factor of 0.32 shall apply in Climate Zones 3 through 8 to vertical fenestration products installed in buildings located either:

1. Above 4,000 feet in elevation, or
2. In windborne debris regions where protection of openings is required by Section 602.2.1.2 of the International Residential Code.

¹ Minimum ERV and CRV requirements, measured on the lowest terms air supply option, shall be greater than or equal to 75 percent Sensible Recovery Efficiency (SRE), less than or equal to 1.5 cubic feet per minute per 100 (ft³/min/100) and shall not use recirculation as a dehumid strategy. In addition, the ERV shall be greater than or equal to 65 percent Latent Recovery Moisture Transfer (LRMT).

² Renewable energy resources shall be permanently installed that have the capacity to produce a maximum of 1.0 watt of on-site renewable energy per square foot of conditioned floor area. The installed capacity shall be in addition to any on-site renewable energy required by Section 404.4. To qualify for this option, one of the following forms of documentation shall be provided to the code official:

- a. Substantiation that the REC's associated with the on-site renewable energy are owned by, or received on behalf of, the homeowner.
- b. A contract that conveys to the homeowner the REC's associated with the on-site renewable energy or conveys to the homeowner an equivalent quantity of REC's associated with other renewable energy.
- c. Reduction in total UA from Lines 1, 2 or 3 and higher performance windows from Line 4 are limited to a single selection.



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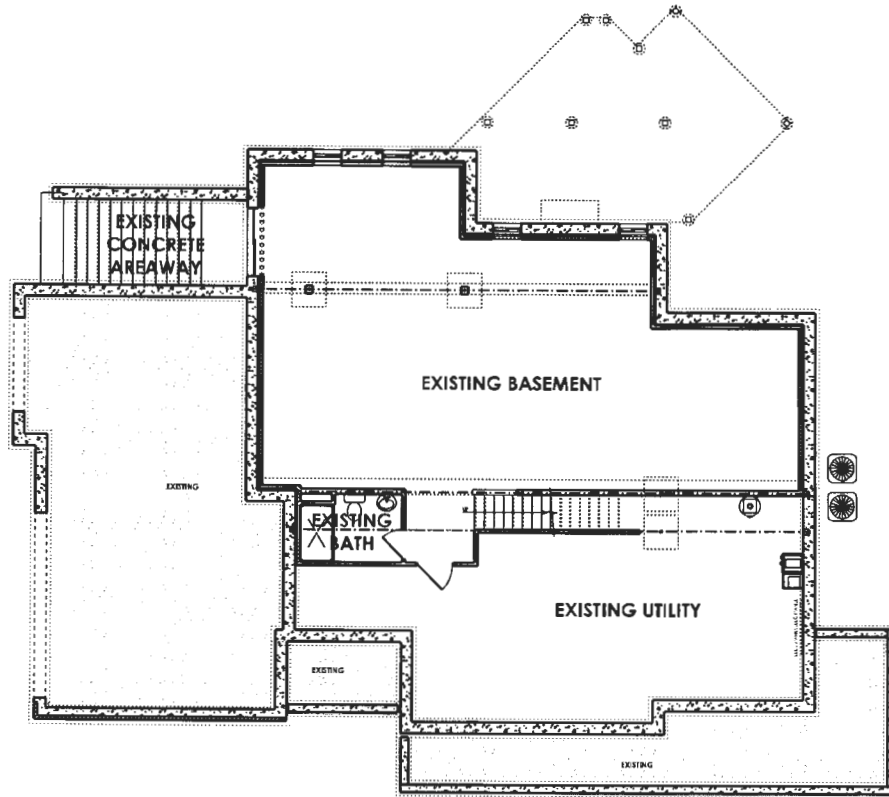
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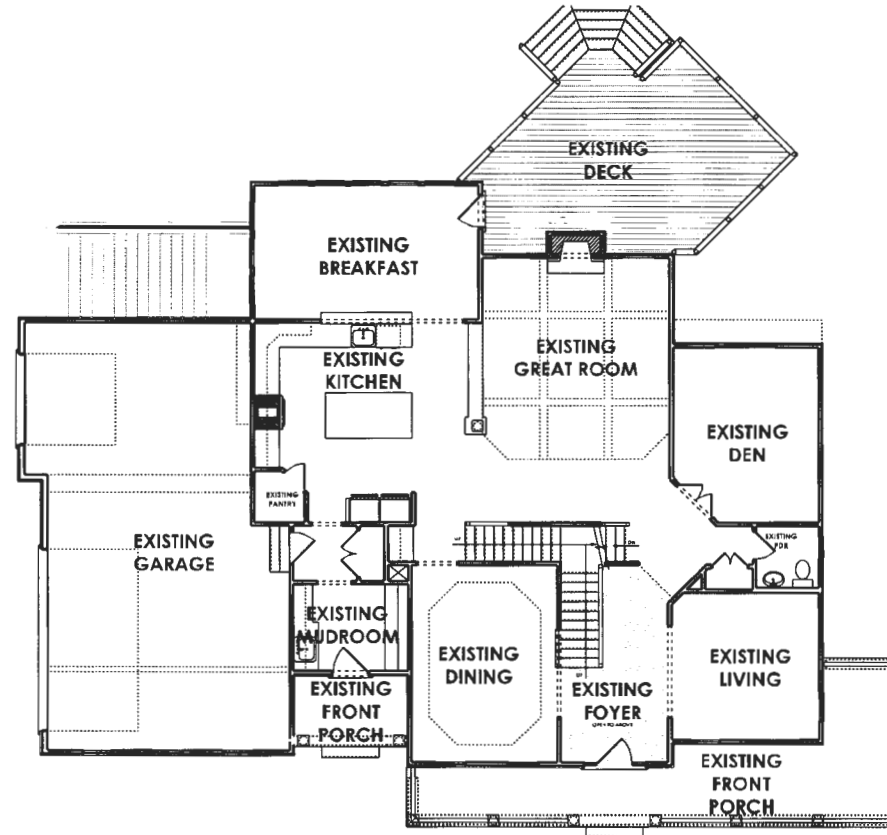
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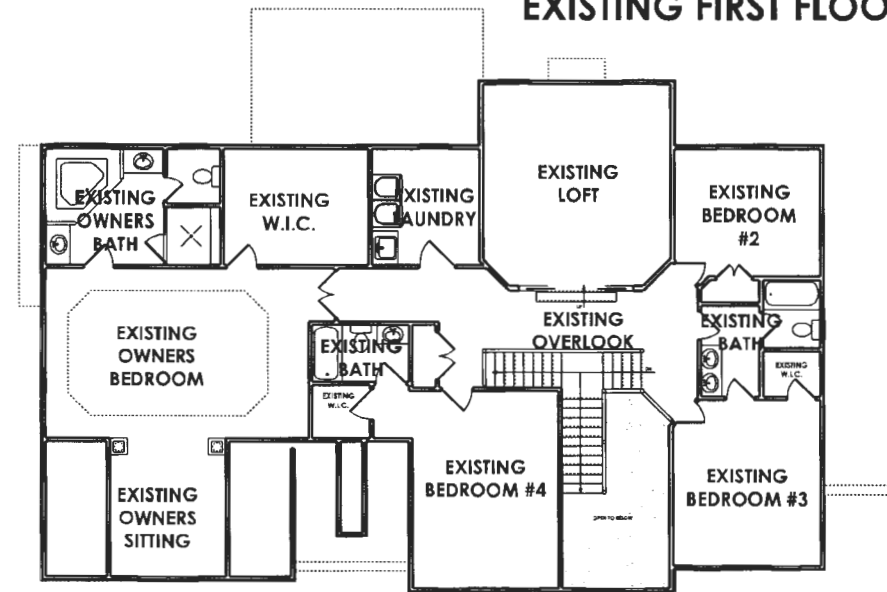
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EXISTING FOUNDATION



EXISTING FIRST FLOOR



EXISTING SECOND FLOOR

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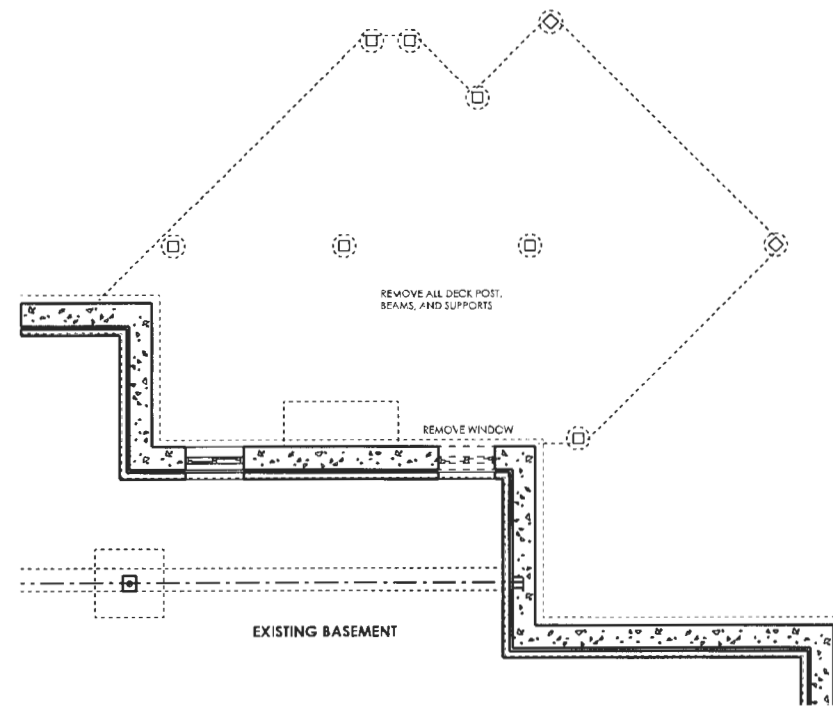
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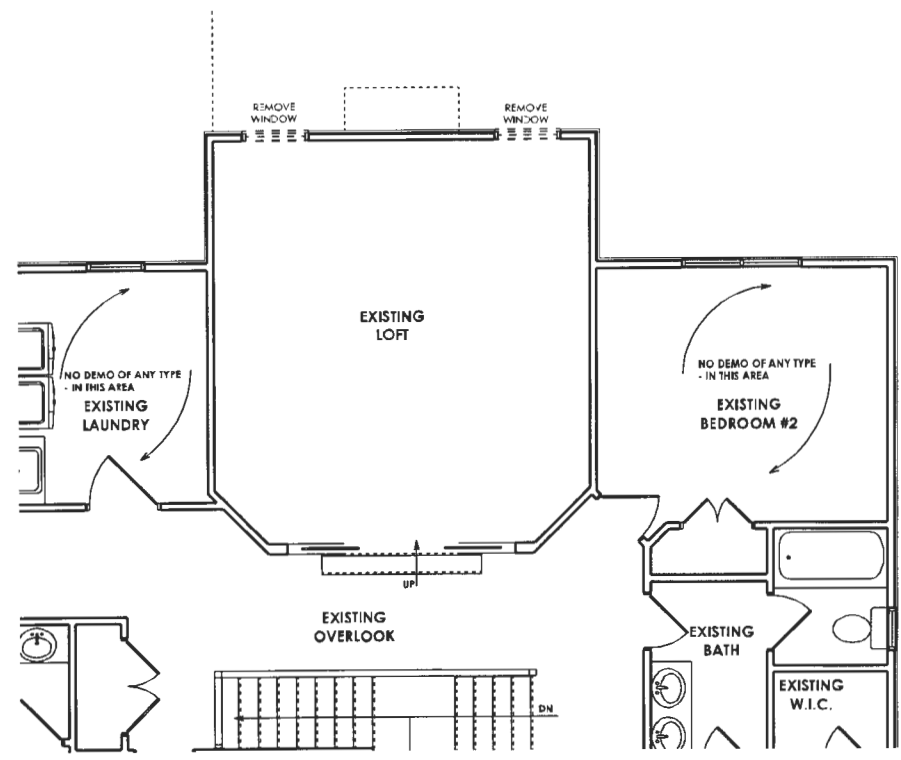
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FOUNDATION DEMO



SECOND FLOOR DEMO

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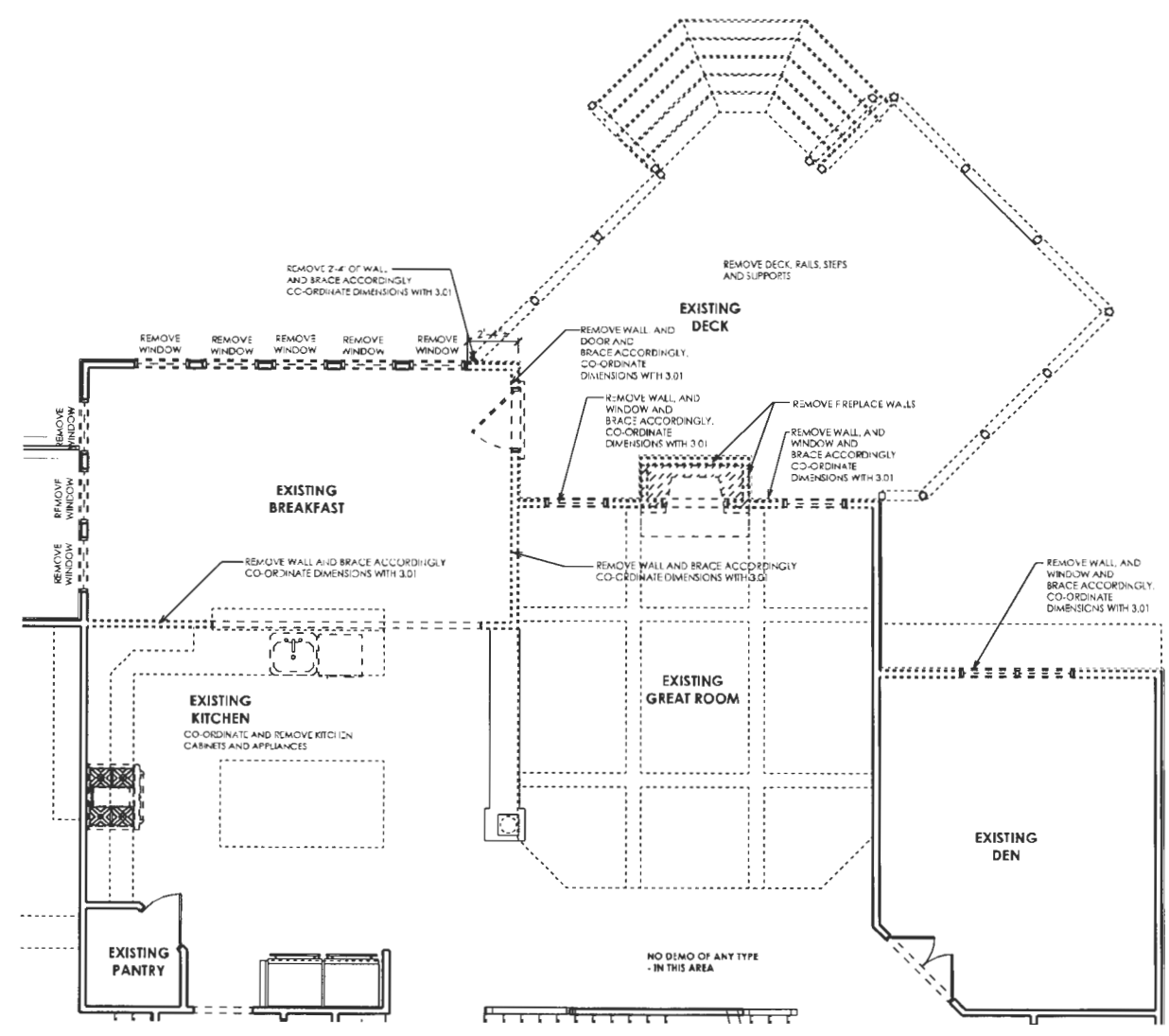
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FIRST FLOOR DEMO

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DEMO
0.52



10'-1 1/2"
 TOP OF PLATE
 MATCH EXISTING FASCIA BOARD, TYP. W/ VENTED SCOFF W/ 6" FRIEZE BOARD, TYP.
 12" SQUARE COLUMNS W/ TRIM, TYP.
 GUARDRAILS 42" HIGH, TYP.
 TOP OF SUBFLOOR
 TOP OF FOUNDATION
 AS REQ'D PER GRADE
 ASSUMED GRADE SLOPES 6" IN FIRST 10'-0"
 TOP OF FOOTING
 PAINTED AZEK (or EQ.) W/ 1x4 & OGEE INSET

NOTE
 STAIRS WITH 2 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 30" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
 PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 34" HIGH.
 RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIA SPHERE.

CONTINUOUS RIDGE VENT, TYP.
 MATCH EXISTING SIDING, TYP.
 MATCH EXISTING WINDOW TRIM, TYP.
 MATCH EXISTING CORNER BOARD
 DECK STEPS TO GRADE
 CONT. CONC. FOOTING AT LEAST 30" BELOW GRADE
 TOP OF PLATE
 TOP OF PLATE
 TOP OF SUBFLOOR
 TOP OF PLATE
 TOP OF SUBFLOOR
 TOP OF FOUNDATION
 TOP OF FOUNDATION
 TOP OF FOOTING
 9'-1 1/2"
 EXISTING CEILING HEIGHT, VERIFY IN FIELD
 9'-1 1/2"
 EXISTING PLATE HEIGHT AT REC ROOM
 9'-1 1/2"
 EXISTING CEILING HEIGHT, VERIFY IN FIELD
 0'-4 1/2"
 EXISTING PLATE HEIGHT AT GREAT ROOM
 9'-0"
 EXISTING FOUNDATION HEIGHT, VERIFY IN FIELD

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REAR ELEVATION

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LEFT ELEVATION

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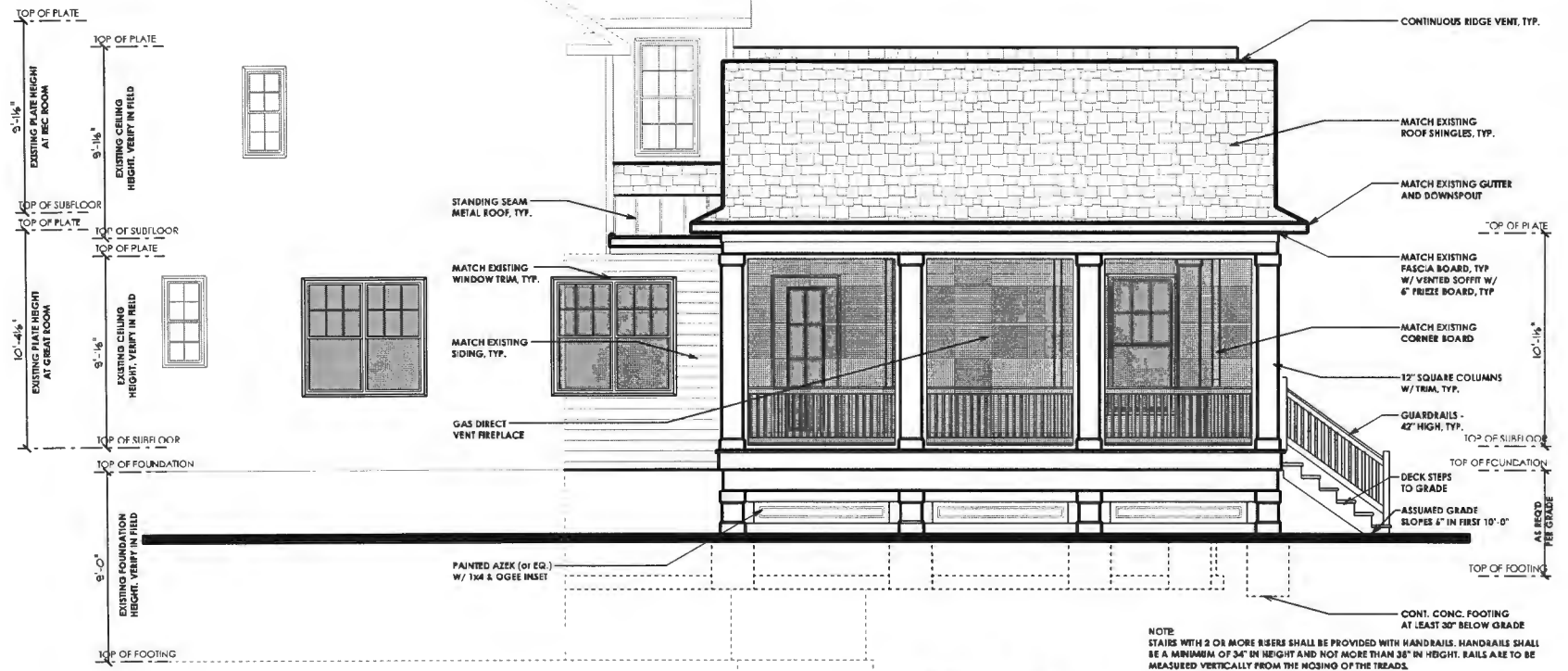
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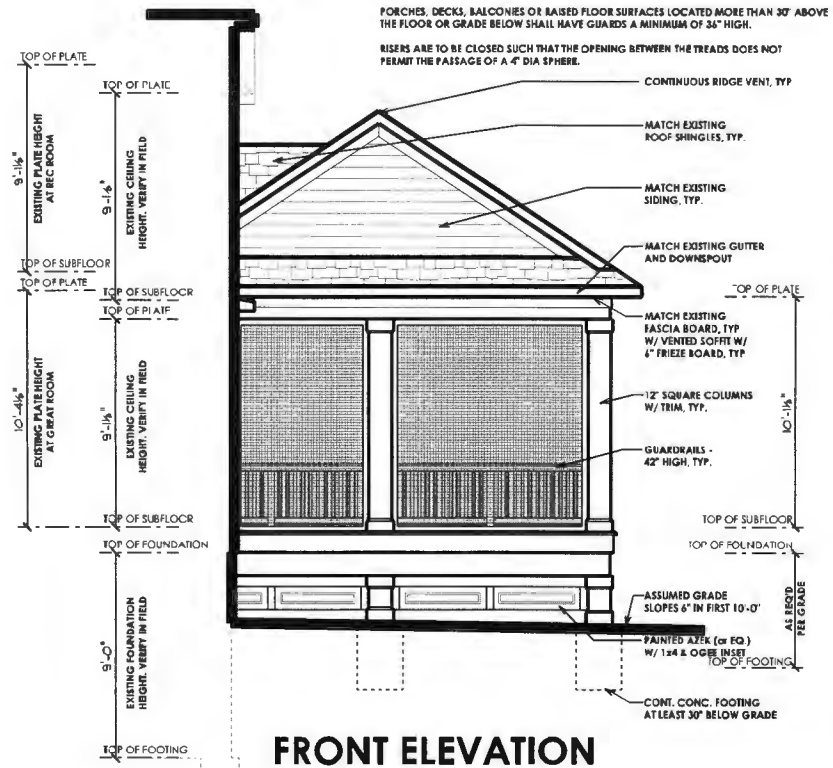
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RIGHT ELEVATION



FRONT ELEVATION

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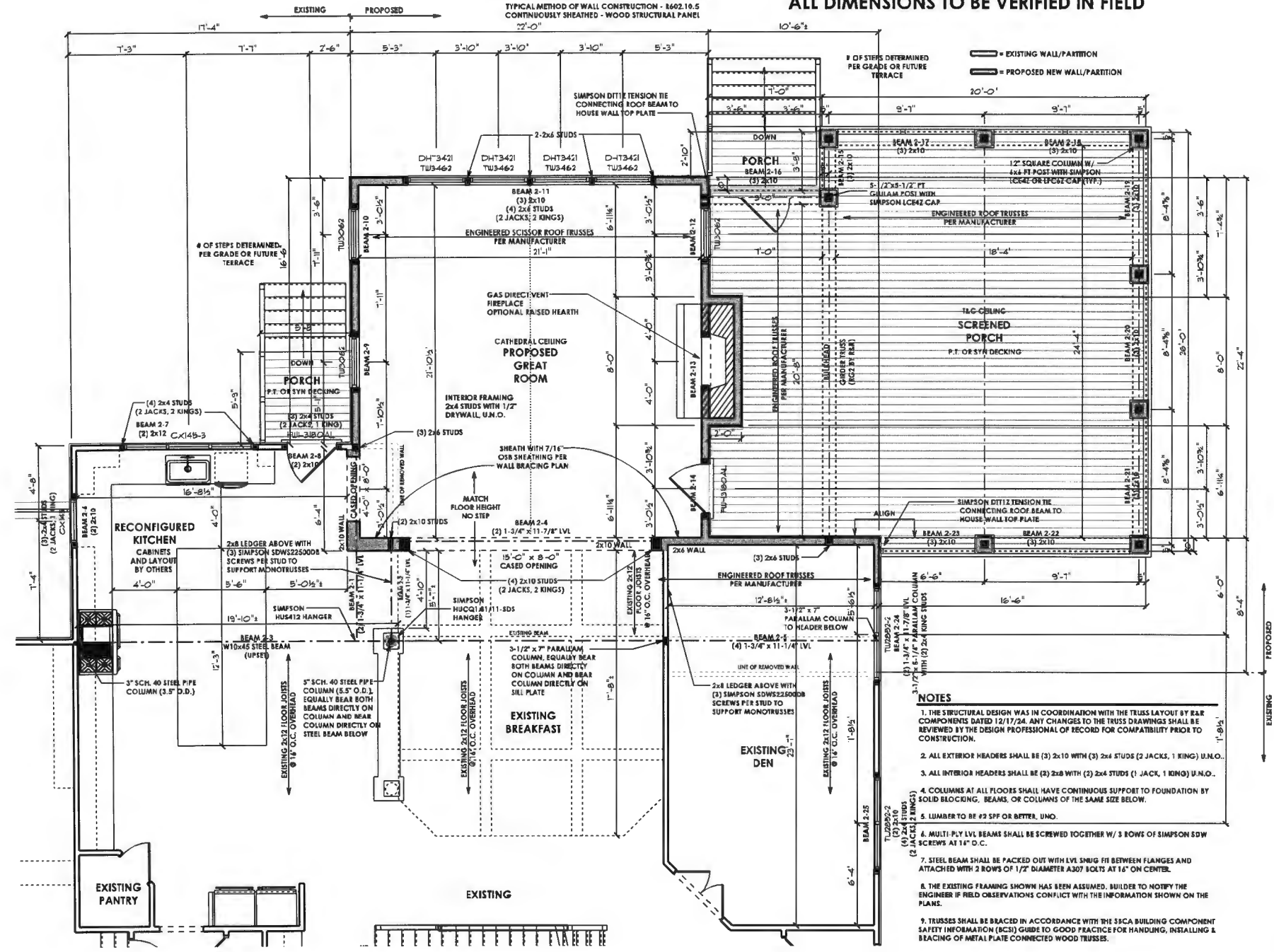
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TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL

ALL DIMENSIONS TO BE VERIFIED IN FIELD



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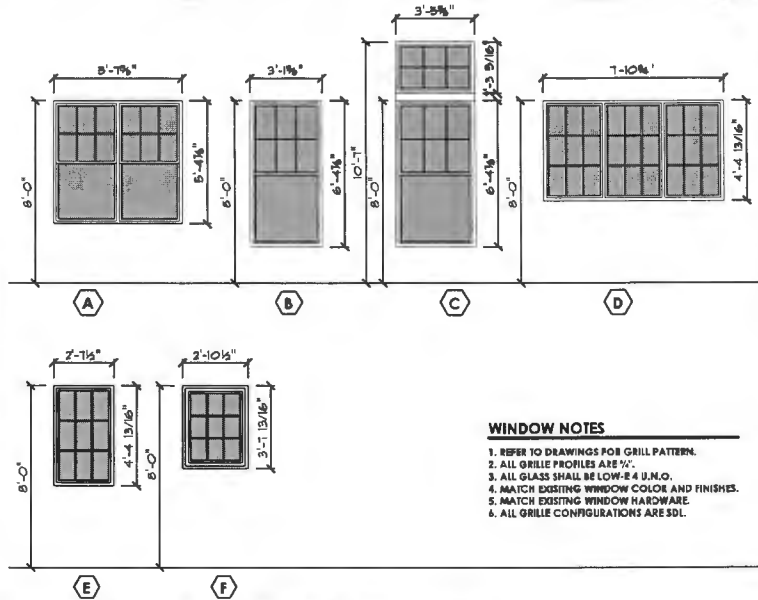
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1. THE STRUCTURAL DESIGN WAS IN COORDINATION WITH THE TRUSS LAYOUT BY BMR COMPONENTS DATED 12/17/24. ANY CHANGES TO THE TRUSS DRAWINGS SHALL BE REVIEWED BY THE DESIGN PROFESSIONAL OF RECORD FOR COMPATIBILITY PRIOR TO CONSTRUCTION.
 2. ALL EXTERIOR HEADERS SHALL BE (3) 2x10 WITH (3) 2x4 STUDS (2 JACKS, 1 KING) U.N.O.
 3. ALL INTERIOR HEADERS SHALL BE (2) 2x8 WITH (1) JACK, 1 KING) U.N.O.
 4. COLUMNS AT ALL FLOORS SHALL HAVE CONTINUOUS SUPPORT TO FOUNDATION BY SOLID BLOCKING, BEAMS, OR COLUMNS OF THE SAME SIZE BELOW.
 5. LUMBER TO BE #2 SPF OR BETTER, U.N.O.
 6. MULTI-PLY LVL BEAMS SHALL BE SCREWED TOGETHER W/ 3 ROWS OF SIMPSON SDW SCREWS AT 14" O.C.
 7. STEEL BEAM SHALL BE PACKED OUT WITH LVL SHUG FIT BETWEEN FLANGES AND ATTACHED WITH 2 ROWS OF 1/2" DIAMETER A307 BOLTS AT 16" ON CENTER.
 8. THE EXISTING FRAMING SHOWN HAS BEEN ASSUMED. BUILDER TO NOTIFY THE ENGINEER IF FIELD OBSERVATIONS CONFLICT WITH THE INFORMATION SHOWN ON THE PLANS.
 9. TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE SBCA BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

WINDOW SCHEDULE

TYP	MODEL NO.	MANUFACTURER	MIN. ROUGH OPENING (h x w)	QTY	FLOOR	LOCATION	HEAD HEIGHT	SCREENS	NOTES
A	TW2852-2	ANDERSEN	64 1/2" x 68"	2	FIRST	EXISTING DEN	8'-0"	TRU	N/A
B	TW3062	ANDERSEN	76 1/2" x 38 1/2"	3	FIRST	PROPOSED GREAT ROOM	8'-0"	TRU	TEMPERED
C	TW3662 W/ DHT3431	ANDERSEN	108 1/2" x 42 1/2"	4	FIRST	PROPOSED GREAT ROOM	10'-7"	TRU	TEMPERED
D	CX145-3	ANDERSEN	63 1/2" x 95 1/2"	1	FIRST	RECONFIGURED KITCHEN	8'-0"	N/A	N/A
E	CX145	ANDERSEN	63 1/2" x 32"	1	FIRST	RECONFIGURED KITCHEN	8'-0"	N/A	N/A
F	CX135	ANDERSEN	41 1/2" x 32"	2	SECOND	EXISTING LOFT	8'-0"	N/A	N/A



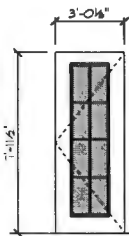
WINDOW NOTES

1. REFER TO DRAWINGS FOR GRILL PATTERN.
2. ALL GRILLE PROFILES ARE 1/2".
3. ALL GLASS SHALL BE LOW-E 4 U.N.O.
4. MATCH EXISTING WINDOW COLOR AND FINISHES.
5. MATCH EXISTING WINDOW HARDWARE.
6. ALL GRILLE CONFIGURATIONS ARE SDL.

WINDOW TYP. ELEVATIONS

DOOR SCHEDULE

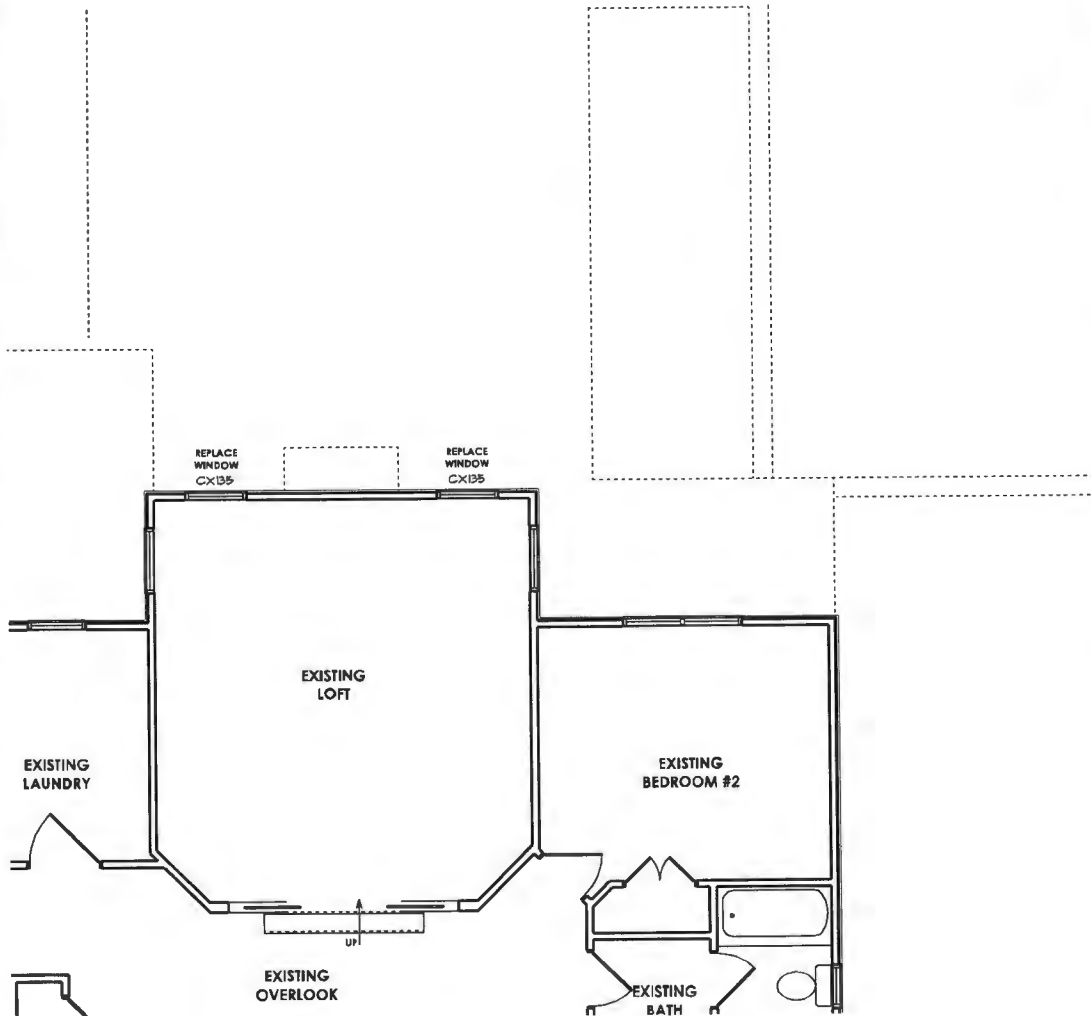
TYP	MODEL NO.	MANUFACTURER	SIZE (w x h)	QTY	FLOOR	INTERIOR OR EXTERIOR	LOCATION	NOTES
1	PWH31611AL W/PWH31110	ANDERSEN	36 1/2" x 95 1/2"	2	FIRST	EXTERIOR	RECONFIGURED KITCHEN/ PROPOSED GREAT ROOM	SDL



DOOR NOTES

1. REFER TO DRAWINGS FOR GRILL PATTERN.
2. ALL GRILLE PROFILES ARE 1/2".
3. ALL GLASS SHALL BE LOW-E 4 U.N.O.
4. MATCH EXISTING WINDOW COLOR AND FINISHES.
5. MATCH EXISTING WINDOW HARDWARE.

DOOR TYP. ELEVATIONS



SECOND FLOOR PLAN



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BUILDER

ISSUE DATES:

7-31-24	REVIEW SET
10-30-24	REVIEW SET
11-04-24	REVIEW SET
12-26-24	PENALT SET

SCALE: 1/4" = 1'-0"

2ND FLOOR

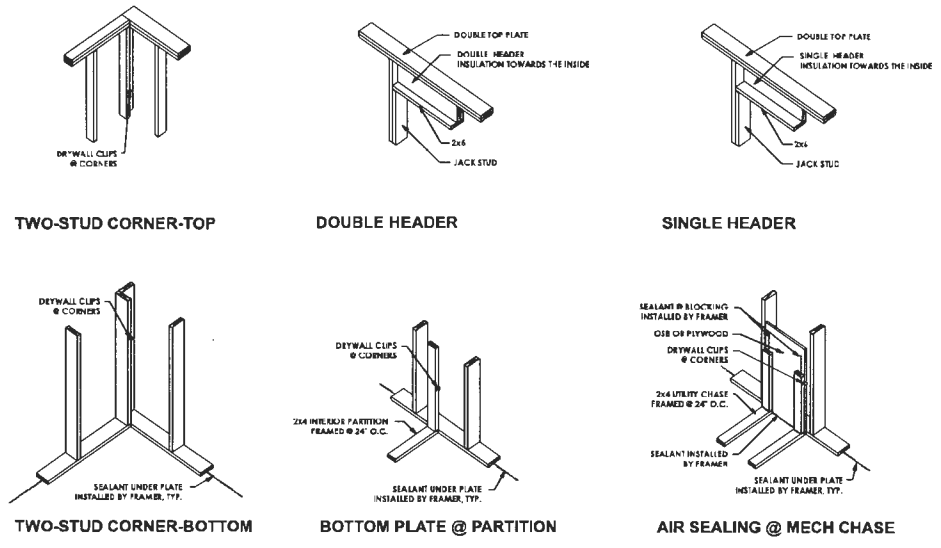
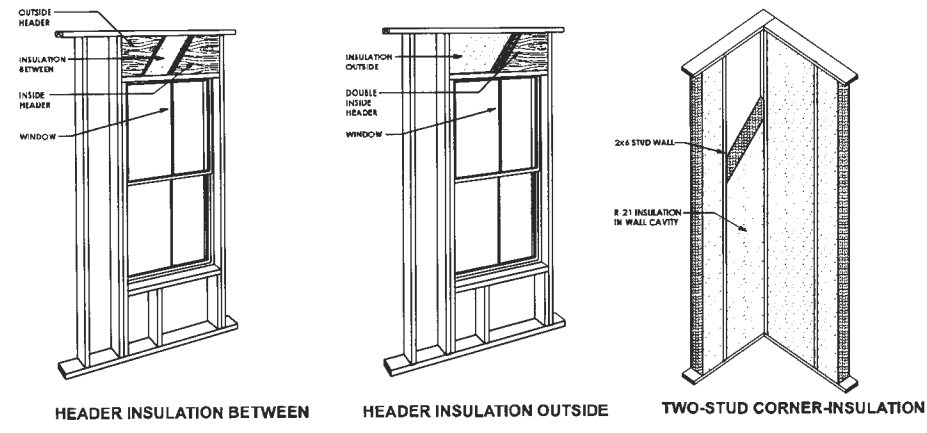
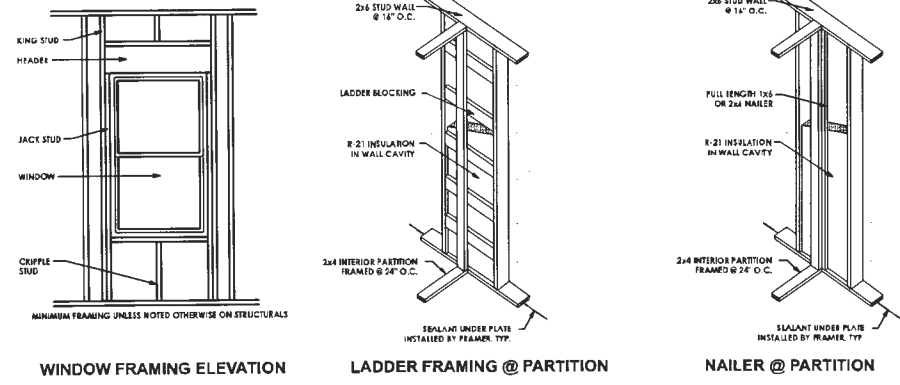
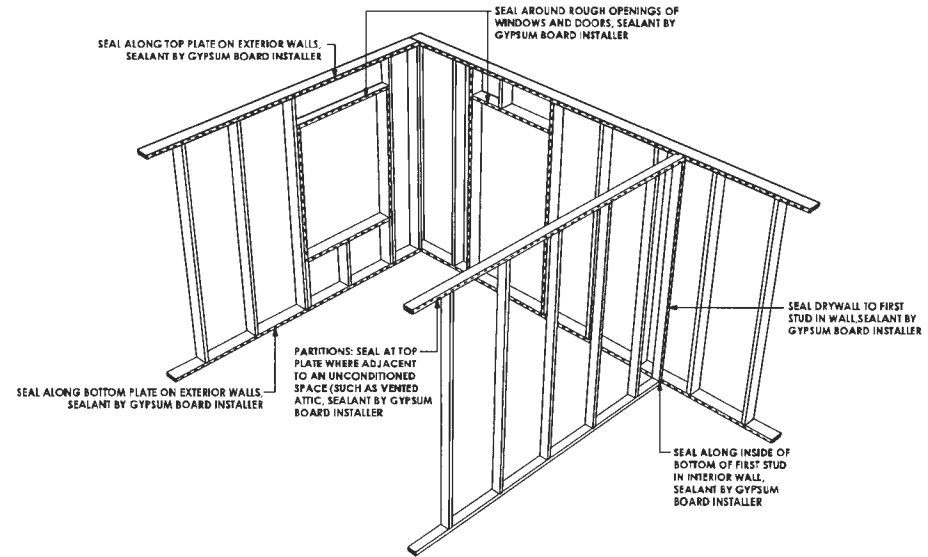
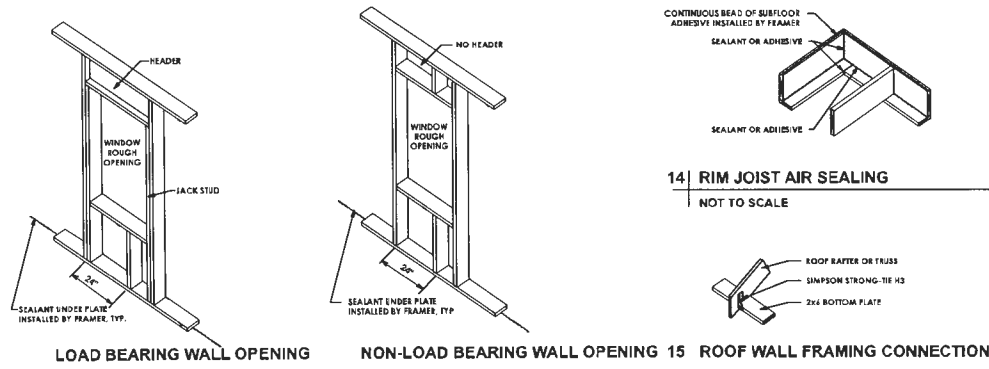
3.02

NOTE: ALL LOAD BEARING STUD WALLS TO BE DOUBLE TOP PLATE PER WALL SECTIONS

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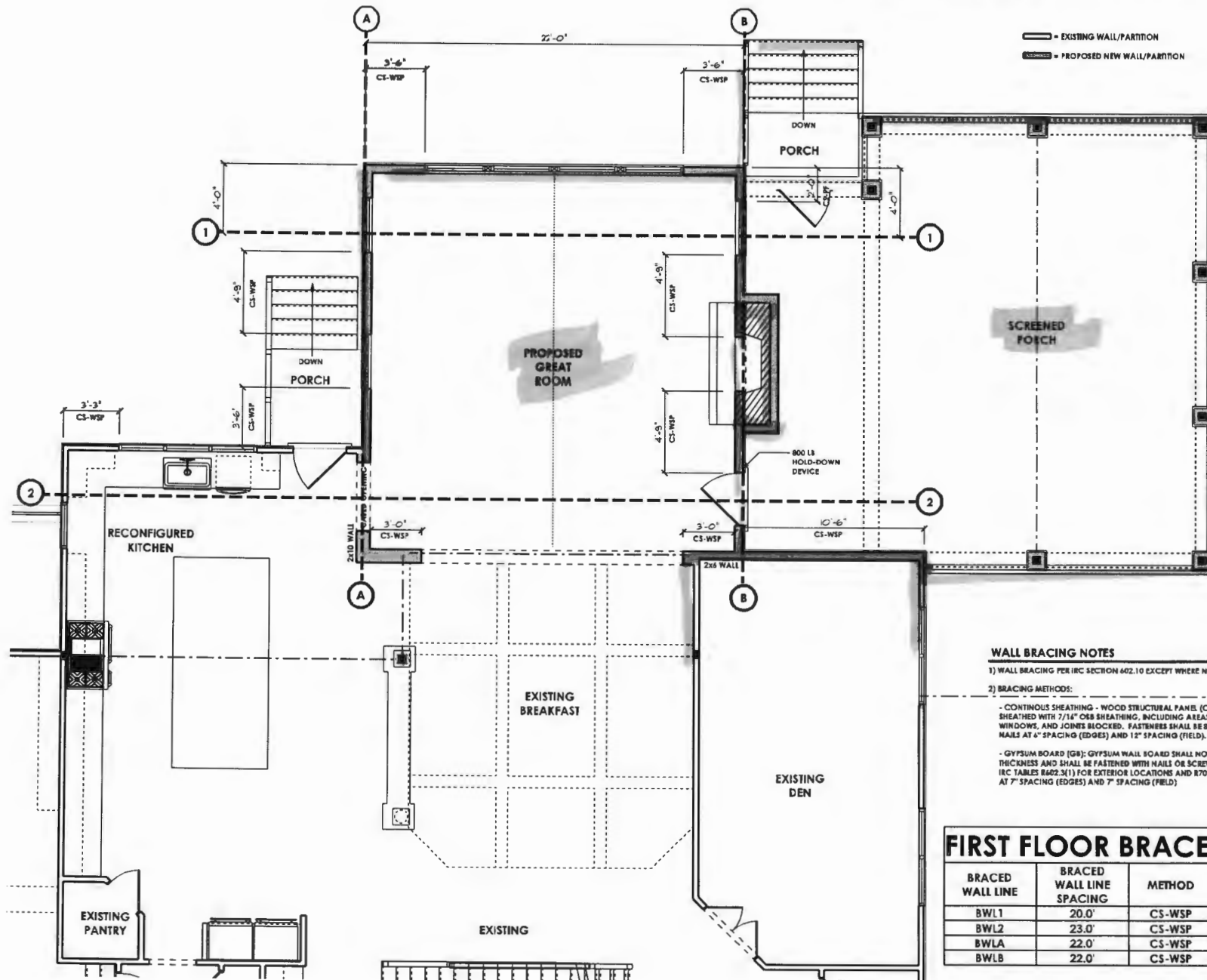
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7-31-24	REVIEW SET
10-30-24	REVIEW SET
11-04-24	REVIEW SET
12-24-24	PERMIT SET

SCALE: N.T.S.

DETAILS
3.03
 PRINT DATE:
 Thursday, December 26, 2024

ALL DIMENSIONS TO BE VERIFIED IN FIELD



WALL BRACING NOTES

1) WALL BRACING PER IRC SECTION 602.10 EXCEPT WHERE NOTED.

2) BRACING METHODS:

- CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL (CS-WSP): ALL AREAS TO BE SHEATHED WITH 7/16" OSB SHEATHING, INCLUDING AREAS ABOVE DOORS AND WINDOWS, AND JOINTS BLOCKED. FASTENERS SHALL BE SD COMMON (2 1/2" X 0.131") NAILS AT 6" SPACING (EDGES) AND 12" SPACING (FIELD).

- GYPSUM BOARD (GB): GYPSUM WALL BOARD SHALL NOT BE LESS THAN 1/2" IN THICKNESS AND SHALL BE FASTENED WITH NAILS OR SCREWS IN ACCORDANCE WITH IRC TABLE R602.3(1) FOR EXTERIOR LOCATIONS AND R702.3.5 FOR INTERIOR LOCATIONS AT 7" SPACING (EDGES) AND 7" SPACING (FIELD)

FIRST FLOOR BRACED WALL TABLE

BRACED WALL LINE	BRACED WALL LINE SPACING	METHOD	LENGTH REQUIRED	LENGTH PROVIDED
BWL1	20.0'	CS-WSP	4.77'	7.00'
BWL2	23.0'	CS-WSP	9.69'	19.75'
BWL3	22.0'	CS-WSP	3.48'	8.25'
BWL4	22.0'	CS-WSP	3.48'	9.50'



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11-04-24 REVIEW SET
12-24-24 PERMIT SET

SCALE 1/4" = 1'-0"

BRACING

3.51

PRINT DATE: Thursday, December 26, 2024

- SECTION NOTES**
- 1) 1500 PSF MIN SOIL BEARING CAPACITY ASSUMED
 - 2) BEAMS, JOISTS, HEADERS & BATTENS TO BE SPF #1/#2 OR EQ. TYP THROUGHOUT.
 - 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/R AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
 - 4) FOUNDATION WALL MIN THICKNESS 10" WHERE STEM WALL AT BRICK EDGE EXCEEDS 14" HIGH
 - 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.
 - 6) FOUNDATIONS SHALL BE LOCATED 30" MIN. BELOW GRADE.



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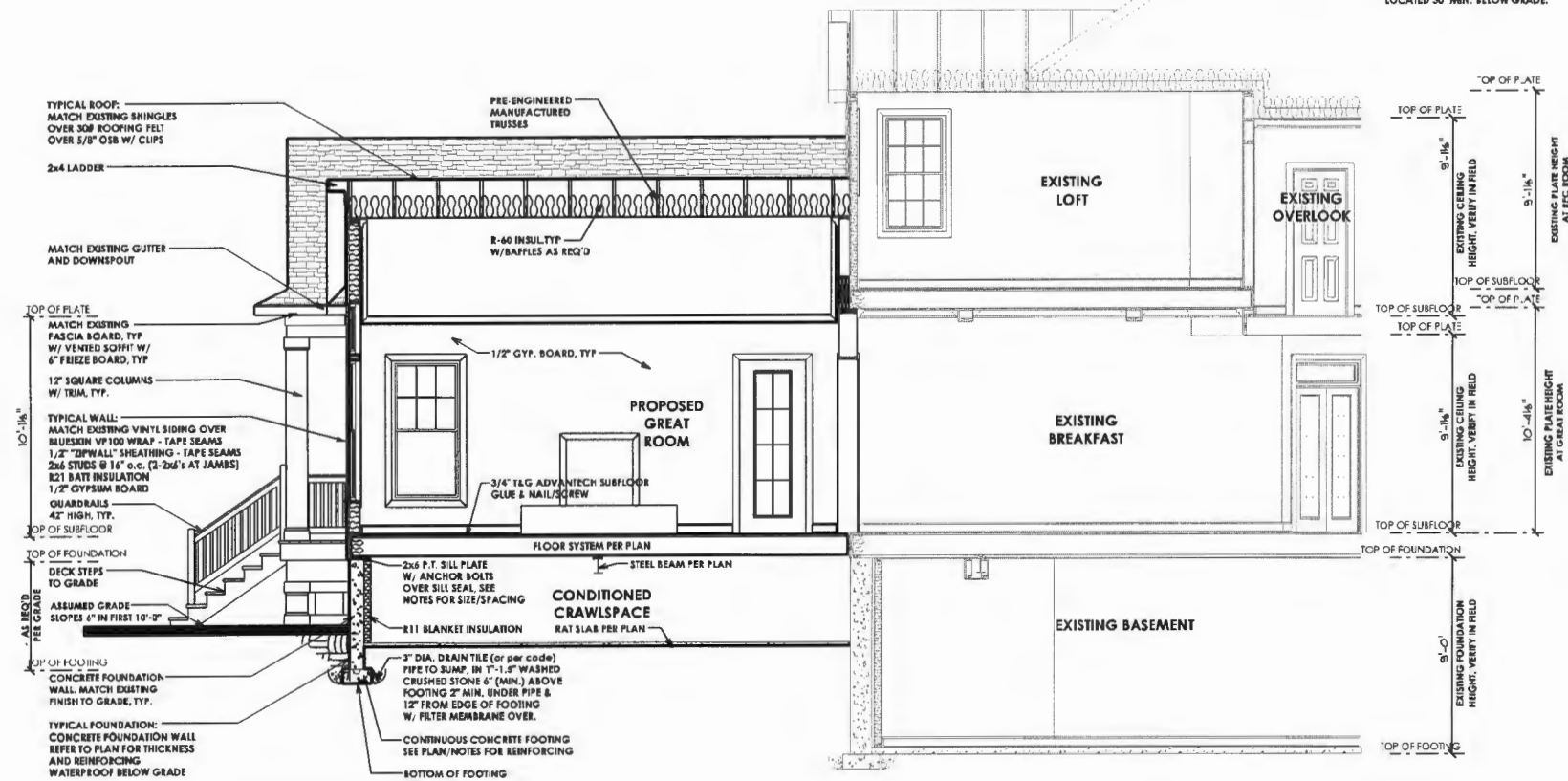
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10-30-24	REVIEW SET
11-04-24	REVIEW SET
12-26-24	PERMIT SET

SCALE: 1/4" = 1'-0"

SECTIONS

5.01

PRINT DATE:
Thursday, December 26, 2024



- TYPICAL ROOF: MATCH EXISTING SHINGLES OVER 30# ROOFING FELT OVER 5/8" OSB W/ CLIPS
- 2x4 LADDER
- MATCH EXISTING GUTTER AND DOWNSPOUT
- PRE-ENGINEERED MANUFACTURED TRUSSES
- R-40 INSUL TYP W/ Baffles AS REQ'D
- 1/2" GYP. BOARD, TYP
- 3/4" T&G ADVANTECH SUBFLOOR GLUE & NAIL/SCREW
- 2x6 P.T. SILL PLATE W/ ANCHOR BOLTS OVER SILL SEAL, SEE NOTES FOR SIZE/SPACING
- R11 BLANKET INSULATION
- 3" DIA. DRAIN TILE (or per code) PIPE TO SUMP, IN 1"-1.5" WASHED CRUSHED STONE 6" (MIN.) ABOVE FOOTING 2" MIN. UNDER PIPE & 12" FROM EDGE OF FOOTING W/ FILTER MEMBRANE OVER.
- CONTINUOUS CONCRETE FOOTING SEE PLAN/NOTES FOR REINFORCING
- BOTTOM OF FOOTING 30" MIN. BELOW FINISHED GRADE
- TYPICAL WALL: MATCH EXISTING VINYL SIDING OVER BLUESKIN VP100 WRAP - TAPE SEAMS 1/2" ZIPWALL SHEATHING - TAPE SEAMS 2x6 STUDS @ 16" o.c. (2-2x6's AT JAMBS) R21 BATT INSULATION 1/2" GYPSUM BOARD
- GUARDRAILS 42" HIGH, TYP.
- DECK STEPS TO GRADE
- ASSUMED GRADE SLOPES 4" IN FIRST 10'-0"
- CONCRETE FOUNDATION WALL MATCH EXISTING FINISH TO GRADE, TYP.
- TYPICAL FOUNDATION: CONCRETE FOUNDATION WALL REFER TO PLAN FOR THICKNESS AND REINFORCING WATERPROOF BELOW GRADE

NOTE:
STAIRS WITH 3 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

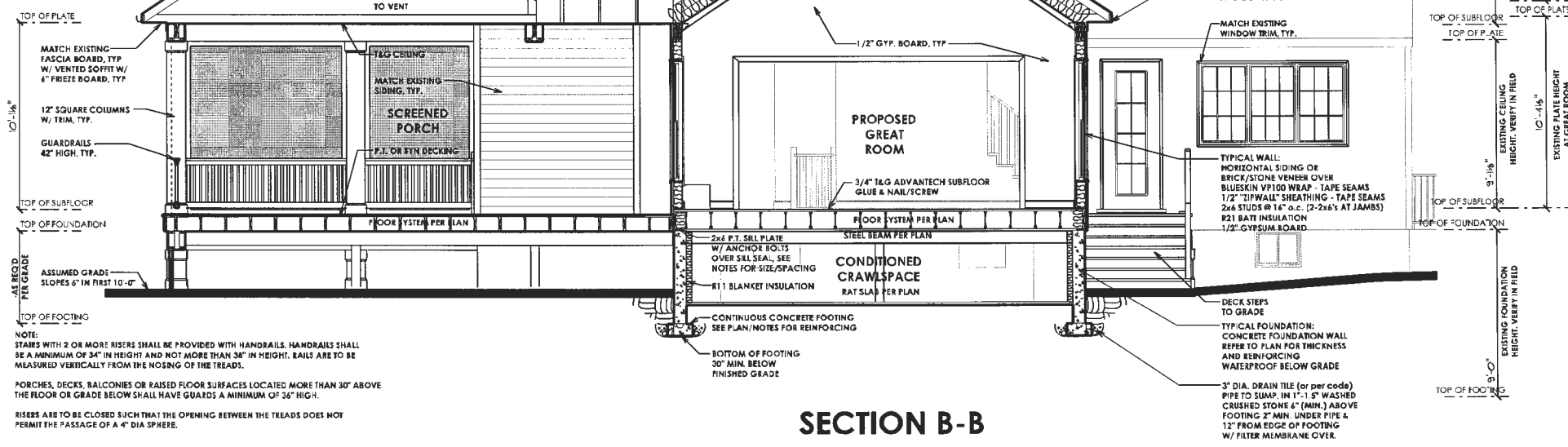
PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIA SPHERE.

SECTION A-A

SECTION NOTES

- 1) 1500 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RATTERS TO BE 3"X8" #1/#2 OR EQ. TYP. THROUGHOUT U.M.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 14" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 6) FOUNDATIONS SHALL BE LOCATED 30" MIN. BELOW GRADE



NOTE:
STAIRS WITH 2 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.
RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIA SPHERE.

SECTION B-B

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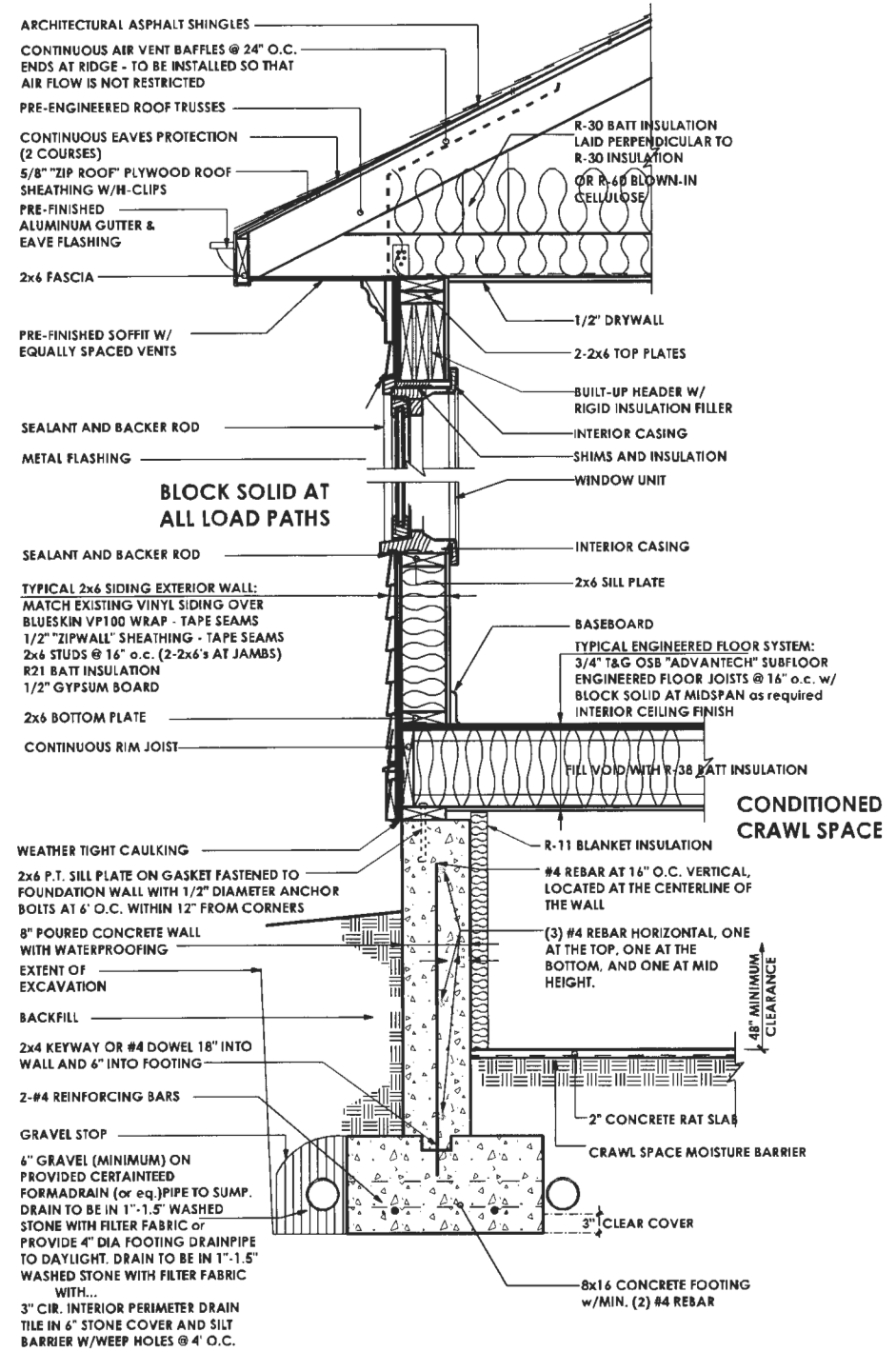
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SCALE: 1/4" = 1'-0"

SECTIONS

5.02

PRINT DATE:
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BLOCK SOLID AT ALL LOAD PATHS

CONDITIONED CRAWL SPACE

WALL SECTION AT HOUSE BOX

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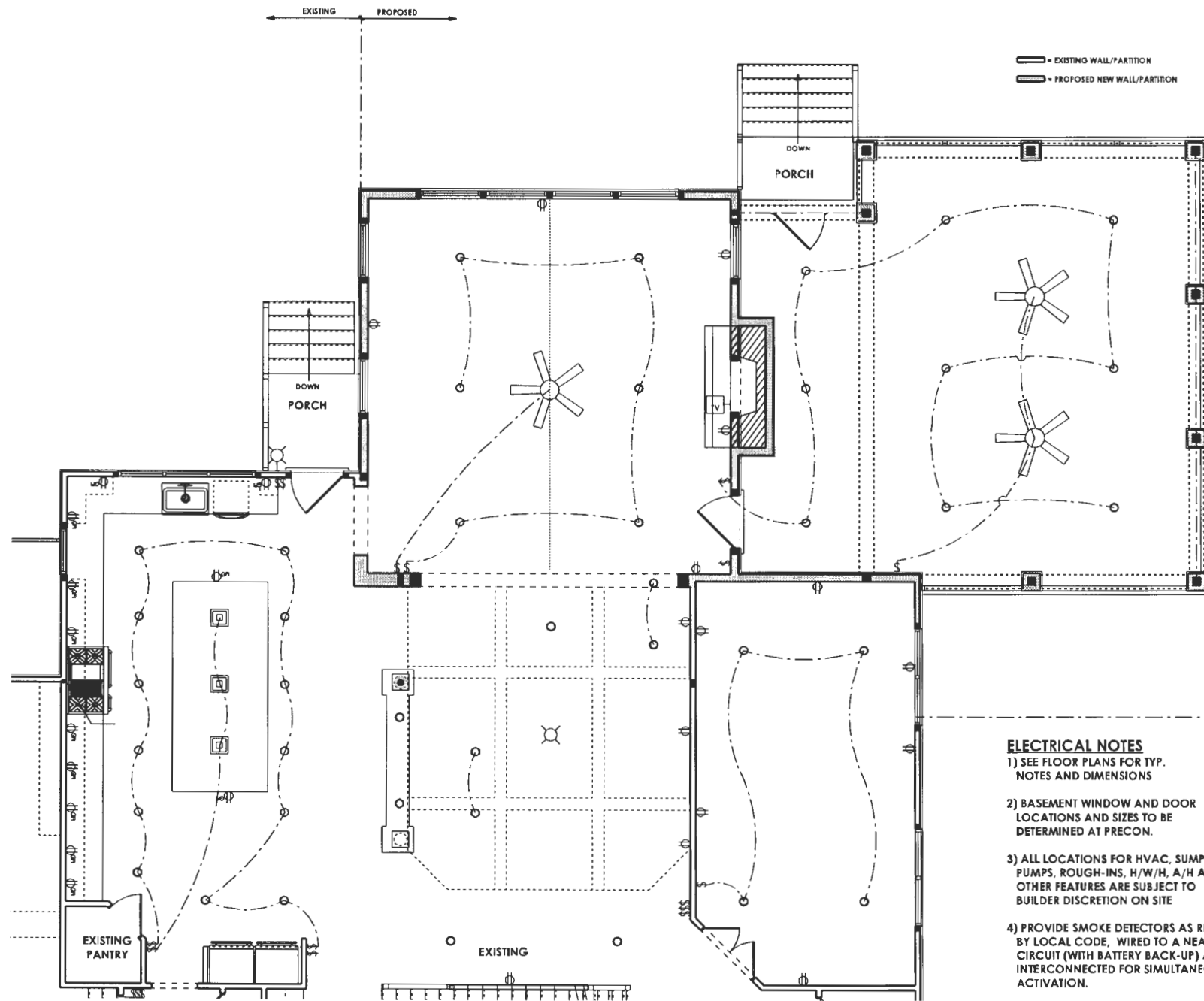
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SCALE: 1/4" = 1'-0"
WALL SECTION
5.03
 PRINT DATE:
 Thursday, December 26, 2024



— EXISTING WALL/PARTITION
 — PROPOSED NEW WALL/PARTITION

ELECTRICAL NOTES

- 1) SEE FLOOR PLANS FOR TYP. NOTES AND DIMENSIONS
- 2) BASEMENT WINDOW AND DOOR LOCATIONS AND SIZES TO BE DETERMINED AT PRECON.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) PROVIDE SMOKE DETECTORS AS REQ'D BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACK-UP) AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION.
- 5) THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ELECTRICAL LEGEND

⊕ — DUPLEX RECEPT.	⊕ — CEILING MOUNT LIGHT FIXTURE
⊕ — GROUND FAULT.	⊕ — CEILING LIGHT "FULL CHAIN"
⊕ — CIRCUIT INTERRUPTER	⊕ — RECESSED LIGHT FIXTURE
⊕ — DUPLEX OUTLET HALF SWITCHED	⊕ — WALL MOUNTED LIGHT FIXTURE
⊕ — 20 VOLT DUPLEX OUTLET	⊕ — FLUORESCENT LIGHT FIXTURE
⊕ — DUPLEX OUTLET # 42" A.P.P.	⊕ — SINGLE POLE SWITCH
⊕ — 3-WAY SWITCH	⊕ — CEILING FAN
⊕ — 4-WAY SWITCH	⊕ — TELEPHONE
⊕ — DIMMER SWITCH	⊕ — TELEVISION
⊕ — SMOKE DETECTOR	⊕ — "THERMISTA"
⊕ — BATH FAN	⊕ — DOOR CHIME
⊕ — NO. CHIT	

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FIRST FLOOR

E3.01

PRINT DATE:
 Thursday, December 26, 2024

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Thursday, February 6, 2025 10:20 AM
To: Jane Facchina Hardesty
Subject: RE: B24003133_13542 Mitchells Way_Living Space Addition

Hi Jane,

Thanks for the clarification on this space. Your building permit has been approved by the Health Department.

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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From: Jane Facchina Hardesty <jane.facchina@gmail.com>
Sent: Thursday, February 6, 2025 10:12 AM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B24003133_13542 Mitchells Way_Living Space Addition

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Hi Hank -

Thank you for the follow up. That is correct - it is an extension of the office. There is no plumbing.

Thanks!

On Thu, Feb 6, 2025 at 10:09 AM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Jane,

The revised site plan dated 2.4.25 appears to match the as-built drawing, so I think that's fine. In looking at the revised floor plan dated 12.26.24 again, the 7' x 13' area appears to be an extension of the existing Den. Is this the case? Does it include plumbing?

Thanks,

Hank

Hank Oswald

Licensed Environmental Health Specialist

Bureau of Environmental Health

Howard County Health Department

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From: Jane Facchina Hardesty <jane.facchina@gmail.com>
Sent: Tuesday, February 4, 2025 8:33 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B24003133_13542 Mitchells Way_Living Space Addition

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Hi Hank -

I have uploaded the site plan which shows the septic and well to the ProjectDox site. The shaded ~7x13' area is also proposed structure.

Please let me know if you have any additional questions!

Thanks!

Jane

On Tue, Feb 4, 2025 at 8:46 AM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Jane,

The revised site plan did not include the existing well or the septic tank location. As you may recall, I need to confirm the setback distance between the existing septic tank and the proposed great room. Also, what does the shaded area (7ft.-9 in. x 13 ft.) located behind the proposed porch represent? I didn't see it on the revised floor plans, so I just want to confirm.

Should you have any questions, please don't hesitate to ask.

Regards,

Hank

Hank Oswald

Licensed Environmental Health Specialist

Bureau of Environmental Health

Howard County Health Department

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From: Jane Facchina Hardesty <jane.facchina@gmail.com>
Sent: Monday, February 3, 2025 9:01 PM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B24003133_13542 Mitchells Way_Living Space Addition

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Hank - the updated site plan has now been uploaded to the system for your review with todays date. Please let me know if you have any other questions.

Thank you,

Jane

On Mon, Feb 3, 2025 at 11:37 AM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Jane,

You may use the perc cert plan as the site plan as long it's too scale and shows all existing plus proposed structures plus the well and septic per the as-built on a sheet of paper no larger than 11" x 17".

Please let me know when it has been uploaded to the system. Should you have any other questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald

Licensed Environmental Health Specialist

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From: Jane Facchina Hardesty <jane.facchina@gmail.com>

Sent: Monday, February 3, 2025 11:08 AM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: Re: B24003133_13542 Mitchells Way_Living Space Addition

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Hi Hank - just to confirm - you would like the engineer (or anybody) to remove the "Proposed Pool" and add the great room/screened porch + septic tank location on a 11x17 **to scale** on the existing site plan that was approved by HC health department? Will this satisfy your requirement for approval?

Thank you,

Jane

On Fri, Jan 31, 2025 at 7:24 AM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Ms. Hardesty,

Perhaps you can reach out to the engineer on your latest site plan (labeled Amended Perc Certification Plat) and ask them to take out the proposed pool and add in the proposed great room, screened in porch plus septic tank location according to the as-built drawing on a sheet of paper no larger than 11" x 17"/to scale.

Please let me know if you have any questions.

Thanks,

Hank

Hank Oswald

Licensed Environmental Health Specialist

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(410) 313 - 1786

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From: Jane Facchina Hardesty <jane.facchina@gmail.com>
Sent: Thursday, January 30, 2025 9:45 AM
To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>
Subject: Re: B24003133_13542 Mitchells Way_Living Space Addition

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Hank -

Thank you for your response. Although the site plan shows a "proposed pool" there is no pool on the property. Also, the closest point of the addition is 15-20ft+ away from the septic tank edge. Short of hiring land surveyors - is there anything acceptable that we can provide you to display this?

Thank you!

Jane

On Wed, Jan 29, 2025 at 3:43 PM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Hi Ms. Hardesty,

Good afternoon. Thanks for contacting me about the revisions to your building permit. The floor plan looks fine, however there are a couple of issues with the site plan. 1. The revised site plan shows the proposed screened porch over a proposed pool. 2. I wasn't able to print the revised site plan to scale, so I cannot confirm the required setback distance between the proposed great room and existing septic tank. Since the great room is on crawlspace and not over a basement, the required setback distance is 10 feet.

Once I have a site plan to scale, and I can verify the setback distance, I can approve the building permit. If you cannot meet the required setback distance, then we can have a follow-up discussion. Should you have any questions, please feel free to contact me.

Thanks,

Hank

Hank Oswald

Licensed Environmental Health Specialist

Bureau of Environmental Health

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

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From: Oswald Jr, Woodin

Sent: Tuesday, December 17, 2024 3:11 PM

To: Jane Facchina Hardesty <jane.facchina@gmail.com>

Subject: RE: B24003133_13542 Mitchells Way_Living Space Addition

Thanks. Please keep me posted on this.

Hank

Hank Oswald

Licensed Environmental Health Specialist

Bureau of Environmental Health

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From: Jane Facchina Hardesty <jane.facchina@gmail.com>

Sent: Tuesday, December 17, 2024 2:14 PM

To: Oswald Jr, Woodin <hoswald@howardcountymd.gov>

Subject: Re: B24003133_13542 Mitchells Way_Living Space Addition

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Hank - thank you for the email and clarification. We are in the process of modifying the plans and plan to submit the revised plan.

Thank you!

On Mon, Sep 9, 2024 at 1:21 PM Oswald Jr, Woodin <hoswald@howardcountymd.gov> wrote:

Dear Ms. Hardesty:

Good afternoon. I've reviewed the building permit for a living space addition and an open deck located at 13542 Mitchells Way. The proposed room labeled "office" meets the definition of a bedroom. Please note, the existing septic system is sized for 4 bedrooms (see attached septic record). The existing floor plan already shows 4 bedrooms. With the addition of the office, the # of bedrooms would exceed the capacity of the system.

With that said, prior to building permit approval, upgrades to the existing septic system to accommodate a 5th bedroom including an approved septic plan from an engineer will be required. Alternatively, if the basement bedroom or some other bedroom in the residence were modified, so that it didn't meet the definition of a bedroom under local code (see attachment), and the bedroom count stays at 4, then no upgrades to the septic system will be required.

One of the easiest ways to modify a bedroom is to show a cased 4 foot wide opening into the room without a door. Another way to alter a bedroom is to show permanent book shelving units around perimeter of the room. If you opt to change the # of bedrooms by revising the floor plan, a copy of the revised floor plan must be submitted to the permitting office. On the floor plan, please provide a note about the change you intend to make to the room.

Lastly, please update the site plan to include the location of the well and septic tank.

At this time, the building permit will remain on hold until the above mentioned requirements have been satisfied. Should you have any questions or concerns, please don't hesitate to ask.

Regards,

Hank

Hank Oswald

Licensed Environmental Health Specialist

Bureau of Environmental Health

Howard County Health Department

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