

Record Detail * (This section is rec .red.)

Approved R/E
12/25/2024

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B24004556	12/03/2024

Description of Work
SFD/ CONSTRUCT 12X10 FOUR SEASON SUNROOM AND REPLACE 28X12 DECK WITH STEPS, 1 STORY, Full Basement, 0R, 3FB, 0HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = Deck, ENERGY METHOD = N/A,

Online BP. Files public.
y8 12/9/24

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
15870	UNION CHAPEL	RD
Unit Type	Unit #	X Coordinate
-Select-		-77.06408
		Y Coordinate
		39.29679
City	State	Zip Code
WOODBINE	MD	21797
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
905117	160	5.5	102250	473000	158080	RURAL
Legal Description	5.5007 A []15870 UNION CHAPEL RD []WOODBINE					

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404329902						
Section	Area	Tax Map					
		13					
Grid	Zoning District	ADC Map					
13-18	RC-DEO	4811-K3					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1977	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-07	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *
MCRIL
Address Line 1
15870 UNION CHAPEL RD
Address Line 2
Address Line 3
Mail City
WOODBINE
Mail State
MD
Mail Zip Code
21797
Phone
410-489-2713
Primary
Yes
E-mail

No of Stories 1 (Text) Foundation Full Basement Basement N/A No of Rooms 0 (Text) Full Baths 3 (Number) Ha 0

Model SFD/ CONSTRUCT 12X10 FOUR SEASON SUNROOM AND REPLACE 28X12 DECK WITH STEPS
[check spelling](#)

Other Structure None Bedrooms 0 (Number) Porch Deck No of Fireplaces 0 (Number) Type of Fireplace --Select--
W & S Fees Paid Water Private Sewage Private Utilities Electric Heating System Electric Sprinkler System None
 Yes No
1st Floor Width FT (Number) 1st Floor Depth FT (Number) 2nd Floor Width FT (Number) 2nd Floor Depth FT (Number) Basement Width FT (Number) Basement Depth FT (Number) Height FT (Number)
Total Square Footage 1818 SQFT (Number) Occupiable Square Footage 0 SQFT (Number) Affordable Housing Funding N/A Foundation Measurement (Text)
Walls (Text) Roof (Text) Change In Use Yes No Grading Permit No (Text) Senior Housing Yes No MIHU Outside Downtown Columbia Yes No

Additional Description Info
Expiration Date 6/4/2025
MIHU Required Units 0 (Num)

[check spelling](#)

GREEN INFORMATION

Goal Level --Select-- Actual Level --Select-- Leed Registration Number (Text) Date of Leed Certification 6/4/2025

STORM WATER MANAGEMENT

Green Roofs A1 Yes No Permeable Pavements A2 Yes No Reinforced Turf A3 Yes No Disconnection of Rooftop Runoff N1 (Number)
Sheetflow to Conservation Areas N3 Yes No Rainwater Harvesting M1 (Number) Submerged Gravel Wetlands M2 (Number) Landscape Infiltration
Dry Wells M5 (Number) Micro Bioretention M6 (Number) Rain Gardens M7 (Number) Swales M8 (Number)
PSWM Certification Received in CID on

Submit Cancel

Cell Number Fax Number

Professionals (This section is not required.)

License #
08010037056

License Type
MHIC Ind

Primary
Yes

Business Name
KME CONSTRUCTION INCORPORATED

First Name **Middle Name** **Last Name**
▼ KENNETH ERSKINE

Address Line 1
▼ 12584 HALL SHOP ROAD

Address Line 2

City **State** **ZIP Code**
FULTON MD 20759-0000

Phone 1 **Phone 2** **Fax**
4432851328

E-mail
MONIKAERSKINE933@GMAIL.COM

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type
Applicant

Relationship
Applicant

Primary
No

First Name **MI** **Last Name**
Ken Erskine

Full Name
▼ Ken Erskine

Organization Name
KME Construction, LLC

Street Address
12584 Hall Shop Rd

Address Line 2

City **State** **Zip Code**
Fulton MD ▼ 20759

Phone **Cell** **Fax**
301-873-3668 301-873-3668

E-mail
kmeconstruction1@yahoo.com

Contact (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type
Contact

Relationship
Applicant

Primary
Yes

First Name **MI** **Last Name**
Ken Erskine

Full Name
▼ Ken Erskine

Organization Name
KME Construction, LLC

Street Address
12584 Hall Shop Rd

Address Line 2

City **State** **Zip Code**
Fulton MD ▼ 20759

Phone **Cell** **Fax**
301-873-3668 301-873-3668

E-mail
kmeconstruction1@yahoo.com

Addtl Info

Est Construction Cost **Housing Units** **Number of Buildings** **Public Owned**
50000 0 0 No

Construction Type
434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee

Yes No

Capital Project Number

(Text)

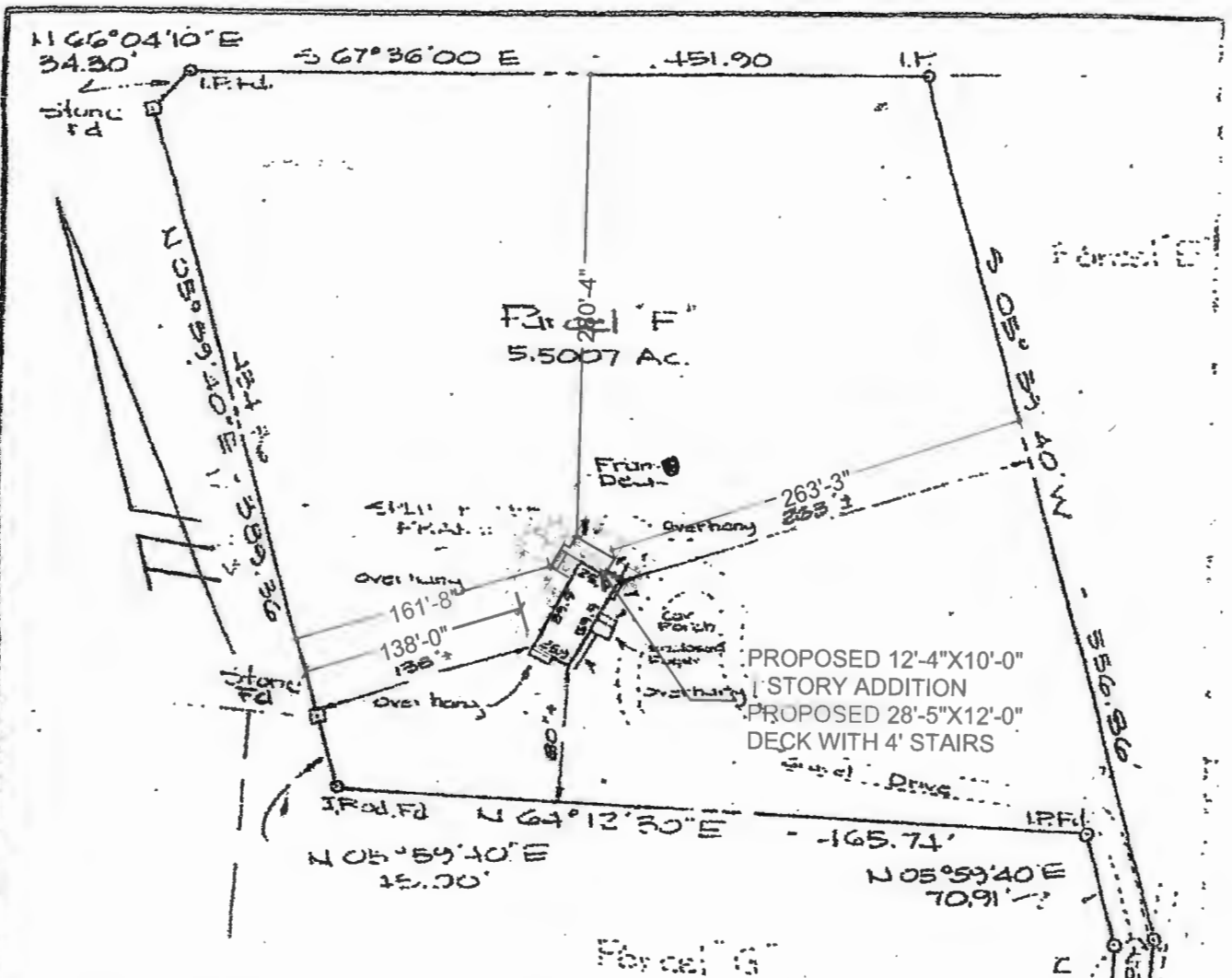
Fee Exempt

Yes No

Roadside Tree Project Permit

Yes No

Roadside Tree Pr



FINAL HOUSE LOCATION
 715870 UNION CHAPEL ROAD
 STRIBLING EARTON TRUL-PELL
 PROPERTY
 L. 56'S - F. 28
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY
 MARYLAND

LOCATION DRAWING OF:
 McRILL PROPERTY
 15870 UNION CHAPEL RD.
 WOODBINE, MD. 21797
 DISTRICT 04
 TAX ACCOUNT # 329902
 TAX MAP 0013 TAX GRID 0018
 PARCEL 0160
 HOWARD COUNTY
 ZONING RC-DEO
 SCALE: 1" = 100' 11-27-2024

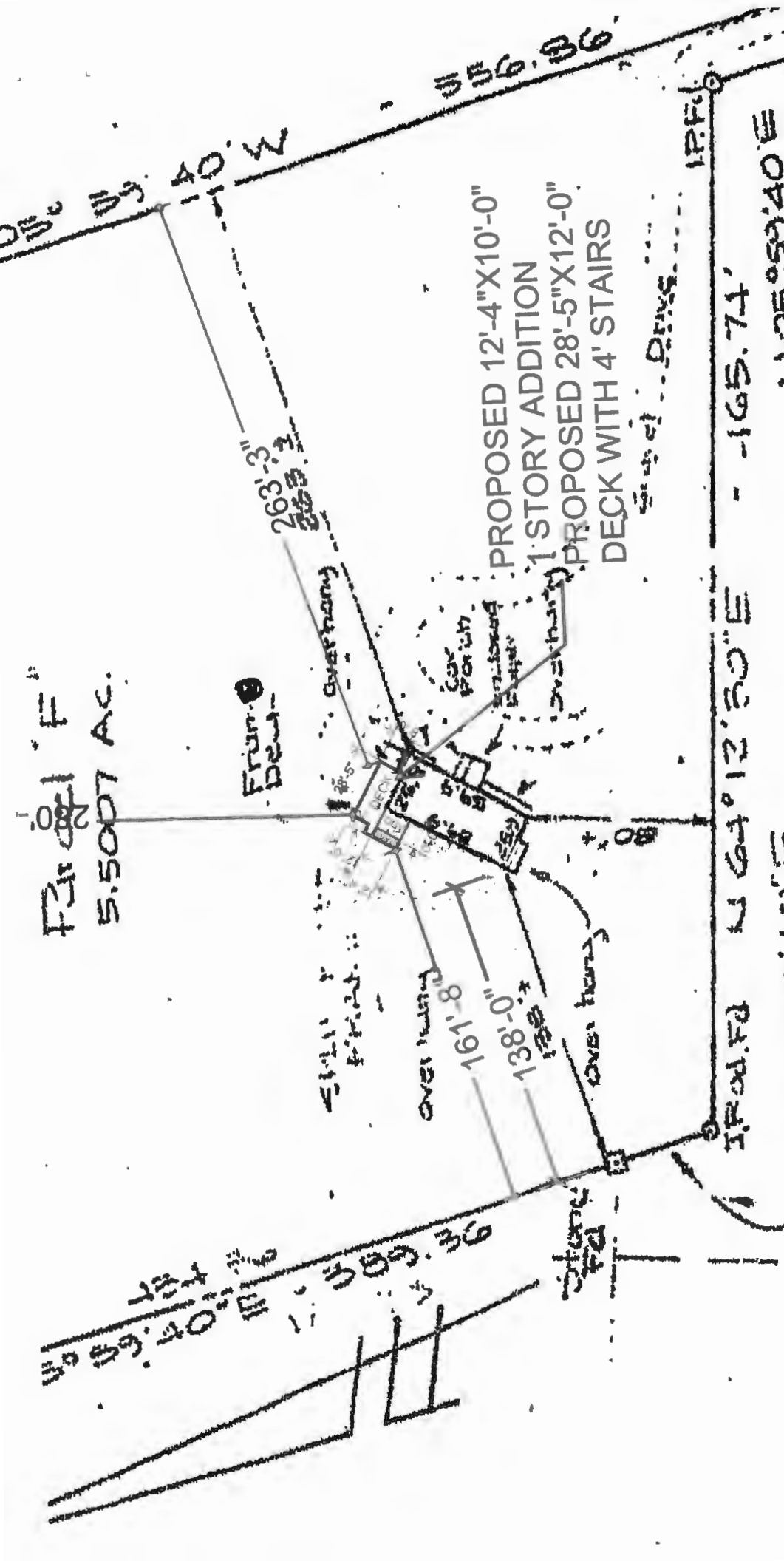
0.3 miles
 To Annapolis Rd.

UNION
 CHAPEL
 ROAD
 (30' line)

Known as Parcel F on plat of survey made by
 Gore, Seybold & Newquist Nov 2, 1970
 NOTE: Lot corners have not been set by this survey unless otherwise indicated.

SURVEYOR'S CERTIFICATE I hereby certify that the location of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown there are no encroachments. <i>Ralph S. Supter</i> Registered Land Surveyor #1675	REFERENCE PLAT BOOK PLAT NUMBER		G. P. MORGAN & ASSOCIATES 1019 CEDAR RIDGE COURT ANNAPOLIS, MARYLAND 21403 267-9183	
	LIBER 503 FOLIO 23	WALL CHECK: 3/26/77	FIELD BOOK: 102 1-71	PROJECT No. DRAWING No. 10051
		FINAL H.L.: 10/18/17	DWG BY: GPM	
	DWG. DATE: 3/28/77		SCALE: 1" = 100'	DWG. BY: GPM

FRONT LOT
5.5007 AC.



S 89° 40' 10" W

263'-3"

PROPOSED 12'-4" X 10'-0"
1 STORY ADDITION
PROPOSED 28'-5" X 12'-0"
DECK WITH 4' STAIRS

Driveway

1 P.F.D.

- 165.74'

N 05° 59' 40" E

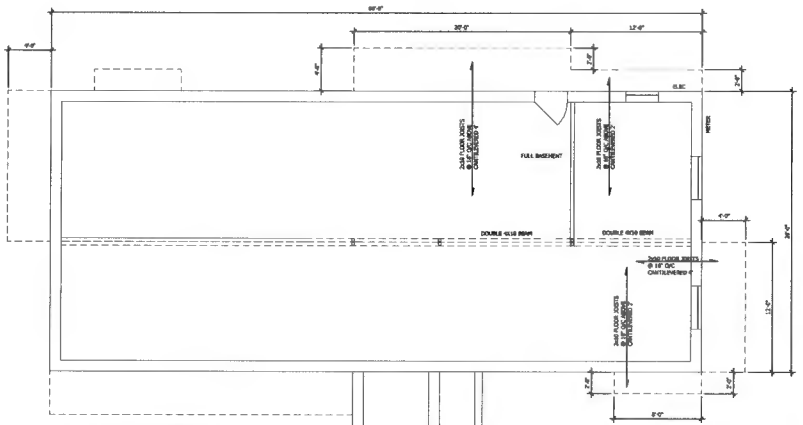
N 64° 12' 30" E

N 05° 59' 40" E

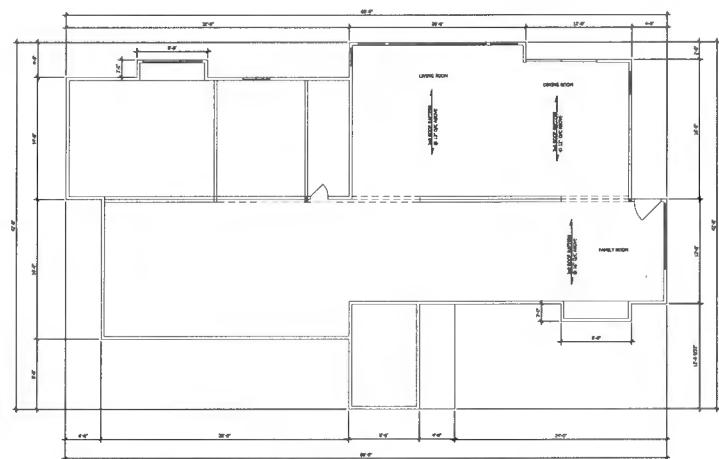
Approved 1240041556

7/1/24 12/25/2024

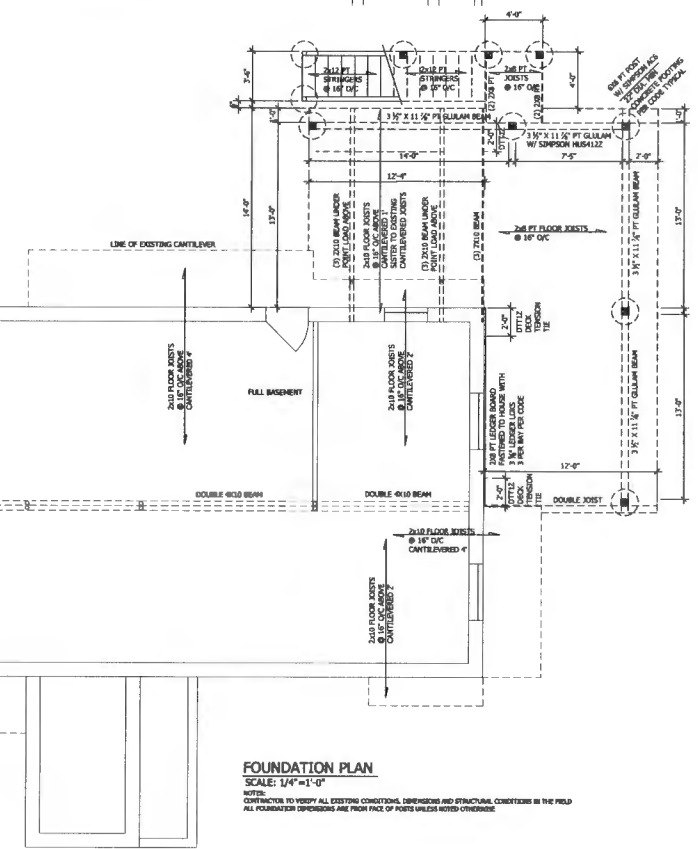
S 89° 40' 10" W
1240041556



EXISTING FOUNDATION PLAN
NOT TO SCALE



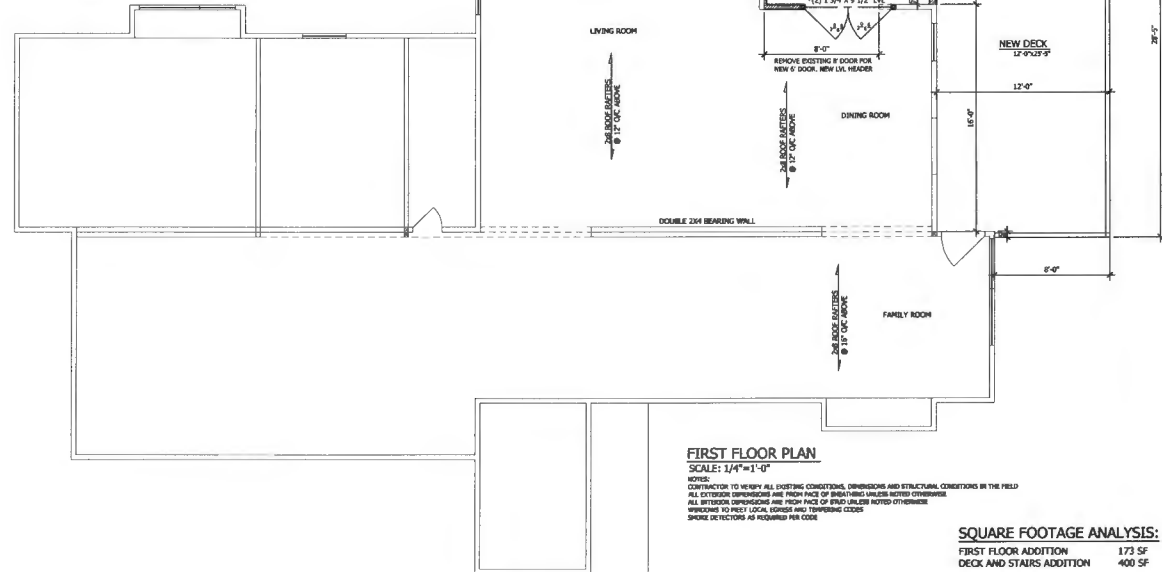
EXISTING FIRST FLOOR PLAN
NOT TO SCALE



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

NOTE:
CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND STRUCTURE. CHECKERS IN THE FIELD.
ALL FOUNDATION DIMENSIONS ARE FROM FACE OF POSTS UNLESS NOTED OTHERWISE.

2021 IRC WALL BRACING CRITERIA
SPECIFIC WIND OR CATEGORY II
ULTIMATE WIND SPEED: 115 MPH
WIND EXPOSURE CATEGORY: B
BRACED WALL LINES: DISCONTINUED CS-WIP USING THE
CONTINUOUS SHEATHING METHOD SHALL HAVE PANEL
CREATING INSTALLED ON ALL WEATHABLE SURFACES ON ONE
SIDE OF THE WALL, INCLUDING ABOVE AND BELOW ALL
OPENINGS. LONGITUDINAL JOINTS ON WALL BRACING PLANS ARE
ONLY THE EXPOSED WEATHABLE SURFACES ONLY, AND SHOULD NOT
BE USED FOR LAYING OUT THE WALL.
ALL BRACED WALL PANELS SHALL HAVE 1/2" GYP-SURF WALL
BOARD APPLIED TO THE OPPOSITE SIDE OF THE WALL FROM THE
SHEATHING MATERIAL.
VERTICAL PANEL JOINTS OF SHEATHING PANELS SHALL OCCUR
AND BE FASTENED TO COMMON STUDS. IN BRACED WALL
PANELS, HORIZONTAL JOINTS MUST OCCUR AND BE FASTENED
TO COMMON BLOCKING HAVING A MINIMUM THICKNESS OF 1 1/2".
MINIMUM BRACED WALL PANELS SHALL BE 48" OR MORE
ACCORDING TO THE TABLE AND U.S.
BRACED WALL PANELS MAY BE OF THE FOLLOWING MATERIALS
AND CONNECTION TYPES:
WSP = WOOD STRUCTURAL PANEL = 3/8" HORIZONTAL
SHEATHING PANEL FASTENED WITH 8D COMMON 8" X
DOCK LUG FIELD.
CS = CONTINUOUS SHEATHING = 48" OF 1/2" SHEATHING BOTH
SIDES OF WALL, 1" DC BOTH EDGE AND FIELD
CS-WIP = CONTINUOUS SHEATHING - SAME AS WSP
CS-WIP = CONTINUOUS SHEATHING - PORTAL FRAME - SEE
PORTAL FRAME DETAIL.
BRACED WALL PANELS MUST BE LESS THAN 20' APART WITHIN A
BRACED WALL LINE.
ONE PANEL 48" OR LONGER IS PERMITTED IN BRACED-WALL LINE
LEFT OR END IN LENGTH.
THE REQUIRED AMOUNT OF WALL BRACING HAS BEEN ADJUSTED
FOR WALL HEIGHT, ROOF HEIGHT, AND EXPOSURE CATEGORY.
THE AMOUNT OF WALL BRACING PROVIDED MUST EXCEED THE
REQUIRED AMOUNT.



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND STRUCTURE. CHECKERS IN THE FIELD.
ALL EXTERIOR DIMENSIONS ARE FROM FACE OF BRACKETS UNLESS NOTED OTHERWISE.
ALL INTERIOR DIMENSIONS ARE FROM FACE OF FINISH UNLESS NOTED OTHERWISE.
UPWARD TO PREP LOCAL GRUBS AND TRAPPING CODES.
SINK DETECTORS AS REQUIRED PER CODE.

SQUARE FOOTAGE ANALYSIS:
FIRST FLOOR ADDITION 173 SF
DECK AND STAIRS ADDITION 400 SF

REISTERSTOWN
LUMBER COMPANY
1304 Old Hammer Road
Beltsville, MD 20816
Phone: 410.833.1306
Fax: 410.833.8863
info@reisterstownlumber.com

McRILL ADDITION
1870 UNION CHAPEL ROAD
WOODBINE, MD. 21797
HOWARD COUNTY

BUILDING
KME CONSTRUCTION
KEN ESKINE
301-873-3668
kmeconstruction1
@yahoo.com

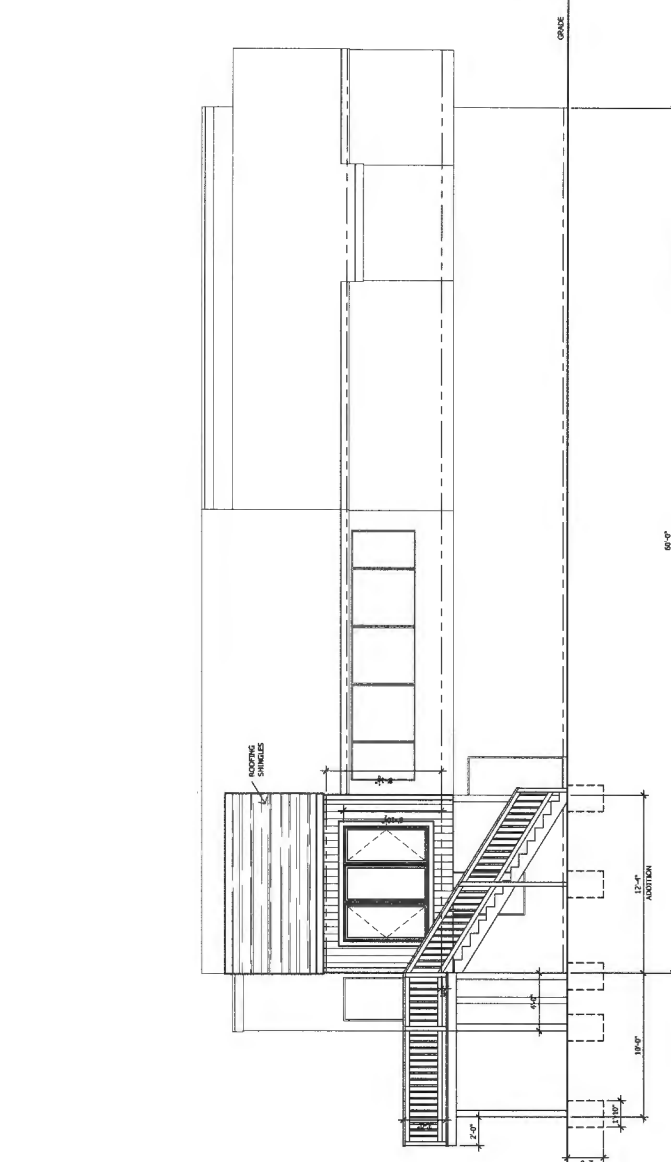
Drawn By: SLK
Checked By:
Start Date: 8/12/2024
Revised:
PRELIMINARY PLANS 10/1/2024
PRELIMINARY PLANS REV 10/14/2024
PERMIT READY 1/06/2025
PERMIT READY REVISED 11/27/2024

Contractor shall verify all
dimensions and conditions and
bring any discrepancy to the
attention of Reisterstown Lumber
Company before proceeding with
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Revised conditions, terms,
including the design contract, may
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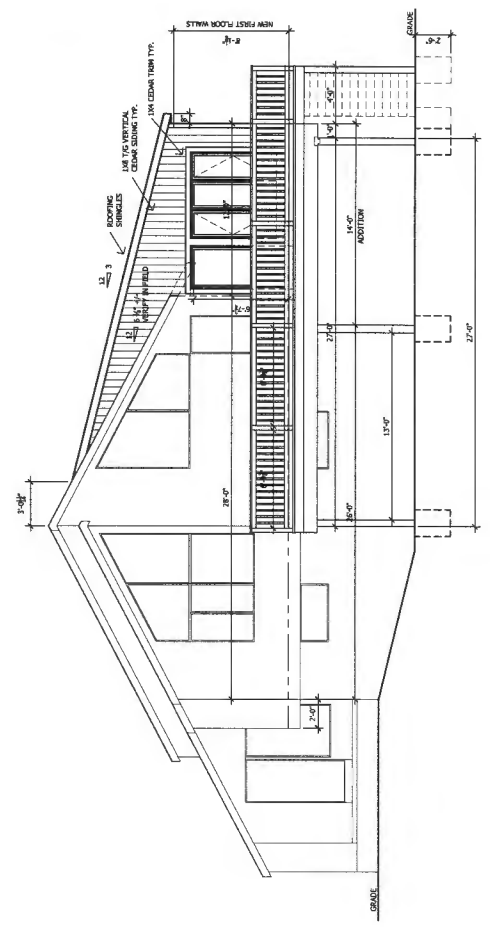
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FOUNDATION PLAN
FIRST FLOOR PLAN
AS-BUILT PLANS
WALL BRACING NOTES

Drawing Scale:
AS NOTED

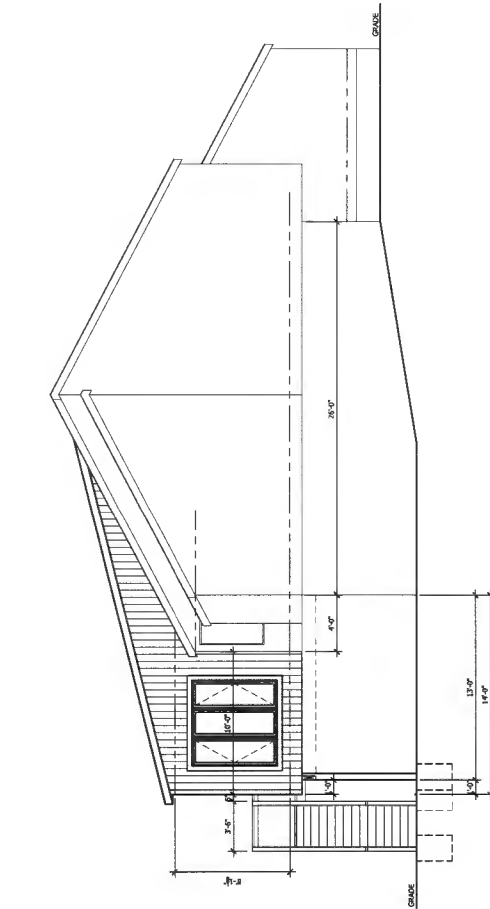
Sheet No.:
A-2 2 OF 3



REAR ELEVATION
 SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

- R002.1. Unexcavated Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.2. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.3. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.4. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.5. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.6. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.7. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.8. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.9. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.10. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.11. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.12. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.13. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.14. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.15. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.16. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
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- R002.18. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.19. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.20. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.21. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.22. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.23. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.24. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.25. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.26. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.27. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.28. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.29. Footing: Footings shall be installed in the building footprint and shall be subject to the City Engineer's office.
- R002.30. Foundation: Foundations shall be installed in the building footprint and shall be subject to the City Engineer's office.



ONE CONSTRUCTION
 15300 Old Leonard Road
 Adelphi, MD 21015
 Tel: 410.321.1811
 Fax: 410.321.1813
 Web: www.oneconstruction.com

McRILL ADDITION
 15870 UNION CHAPEL ROAD
 WOODBINE, MD. 21797
 HOWARD COUNTY

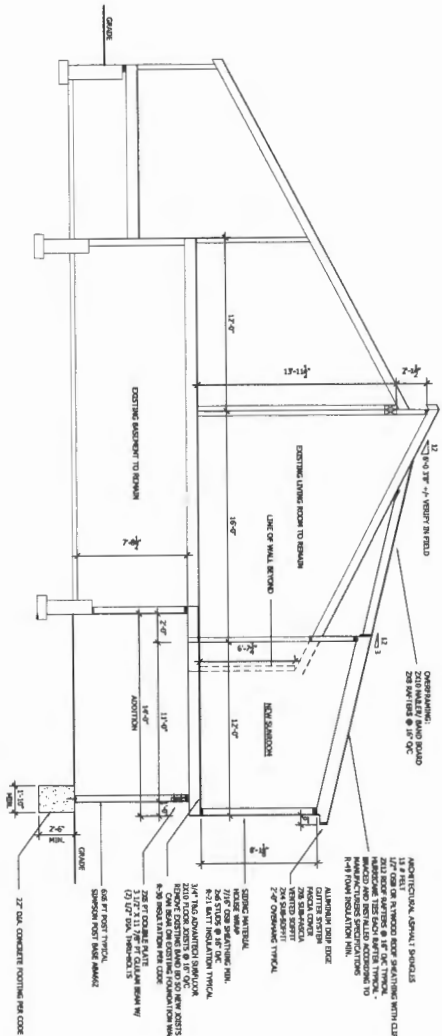
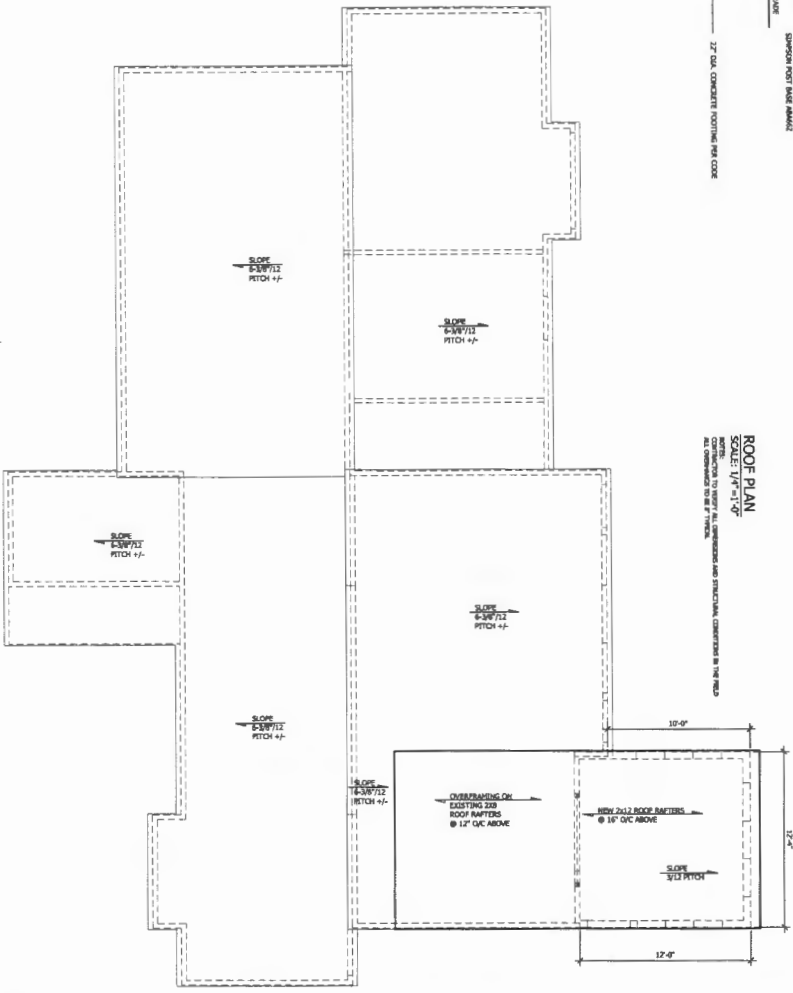
PROJECT:
 ONE CONSTRUCTION
 KEN BISHOP
 301-873-3688
ken@oneconstruction.com
 @oneco.com

DESIGNER:
 SDK
 Created By: 8/22/2014
 Checked By: 8/22/2014
 Scale: 1/8" = 1'-0"
 Revision: 1
 Description: 15870 UNION CHAPEL ROAD
 PROJECT NAME: 15870 UNION CHAPEL ROAD
 SHEET NAME: 15870 UNION CHAPEL ROAD
 SHEET NUMBER: 15870 UNION CHAPEL ROAD

ROOF PLAN CROSS SECTION
 Drawing Scales:
 AS NOTED

Sheet No.:
A-3
 1 of 3

ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NOTE: THIS DRAWING IS A GENERAL REFERENCE AND STRUCTURAL CONNECTIONS IN THE FIELD ARE TO BE DETERMINED BY THE ARCHITECT AND ENGINEER.



CROSS SECTION
 SCALE: 1/4" = 1'-0"
 NOTE: THIS DRAWING IS A GENERAL REFERENCE AND STRUCTURAL CONNECTIONS IN THE FIELD ARE TO BE DETERMINED BY THE ARCHITECT AND ENGINEER.

LEDGER DETAIL
 NOT TO SCALE

