

Record Data (This section is required.)

Permit Type Building/Residential/Addition/SFD Permit Number B24004314 Opened Date 11/12/2024  
 Description of Work SFD/Construct 2-story addition with unfinished basement, 2 STORY, Full Basement, 2R, 1FB, 0HB, 0FP, OTHER STRUCTURE = None, 1BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method.

Online BP.  
 gsk 11/15/24

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 757 Street Name WELLER Street Type DR  
 Unit Type --Select-- Unit # X Coordinate -77.06591 Y Coordinate 39.35778  
 City MOUNT AIRY State MD Zip Code 21771 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
830319	227	3	90000	589900	194000	RURAL

Legal Description LOT 43 3.007 A [ ]757 WELLER DR [ ]PATAPSCO OVERLOOK S 3

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	43	604001	5				

Plan Area State Tax Id 1404345142 Subdivision Name PATAPSCO OVERLOOK SEC  
 Section Area Tax Map 2  
 Grid Zoning District RC-DEO ADC Map 4691-K3  
 SDP No. Final Plan No. WP File No.  
 Record Plat No. 6898 WS Contract No. FDP No. Primary Yes  
 Owner Occupied Year Built 1988 Historic District Yes No  
 Historic District Registry No. Stat Area 4-02 Flood Plain Yes No  
 Building No

Owner (This section is not required.)

Search Reset Clear

Name WAWR  
 Address Line 1 757 WELLER DR  
 Address Line 2  
 Address Line 3  
 Mail City MOUNT AIRY  
 Mail State MD  
 Mail Zip Code 21771  
 Phone 443-622-2217  
 Primary Yes  
 E-mail

david.wawfo@hotmail.com

Cell Number Fax Number

Professionals (This section is not required.)

**License #**  
 08050008567  
**License Type**  
 MHIC Co  
**Primary**  
 Yes

**Business Name**  
 OLD TIME CONTRACTORS INC  
**First Name** Middle Name Last Name  
 MARK DOYLE  
**Address Line 1**  
 211 ADAM SMITH STREET  
**Address Line 2**

**City** State ZIP Code  
 SYKESVILLE MD 21784-0000  
**Phone 1** Phone 2 Fax  
 4105529511 4105521668  
**E-mail**  
 MARK@OLDTIMECONTRACTORS.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

**Type**  
 Applicant  
**Relationship**  
 Applicant  
**Primary**  
 No

**First Name** MI Last Name  
 MARK DOYLE  
**Full Name**  
 MARK DOYLE  
**Organization Name**  
 OLD TIME CONTRACTORS INC  
**Street Address**  
 211 ADAM SMITH STREET  
**Address Line 2**

**City** State Zip Code  
 SYKESVILLE MD 21784-0000  
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 Yes

**First Name** MI Last Name  
 MARK DOYLE  
**Full Name**  
 MARK DOYLE  
**Organization Name**  
 OLD TIME CONTRACTORS, INC  
**Street Address**  
 211 ADAM SMITH STREET  
**Address Line 2**

**City** State Zip Code  
 SYKESVILLE MD 21784  
**Phone** Cell Fax  
 410-552-9511  
**E-mail**  
 mark@oldtimecontractors.com

Addtl Info

**Est Construction Cost** Housing Units Number of Buildings Public Owned  
 250000 0 0 No  
**Construction Type**  
 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee Capital Project Number Fee Exempt Roadside Tree Project Permit Roadside Tree Pr  
 Yes  No (Text)  Yes  No  Yes  No

No of Stories 2 (Text) Foundation Full Basement (Text) Basement Unfinished (Text) No of Rooms 2 (Text) Full Baths 1 (Number) Height 0

Model

SFD/Construct 2-story addition with unfinished basement

[check spelling](#)

Other Structure

None (Text)

Bedrooms

1 (Number)

Porch Deck

N/A (Text)

No of Fireplaces

0 (Number)

Type of Fireplace

--Select-- (Text)

W & S Fees Paid

Yes  No

Water

Private (Text)

Sewage

Private (Text)

Utilities

Electric (Text)

Heating System

Electric (Text)

Sprinkler System

None (Text)

1st Floor Width

FT (Number)

1st Floor Depth

FT (Number)

2nd Floor Width

FT (Number)

2nd Floor Depth

FT (Number)

Basement Width

FT (Number)

Basement Depth

FT (Number)

Height

Total Square Footage

1245 (Text)

SQFT (Number)

Occupiable Square Footage

0 (Text)

SQFT (Number)

Affordable Housing Funding

N/A (Text)

Foundation Measurement

(Text)

Walls

(Text)

Roof

(Text)

Change In Use

Yes  No

Grading Permit No

(Text)

Senior Housing

Yes  No

MIHU Outside Downtown Columbia

Yes  No

Additional Description Info

Expiration Date

5/14/2025 (Text)

MIHU Required Units

0 (Text)

(Number)

[check spelling](#)

GREEN INFORMATION

Goal Level

--Select-- (Text)

Actual Level

--Select-- (Text)

Leed Registration Number

(Text)

Date of Leed Certification

(Text)

STORM WATER MANAGEMENT

Green Roofs A1

Yes  No

Permeable Pavements A2

Yes  No

Reinforced Turf A3

Yes  No

Disconnection of Rooftop Runoff N1

(Number)

Sheetflow to Conservation Areas N3

Yes  No

Rainwater Harvesting M1

(Number)

Submerged Gravel Wetlands M2

(Number)

Landscape Infiltration

Dry Wells M5

(Number)

Micro Bioretention M6

(Number)

Rain Gardens M7

(Number)

Swales M8

(Number)

PSWM Certification Received in CID on

(Text)

Submit

Cancel



Bureau of Environmental Health  
8930 Stanford Blvd | Columbia, MD 21045  
410.313.2640 - Voice/Relay  
410.313.2648 - Fax  
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

---

DATE: November 15, 2024

TO: Mark Doyle (Applicant), Via E-mail: [mark@oldtimecontractors.com](mailto:mark@oldtimecontractors.com)

RE: **Building Permit # B24004314**  
**757 Weller Drive**  
**Mount Airy, MD 21771**

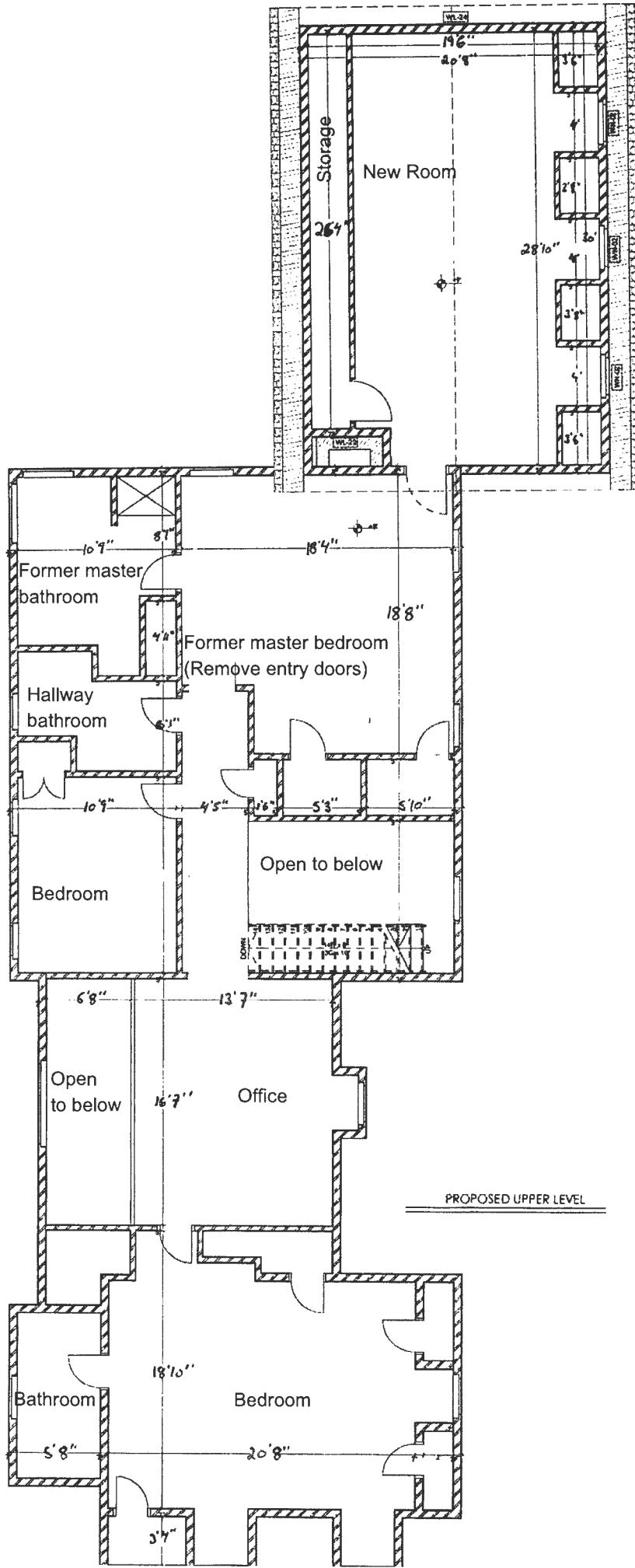
To Whom it May Concern:

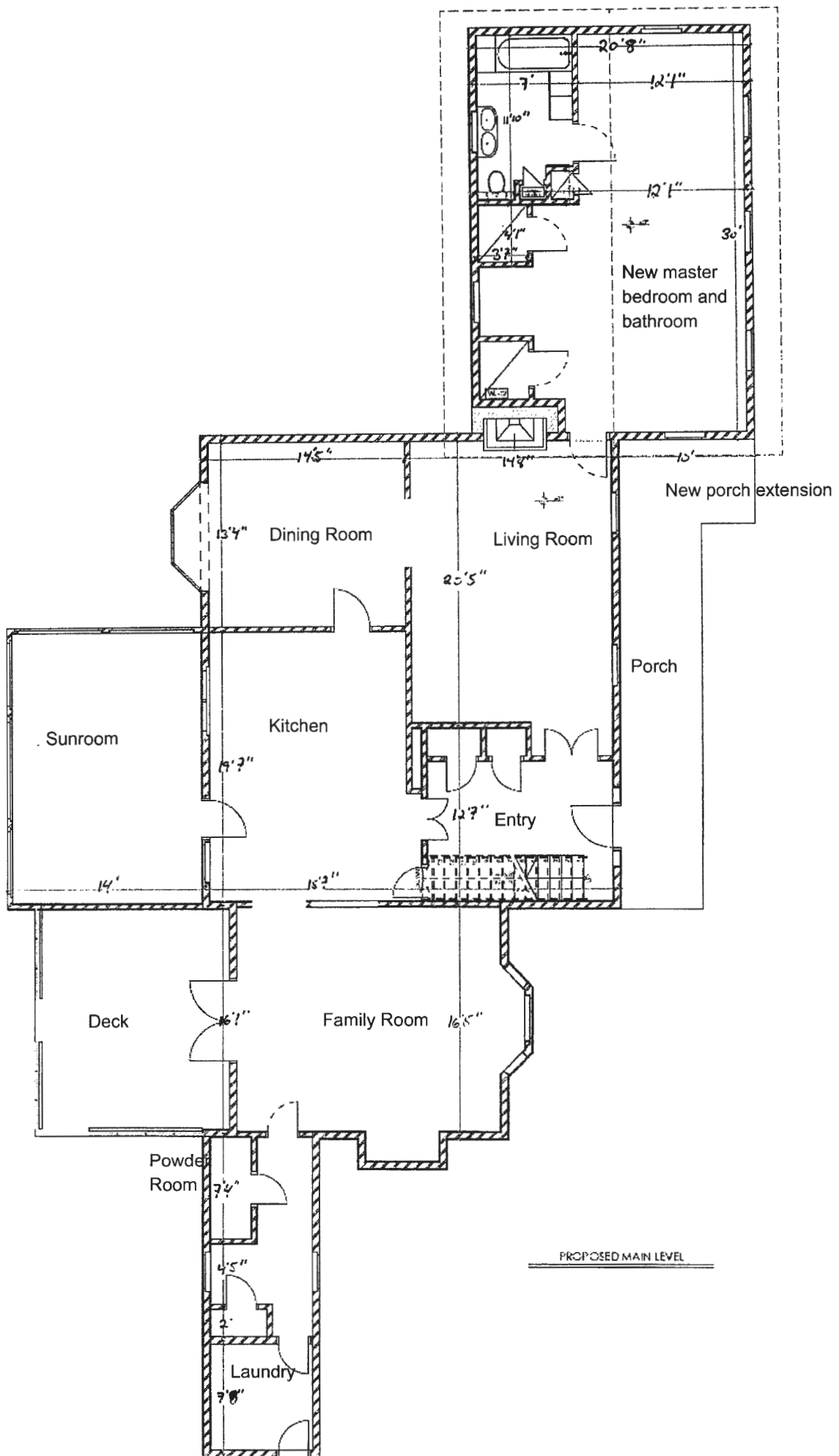
Our department has reviewed your building permit B24004314 and based on your proposal, your septic system must be upgraded. Our records indicate that you currently have 3 bedrooms, and your proposal shows an additional bedroom to be added to your addition. With this addition your current tank (1000-gallon tank) cannot support your proposal. We are recommending you upgrade your tank to support your proposal. The Howard County Health Department is recommending a 2000-gallon tank just in case you decide to complete any additional upgrades in the future. Please make sure the number of bedrooms you are proposing is correct. Because at this time your existing trenches can support 4 bedrooms and if there are any additional bedrooms you will have to increase the length of the trenches you have to support the number of bedrooms.

To get started, you will need to submit a revised Onsite Sewage Disposal System certification plan showing the new location of your new septic tank. After the upgrade of the new tank has been completed, your building application proposal will be up to current standards and will allow us to give approval for your building permit application. Please note your new tank must be installed prior to building permit approval. During this process your well will be evaluated also to make sure it is up to code. If the well is not up to code it must be addressed prior to building permit approval. Once you submit an Onsite Sewage Disposal System Certification plan along with an upgrade application. The homeowner will be responsible for hiring an engineer to create an Onsite Sewage Disposal System Certification plan and a septic contractor to complete the upgrade.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above email address or by telephone at (410) 313-2775.

Respectfully,  
Dana Bernard, REHS/RS  
Environmental Specialist II, Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)







B24004314 STATUS: No Access LOCATION: > 757 WELLER D... CONTACT: > MARK DOYLE WORKFLOW: > 9 total Task

SFD/Construct 2-... MOUNT AIRY, ... ●...

## B24004314


Menu Help

Showing 1-10 of 16

<input type="checkbox"/> Task	Status	Status Date	Comments
<input type="checkbox"/> <a href="#">Health Dept</a>	Review In Process	02/13/2025	SM
<input type="checkbox"/> <a href="#">Health Dept</a>	Revision	11/15/2024	Tank Size concerns and Additional Bedrooms Concerns. Letter ...
<input type="checkbox"/> <a href="#">Health Dept</a>	Review In Process	01/21/2025	
<input type="checkbox"/> <a href="#">Building Review</a>	Approved	01/16/2025	2021 IRC 2021 MD Alternative energy w/ Option #16 Ductless...
<input type="checkbox"/> <a href="#">Building Review</a>	Revision	01/16/2025	REVISION #1 UPLOADED TO PDOX
<input type="checkbox"/> <a href="#">Health Dept</a>	Revision	01/08/2025	
<input type="checkbox"/> <a href="#">Health Dept</a>	Revision	01/08/2025	Percolation certification needed to show the location of th...
<input type="checkbox"/> <a href="#">Building Review</a>	On Hold-See Comments	11/20/2024	1.) Please specify which Energy Code will used, 2021 IECC o...
<input type="checkbox"/> <a href="#">Dev Engineering</a>	Approved	11/15/2024	
<input type="checkbox"/> <a href="#">Zoning</a>	Approved	11/15/2024	SFD master bedroom addition

Page 1 of 2

  
 B24004314

B24004314  STATUS: No Access LOCATION: > 757 WELLER D... CONTACT: > MARK DOYLE WORKFLOW: > 9 total Task

SFD/Construct 2-... MOUNT AIRY, ... ●...

### B24004314

Menu  Help

Showing 11-16 of 16

<input type="checkbox"/> Task	Status	Status Date	Comments
<input type="checkbox"/> <a href="#">Health Dept</a>	Review In Process	11/15/2024	SM
<input type="checkbox"/> <a href="#">Health Dept</a>	Pending	11/15/2024	PLANS UPLOADED TO PDOX
<input type="checkbox"/> <a href="#">Building Review</a>	Pending Review	11/15/2024	
<input type="checkbox"/> <a href="#">Application Acceptance</a>	Accepted	11/15/2024	PLANS UPLOADED TO PDOX
<input type="checkbox"/> <a href="#">Application Acceptance</a>	Pending Plan Submittal	11/14/2024	You will receive an invitation email from the Howard County...
<input type="checkbox"/> <a href="#">Application Acceptance</a>	Pending	11/12/2024	Updated via Script

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B24004314

### ABBREVIATIONS & SYMBOLS

Ø DIA	DIAMETER	LF	LINEAR FOOT
AB	ANCHOR BOLT	LL	LIVE LOAD
ADD	ADDITIONAL	LH	LONG LEG HORIZONTAL
AGG	AGGREGATE	LV	LONG LEG VERTICAL
ANC	ANCHOR ANCHORAGE	LOC	LOCATION
BLDG	BUILDING	LONGIT	LONGITUDINAL
BM	BEAM	LW	LONG WAY
BOT	BOTTOM	MATL	MATERIAL
BP	BASE PLATE	MAX	MAXIMUM
BU	BULB TYP	MFR	MANUFACTURE, MANUFACTURER
BW	BOTH WAYS	MIN	MINIMUM
CANT	CANTILEVER	MISC	MISCELLANEOUS
CC	CENTER TO CENTER	MTL	METAL
CP	CAST IN PLACE	NO(Y)	NUMBER
CJ	CONTROL JOINT	NOM	NOMINAL
CJP	COMPLETE JOINT PENETRATION	NS	NEAR SIDE
CL	CENTER LINE	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
COL	COLUMN	OH	OVER HEAD, OPPOSITE HAND
CONC	CONCRETE	OPP	OPPOSITE
CONN	CONNECTION	OPNG	OPENING
CONT	CONTINUOUS	PCF	POUNDS PER CUBIC FOOT
COORD	COORDINATE COORDINATION	PERI	PENETRATION
CTR	CENTER	PERP	PERPENDICULAR
D	DEEP, DEPTH	PL	PLATE
DBL	DOUBLE	PLF	POUNDS PER SQUARE FOOT
DET	DETAIL	PSI	POUNDS PER SQUARE INCH
DIAPHR	DIAPHRAGM	PT	POINT, POST-TENSION
DM	DIMENSION	R	RADIUS
DL	DEAD LOAD	REF	REFERENCE
DWG	DRAWING	REIN	REINFORCEMENT, REINFORCE
EA	EACH	REV	REVERSE, REVISION
EF	EACH FACE	RH	RIGHT HAND
EL	ELEVATION	SC	SLIP CRITICAL
ES	EACH SIDE	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EW	EACH WAY	SHT	SHEET
EXIST	EXISTING	SM	SIMILAR
EXP	EXPANSION	SOG	SLAB ON GRADE
EXPT	EXPANSION JOINT	SPEC	SPECIFICATION
FDN	FOUNDATION	SS	STAINLESS STEEL
FF	FACE	SZ	SHORT SLOTTED(HOLES)
FIN	FINISH	STD	STANDARD
FT	FEET FOOT	STL	STEEL
FTG	FOOTING	STRUCT	STRUCTURAL, STRUCTURE
GA	GAGE GAUGE	SYM	SYMMETRICAL
GALV	GALVANIZED	T	TOP
GEN	GENERAL	T&B	TOP/BOTTOM
GL	GRID LINE	TEMP	TEMPERATURE, TEMPORARY
HORIZ	HORIZONTAL	THK	THICK, THICKNESS
HS	HIGH STRENGTH	THRU	THROUGH
HSS	HOLLOW STEEL SHAPE	TYP	TYPICAL
HIGH	HEIGHT	UNO	UNLESS NOTED OTHERWISE
IN"	INCH	VERT.	VERTICAL
JT	JOINT	W	WIDTH
K	KIPS (1000 LB.)	WID	WIDTH
KSF	KIPS PER SQUARE FOOT	WP	WORKING POINT
LB	POUND		
OL	DEVELOPMENT LENGTH		

**David Wawro**  
**757 Weller Dr Mt Airy, MD**  
**21771**

#### DRAWING INDEX

SHEET NUMBER	SHEET NAME
C101	COVER SHEET
A101	EXISTING ARCHITECTURAL FLOOR PLAN
A102	PROPOSED ARCHITECTURAL FLOOR PLAN
A103	ELEVATIONS
A104	ARCHITECTURAL SCHEDULE
A105	ARCHITECTURAL GENERAL NOTES
S101	PROPOSED STRUCTURAL FLOOR PLAN
S102	PROPOSED STRUCTURAL FLOOR PLAN
S103	PROPOSED STRUCTURAL FLOOR PLAN AND DETAILS
S104	PROPOSED STRUCTURAL FLOOR PLAN AND DETAILS
S105	PROPOSED STRUCTURAL DETAILS
S106	PROPOSED STRUCTURAL DETAILS
S107	GENERAL STRUCTURAL NOTES
M101	MECHANICAL FLOOR PLAN
P101	PLUMBING FLOOR PLAN
P102	PLUMBING GENERAL NOTE

**GENERAL NOTES**  
 SCOPE: TO ADD A 3 STORES ADDITION

2018 NBSIRC referenced Codes include:

- 2018 International Residential Code
- 2018 International Mechanical Code
- 2018 International Plumbing Code
- 2018 International Existing Building Code

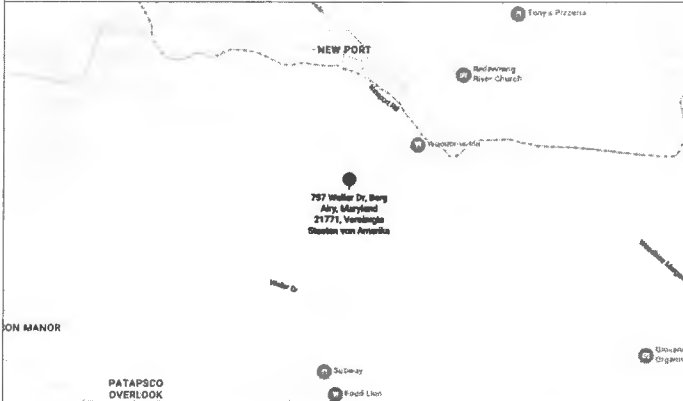
**GOVERNING CODE:**

- Residential Code 2018 of Maryland §C 2018
- Existing Building Code 2018 of Maryland §C 2018
- Plumbing Code 2018 of Maryland §C 2018
- Mechanical Code 2018 of Maryland §C 2018
- Energy Conservation Code 2018 of Maryland §C 2018
- Property Maintenance Code 2018 of Maryland §C 2018
- National Electrical Code 2017 of Maryland NFPA 70, 2017
- Building Code Requirements for Structural Concrete of Maryland ACI 318 2014

**GENERAL CONSTRUCTION NOTES**

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DO NOT SCALE DIMENSIONS. ANY DIMENSIONAL INFORMATION REQUIRED WHICH IS NOT INDICATED ON DRAWING DIMENSION SKETCHES SHALL BE OBTAINED FROM THE ARCHITECT.
- DIMENSIONS SHOWN ARE FINISH SURFACE OF EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS (I.E. EXISTING MATERIALS, FINISH MEMBER SIZES AND LOCATIONS, METHODS OF CONSTRUCTION), IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES.
- CONTRACTOR SHALL MAINTAIN THE EXISTING CONSTRUCTION SITE IN A SECURE, CLEAN AND SAFE MANNER.
- PROTECTOR: CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
- REPAIR ALL EXISTING CONSTRUCTION AFFECTED BY NEW WORK TO ITS ORIGINAL CONDITION.
- THESE DESIGNS MUST BE APPROVED BY THE COUNTY AND BUILDING PERMITS DEPT. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION WITHOUT PERMITS AUTHORIZED BY THE COUNTY.

### VICINITY PLAN



Standard Notes:  
 1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS (I.E. EXISTING MATERIALS, FINISH MEMBER SIZES AND LOCATIONS, METHODS OF CONSTRUCTION), IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.  
 2. CONTRACTOR SHALL MAINTAIN THE EXISTING CONSTRUCTION SITE IN A SECURE, CLEAN AND SAFE MANNER.  
 3. PROTECTOR: CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.  
 4. REPAIR ALL EXISTING CONSTRUCTION AFFECTED BY NEW WORK TO ITS ORIGINAL CONDITION.  
 5. THESE DESIGNS MUST BE APPROVED BY THE COUNTY AND BUILDING PERMITS DEPT. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION WITHOUT PERMITS AUTHORIZED BY THE COUNTY.

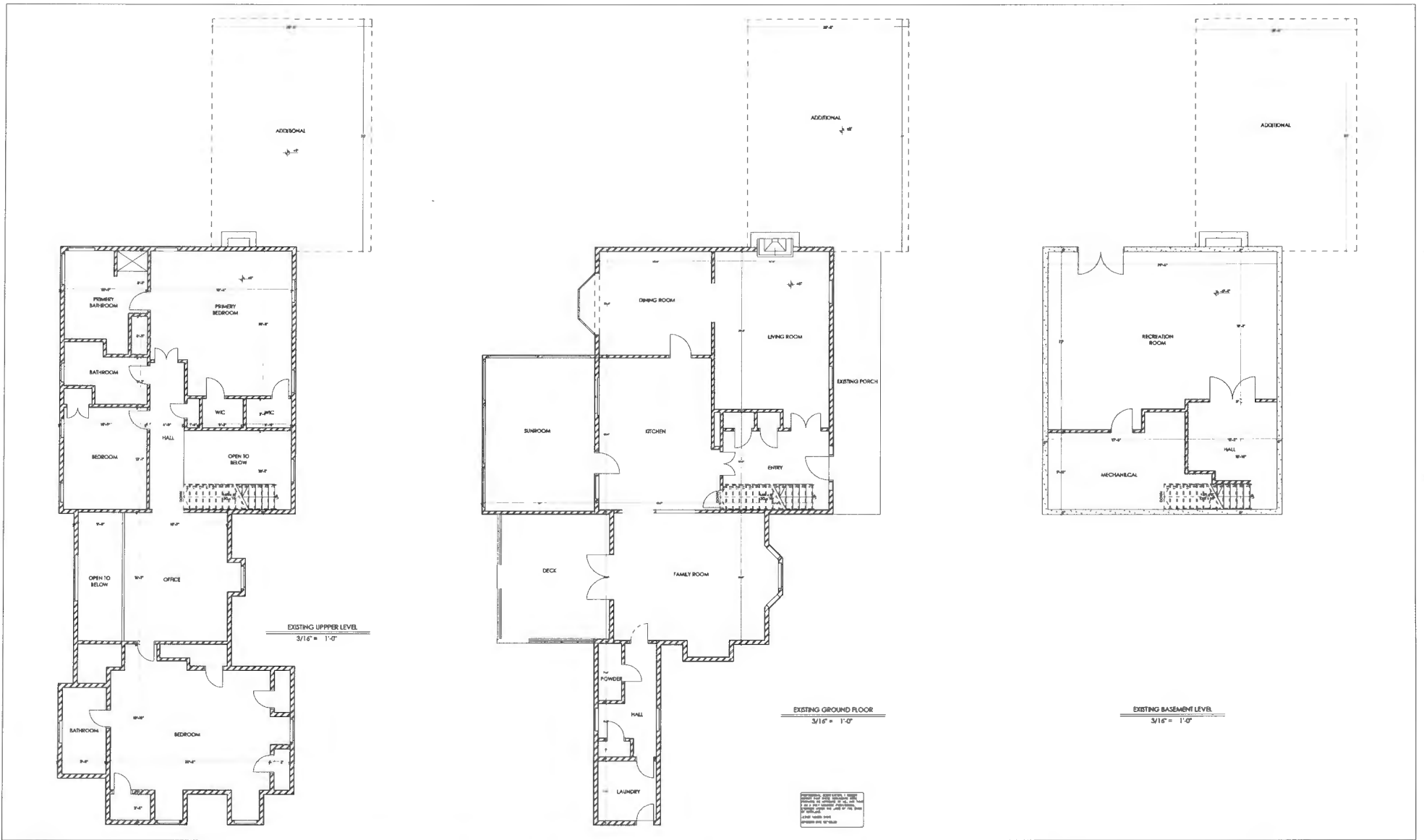
**Empower Infrastructure LLC**  
 1140 3rd St. NE, Second Floor  
 Washington, DC 20002  
 USA  
 www.eidm.com

Digitally signed by  
 Arzhang Zamani, PhD  
 PE  
 Date: 2024.04.10 16:48:26 -04'00'

EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

REVISIONS	Owner
	David Wawro
	Project Address:
	757 Weller Dr Mt Airy, MD 21771

Drawn By: <b>M.SOORANI</b>	Dep. Title
Designed By: <b>A.ZAMANI</b>	<b>COVER SHEET</b>
Checked By: <b>A.ZAMANI</b>	
Scale:	Project No. <b>MD-20703</b>
	Dep. No. <b>C101</b>
	Rev. No.



Empower Infrastructure LLC  
 1140 3rd St NE, Second Floor  
 Washington, DC 20002  
 USA  
 www.empowerv.com

Digitally signed by Arzhang Zamani, PhD, PE  
 Date: 2024.04.10 16:48:41 -04'00'

EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

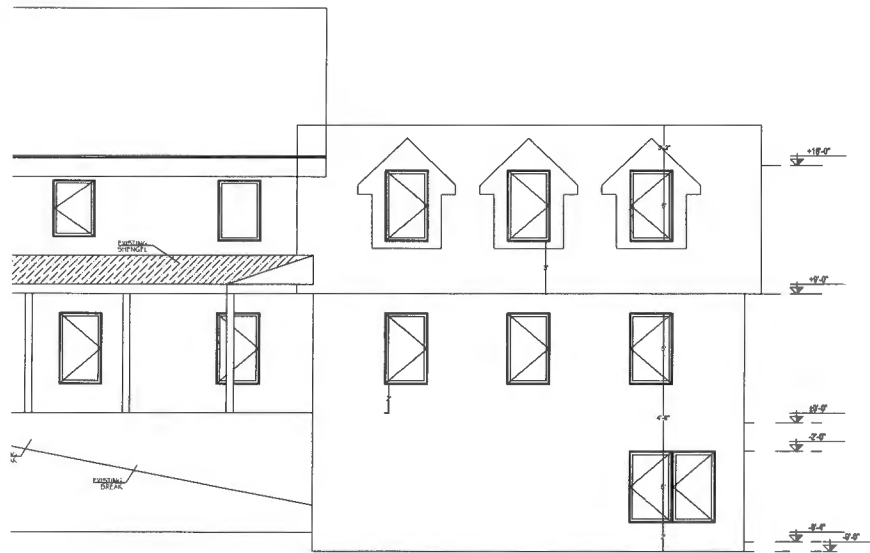
NO.	REVISIONS

Owner **David Wawro**  
 Project Address:  
**757 Weller Dr Mt Airy, MD 21771**

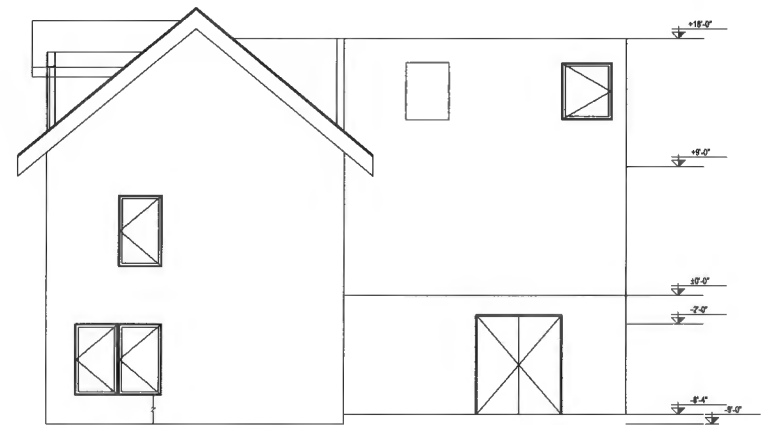
Drawn By: **M.SOORANI**  
 Designed By: **M.SOORANI**  
 Checked By: **A.ZAMANI**  
 Scale: **3/16" = 1'-0"**

Dep. Title  
**EXISTING ARCHITECTURAL FLOOR PLAN**  
 Project No. **MD-20703**  
 Dep. No. **A101** Rev. No.







East Elevation  
1/4" = 1'-0"



North Elevation  
1/4" = 1'-0"

EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

 <p><b>Empower Infrastructure LLC</b> 1140 3rd St. NE, Second Floor Washington, DC 20002 USA www.stimv.com</p>	 <p>Digitally signed by Arzhang Zamani, PE Date: 2024.04.10 16:49:31 -04'00'</p>	<p>EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.</p>	<p>REVISIONS</p> <table border="1"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>																			<p>Owner: <b>David Wawro</b></p> <p>Project Address: <b>757 Weller Dr Mt Airy, MD 21771</b></p>	<p>Drawn By: <b>M.SOORANI</b></p> <p>Designed By: <b>M.SOORANI</b></p> <p>Checked By: <b>A.ZAMANI</b></p> <p>Scale: <b>1/4" = 1'-0"</b></p>	<p>Dep. Title: <b>ELEVATIONS</b></p> <p>Project No.: <b>MD-20703</b></p> <p>Dep. No.: <b>A103</b></p> <p>Rev. No.: <b> </b></p>
<p>Empower Infrastructure LLC</p>	<p> </p>	<p> </p>	<p> </p>	<p> </p>	<p> </p>																			



**GENERAL NOTES**

**GENERAL**

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO PRICING THE PROJECT. ADDITIONAL COSTS WILL NOT BE ALLOWED FOR EXISTING CONDITIONS WHICH ARE VISIBLY AND/OR CAN BE REASONABLY ANTICIPATED.
2. G.C. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, COATING CONDITIONS, ETC. PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND FINISH-OUT OF THE CONSTRUCTION. G.C. SHALL CONTACT THE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES OCCUR.
3. THESE DRAWINGS ARE PREPARED TO SCALE. HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALE BUT THE PLANS, SECTIONS OR DETAILS. IF THERE IS ANY QUESTION ABOUT DETAILS OR DIMENSIONS, CONTACT THE ARCHITECT FOR INFORMATION.
4. ALL APPLICATIONS FOR PAYMENTS AND CHANGE ORDER REQUESTS MUST BE SUBMITTED USING CERTIFIED AIR DOCUMENTATION AND FORMS. ALL SUBMITTALS USING DOCUMENTATION OTHER THAN SPECIFIED ABOVE WILL NOT BE ACCEPTED FOR REVIEW BY ARCHITECT.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL BIDDERS AND BIDDING PARTICIPANTS IN THE CONSTRUCTION OF THIS PROJECT, SHALL HAVE A COMPLETE SET OF ALL CURRENT DRAWINGS AS DISTRIBUTED BY OWNER, ARCHITECT, OR GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL MAINTAIN A SET OF PERMITTED DRAWINGS AS OBTAINED FROM GOVERNMENT AUTHORITIES DURING PERMIT ACQUISITION ON SITE AT ALL TIMES FOR THE REFERENCE OF ALL PARTICIPANTS INVOLVED.
6. G.C. SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO, TEMPORARY AND PERMANENT BEAMS & LIFELINES, SHORING OF EXISTING CONSTRUCTION, AND FOR SAFETY PRECAUTIONS AND PROGRAMS AS THEY RELATE TO THE WORK OF THE PROJECT.
7. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND STANDARDS.
8. ALL ELEVATIONS ARE GIVEN RELATIVE TO E=4' 7" TO COORDINATE PFF WITH OIR.
9. ALL DIMENSIONS ARE TO STRUCTURE FACE OF BRICK & COLUMN GRID (SEE WALL TYPE SCHEDULES & DETAILS FOR FINISHES).
10. THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL REQUIRED PERMITS AND CERTIFICATES OF OCCUPANCY.
11. ITEMS TO BE SUPPORTED FROM TOP CHORD OF JUSTIFICATION OR ANY STRUCTURAL MEMBERS. DO NOT SUPPORT ITEMS FROM BOTTOM CHORD WITHOUT SPECIFIC APPROVAL FROM ARCHITECT (BMS). DO NOT ALTER ANY STRUCTURAL ELEMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
12. BRIDGE AND BRACE ALL EXCAVATIONS IN ACCORDANCE WITH CITY, STATE, & O.B.A. REQUIREMENTS.
13. IF CHANGES OCCUR THROUGHOUT ANY PHASE OF CONSTRUCTION, THE CONTRACTOR SHALL ISSUE, TO THE ARCHITECT, A SYSTEMATIC BREAKDOWN OF ALL SUBSEQUENT COSTS IN WRITING PRIOR TO THE ISSUANCE OF A REQUEST OF CHANGE OR ORDER APPROVAL.
14. ALL BRIDGE IS SHOWN FOR REFERENCE ONLY. BRIDGE SHALL BE PERMITTED UNDER REPAIR COVER BY TENANT.
15. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH SHOP DRAWINGS PRIOR TO ANY FABRICATION OR PLACEMENT OF MATERIALS. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE G.C. PRIOR TO SUBMISSION TO THE ARCHITECT AND SHALL BEAR THE CONTRACTOR'S SEAL AND SIGNATURE. DRAWINGS NOT BE RETURNED WITHOUT REVIEW. THE REVIEW OF SHOP DRAWINGS BY THE ARCHITECT, ENGINEER, OR FOR SPECIAL COMPLIANCE WITH THE OIR CODES AND SPECIFICATIONS DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT NOR DOES IT RELIEVE THE CONTRACTOR OF THE DUTY OF SPECIFICATION. THE CONTRACTOR SHALL ALLOW TWO WEEKS FOR REVIEW OF THE DRAWINGS BY THE ARCHITECT / ENGINEER.
16. G.C. IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM TO COMPLETE THEIR INSTALLATION. G.C. IS RESPONSIBLE FOR INSURING PROPER CONSTRUCTION OF UTILITY COMPANY TRENCHES.
17. FOR PROJECTS WITH PHASED CONSTRUCTION, THE G.C. SHALL PROVIDE TEMPORARY BARRICADE AS PER LOCAL REQUIREMENTS.

**DEMOLITION**

1. THE GENERAL CONTRACTOR SHALL NOTIFY OWNER ARCHITECT IMMEDIATELY IF THE SPACE IS NOT ABSENT FREE.
2. G.C. TO PROVIDE ALL DEMOLITION AS REQUIRED FOR PROPOSED NEW WORK. G.C. IS TO VISIT THE SITE PRIOR TO SUBMITTING A BID IN ORDER TO DETERMINE IF ANY ADDITIONAL DEMOLITION COSTS ARE NEEDED THAT ARE NOT INDICATED ON THE DRAWINGS.
3. GENERAL CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEMOLISHED MATERIALS OFF SITE OR AS DIRECTED BY OWNER / ARCHITECT.
4. ALL INFORMATION RELATIVE TO EXISTING CONDITIONS HAS BEEN PROVIDED BY THE OWNER. IF EACH CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND AS WORK PROGRESSES ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING FURTHER.
5. THE REMOVAL OF ANY EQUIPMENT, PIPING, ETC. WHICH PENETRATES THROUGH THE ROOF SHALL BE DONE IN COORDINATION WITH THE OWNER/ARCHITECT AS NOT TO VOID EXISTING ROOFING WARRANTIES.
6. G.C. SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE KEEPING OF ALL ITEMS TO BE REUSED.
7. G.C. SHALL DEMONISH A REMOVE EXISTING WALLS & MILLWORK AS REQUIRED FOR NEW CONSTRUCTION. G.C. SHALL TERMINATE ALL MECHANICAL, ELECTRICAL, AND PLUMBING AS REQUIRED FOR NEW CONSTRUCTION. REMOVE PLUMBING (TRENCH AND CAP OFF) UNLESS ELSEWHERE NOTED. CAPS TO BE CAPPED OFF ABOVE CEILING. COORDINATE WITH PLUMBING PLANS.
8. G.C. TO COORDINATE REMOVAL OF ALL EXISTING FINISHES TO BE REMOVED FOR NEW FINISHES.
9. CONTRACTOR TO DEMOLISH ALL EXISTING CONDITIONS. PROVIDE OWNER ARCHITECT AND CONSTRUCTION MANAGER WITH (1) SET OF EXISTING CONDITIONS PICTURES. CONTRACTOR TO MAINTAIN A SECURE BUILDING AFTER WORKS AND IS RESPONSIBLE FOR ANY DAMAGE OR LOSS OCCURRED THEREIN.
10. G.C. SHALL NOT CUT AND PATCHWORK WALLS MEMBER THAT WOULD BE HIDDEN IN SUBMITTALS, VISUAL EVIDENCE OF CUT AND PATCHWORK. USE MATERIALS FOR CUTTING AND PATCHING THAT ARE IDENTICAL TO EXISTING MATERIALS. PATCHES FLOOR THROUGHOUT TO CREATE A SMOOTH LEVEL, SURFACE READY FOR FINISH FLOOR COVERING.

**ARCHITECTURAL**

1. G.C. TO PROVIDE ALL BRIDGING NECESSARY FOR ALL EQUIPMENT, RADIATORS, ETC. AS SHOWN ON DRAWINGS - ALL WOOD BRIDGING, WALLS, ETC. MUST BE FIRE RETARDANT TREATED.
2. GLAZING IN ENTRANCE DOORS AND ADJACENT MUST BE TYPED.
3. TOILETS MUST BE APPROPRIATELY IDENTIFIED WITH A "TOILET" SIGN (A.C. TO PROVIDE WALL MOUNTED SIGNAGE TO COMPLY WITH ADA).
4. G.C. TO PROVIDE ELECTRICAL ROOMS WITH LABELING ACCORDING TO THE # FC WITH MINIMUM CHARACTER SIZE OF 4".
5. G.C. TO POST PHYSICAL ADDRESS IN PLAIN SIGHT AS PER LOCAL REQUIREMENTS WITH MINIMUM HEIGHT OF 4".
6. CONTRACTOR TO COORDINATE ALL REQUIRED MILLWORK BLOCKING WITH MILLWORK MANUFACTURER MILLWORK DRAWINGS.
7. CONTRACTOR TO PROVIDE CONTROL JOINTS IN ANY DRYWALL SURFACE THAT EXCEEDS 20 LINEAR FEET IN EITHER DIRECTION. CONTRACTOR TO SUBMIT PROPOSED LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION.
8. SEE SHEET C1.0 FOR ACCESSIBLE REQUIREMENTS, DETAILS & MORE INFO.
9. ALL GIB TO BE TYPE X, PROVIDE MOISTURE RESISTANT GIBS & EPOXY PAINT ON WALLS & WET LOCATIONS (I.E. RESTROOM AREAS, KITCHEN AREAS, ETC).
10. FOR WALLS WITH METAL STUD FRAMING, PROVIDE BRIDGING AT 48" O.C. AND PROVIDE TWO (2) 1/2" GALV. METAL STUDS AT ALL INTERIOR DOORS.
11. ALL EXPOSED INSULATION TO BE FOR-FACED. PAPER-FACED INSULATION CAN ONLY BE USED IF CONCEALED.
12. CEILING TILE GIBS SHALL BE CENTERED IN ROOMS UNLESS OTHERWISE NOTED. IF MINIMUM TILE SHALL BE USED AT ALL AREAS WHERE CEILING GRID TERMINATES IF LESS THAN 4". G.C. SHALL CUT A 2x4 TIE TO THE REQUIRED LENGTH.
13. ALL FIRE RATED PARTITIONS TO BE LABELED (REGLASSERS WITH RATING AT 48" O.C. MIN ABOVE CEILING AS REQUIRED BY CODE).
14. ALL MASONRY SHALL BE Laid IN PLUMBING BOND UNLESS OTHERWISE NOTED WITH FULL HEAD AND BED JOINTS. MAINTAIN A MINIMUM 1" CLEAR SPACE BEHIND MASONRY. PROVIDE FLASHING AND WEEP HOLES AT 32" O.C. AT ALL INTERSECTIONS TO DRAINAGE FLOW OF WATER. PROVIDE MORTAR JET AT ALL FLASHING LOCATIONS. TURN UP AND SEAL BACK OF FLASHING BEHIND BUILDING WRAP. SECURE MASONRY TO STUD STRUCTURE WITH MASONRY ANCHORS AT 48" O.C. HORIZONTAL AND 16" O.C. VERTICAL. (SEE SCHEDULES, DETAILS & NOTES FOR MORE).

**ENGINEERING**

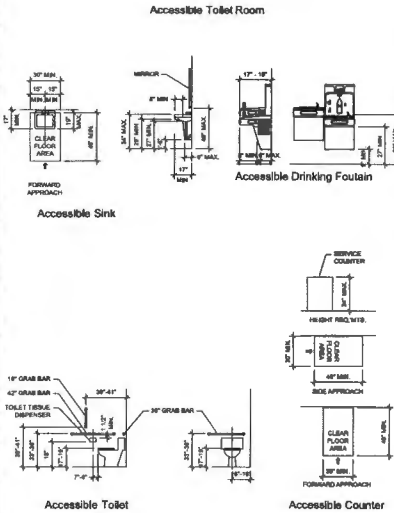
1. CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, AND PLUMBING INFORMATION WITH THE ARCHITECTURAL DRAWINGS IN THEIR ENTIRETY, TO ENSURE THE PROPER AND DESIRED INSTALLATION OF ALL SYSTEMS SPECIFIED WITHIN THE CONSTRUCTION DOCUMENTS.
2. ALL EQUIPMENT OPERATIONAL HARDWARE AND LIGHTING (I.E. CONTROLS AND SWITCHES) MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
3. ALL PAINH OUT ELECTRICAL COVER PLATES SHALL BE STAINLESS STEEL W/ GRAY SWITCHES AND OUTLETS.

**FIRE PROTECTION**

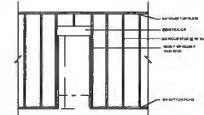
1. FOR PROJECTS THAT ARE TO RECEIVE AN AUTOMATIC SPOKELER SYSTEM, THE G.C. SHALL REQUIRE A COMPLETE SET OF CONSTRUCTION DRAWINGS AND COORDINATE THE LOCATION OF SPOKELERS WITH THE WORK OF OTHER TRADES. SPOKELER HEADS SHALL BE SPACED BY ACCORDANCE WITH THE MANUFACTURER'S APPROVAL. (SEE PLAN) FLAME SHALL REMAIN THE PHYSICAL CALCULATION BY THE CITY CONNECTION MEMBER. INDICATE ON DRAWINGS ALL UNDERGROUND PIPE AND FITTINGS BOTH NEW AND EXISTING. SIGNALS HEAD SPOKELER SHALL NOT EXCEED 225 SF PER HEAD FOR 1ST HAZARD OCCUPANCIES, 150 SF PER HEAD FOR ORDINARY HAZARD OCCUPANCIES AND 100 SF PER HEAD FOR QUICK RESPONSE EXTENDED COVERING. SIGNALS HEAD SPOKELER SHALL BE 10' TO 12' TO HIDE MINIMUM ALL ORDINARY HAZARD AREAS SHALL BE BASED UPON GROUP (AND SHALL PROVIDE A DESIGN DENSITY OF 15/100 + 25% HOSE MINIMUM ALL FIRE PROTECTION / SPOKELER WORK SHALL BE IN STRICT CONFORMANCE WITH OIRM AND NPPA CODE REQUIREMENTS.
2. PLANS FOR SPOKELER SYSTEM AND FIRE ALARM SYSTEM WILL NEED TO BE SUBMITTED FOR REVIEW BEFORE CONSTRUCTION.
3. HOSE BOX TO BE INSTALLED BY GENERAL CONTRACTOR. QUANTITIES AND LOCATIONS TO BE DETERMINED BY THE DEPARTMENT OFFICER.
4. FIRE EXTINGUISHERS TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. QUANTITIES AND LOCATIONS TO BE DETERMINED BY THE DEPARTMENT OFFICER.

**GENERAL DETAILS**

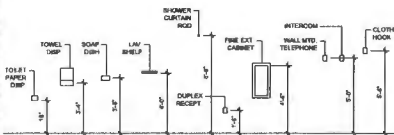
**A.D.A. REQUIREMENTS PER 2009 ANSI A117.1**



**NON-BEARING TYPICAL WALL DETAIL**



**MOUNTING HEIGHTS PER 2009 ANSI A117.1**



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**Arzhang Zamani, PhD, PE**  
Date: 2024.04.10  
16:50:20 -04'00'

EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

**REVISIONS**

No.	Description

**Owner**

**David Wawro**

**Project Address:**

**757 Weller Dr Mt Airy, MD 21271**

**Drawn By:**

**Designed By:**

**Checked By:**

**Scale:**

**Dep. Title**

**ARCHITECTURAL GENERAL NOTES**

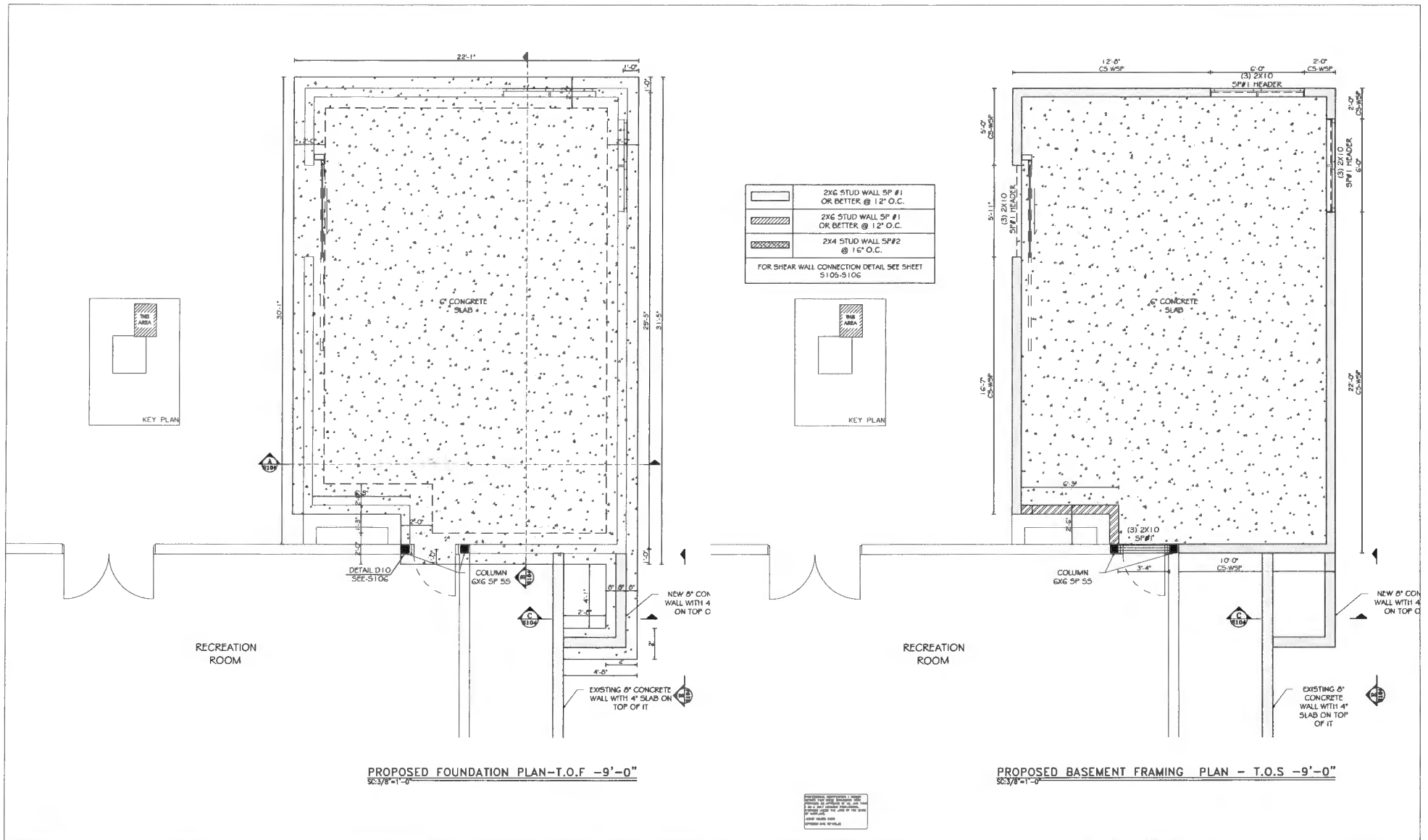
**Project No.**

**MD-20703**

**Dep. No.**

**A105**

**Rev. No.**



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EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

**REVISIONS**

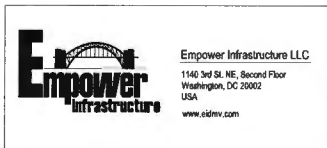
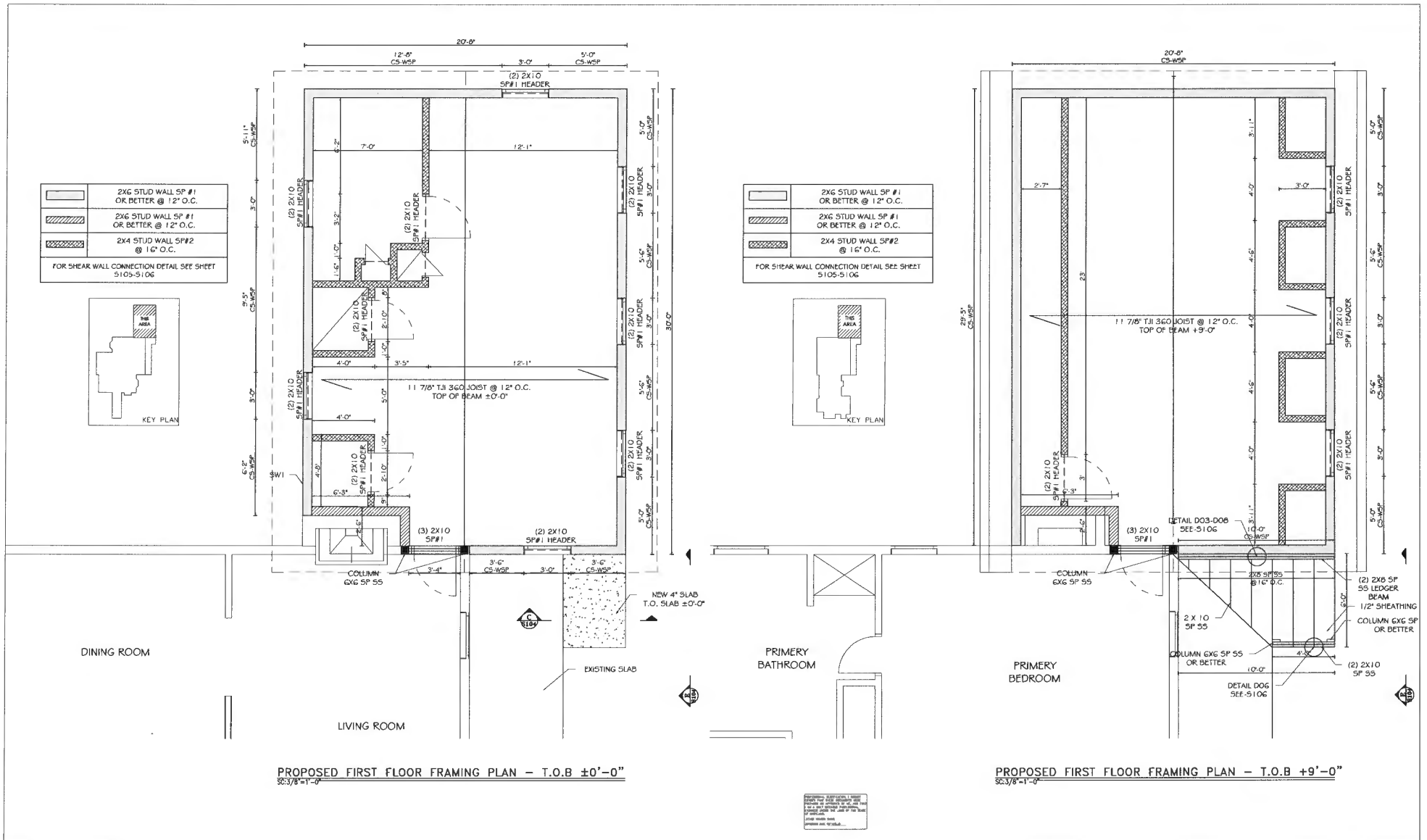
No.	Description

**Owner:** David Wawro  
Project Address: 757 Weller Dr Rt Alry, MD 21771

**Drawn By:** M. TAHERI  
**Designed By:** A. ZAMANI  
**Checked By:** A. ZAMANI  
**Scale:** 3/8"=1'-0"

**PROPOSED STRUCTURAL PLANS**

Project No.	MD-20703	Rev. No.	
Dwg. No.	S101		



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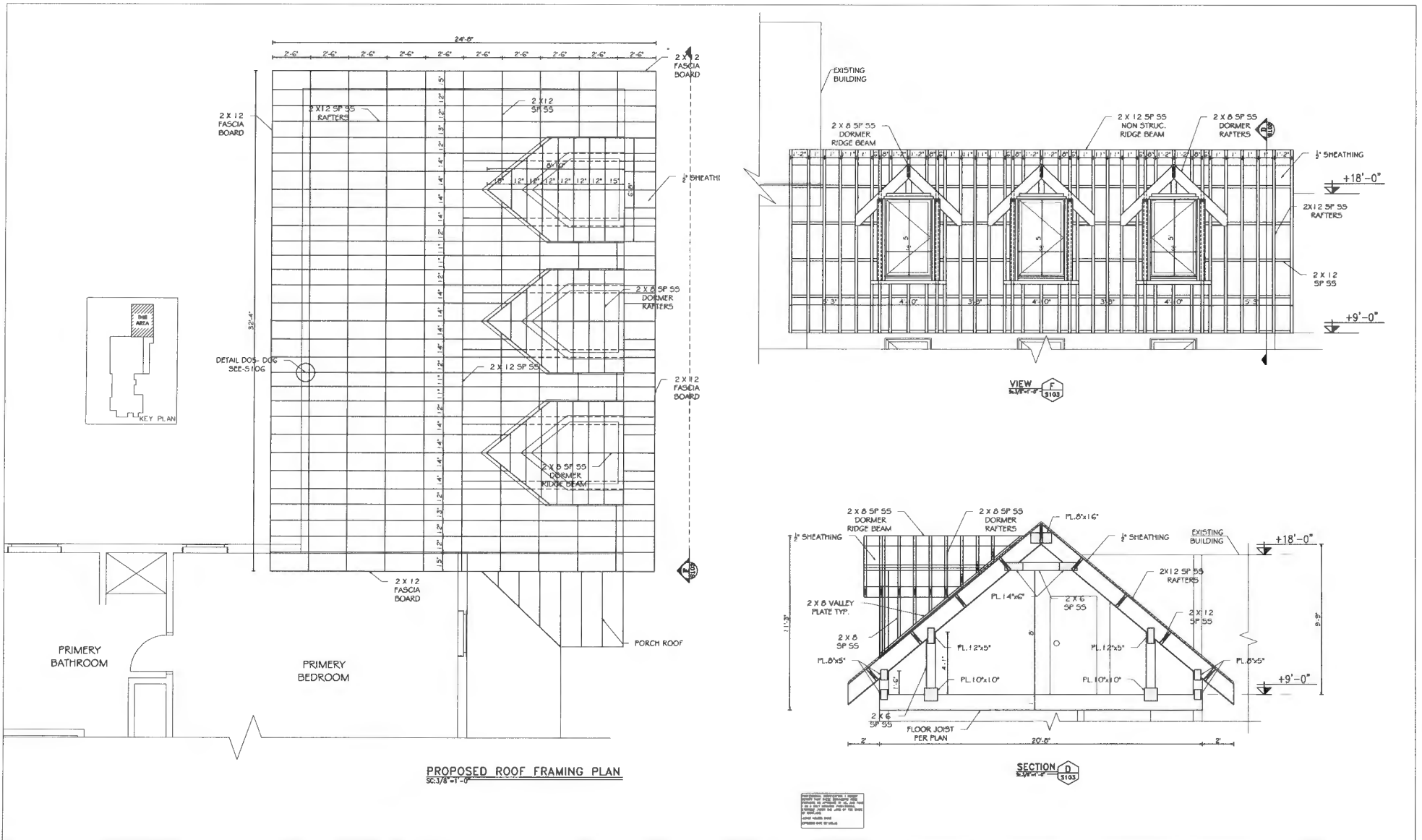
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NO.	REVISIONS

Owner: **David Wawro**  
 Project Address: **757 Weller Dr Mt Airy, MD 21771**

Drawn By: **M.TAMERI**  
 Designed By: **A.ZAMANI**  
 Checked By: **A.ZAMANI**  
 Scale: **3/8" = 1'-0"**

PROPOSED STRUCTURAL PLANS	
Project No. <b>MD-20703</b>	Rev. No.
Dep. No. <b>S102</b>	



**PROPOSED ROOF FRAMING PLAN**  
SC.3/8'-1'-0"

**SECTION D**  
SC.3/8'-2'-0"

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
2. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.  
3. REFER TO THE SPECIFICATIONS FOR THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.

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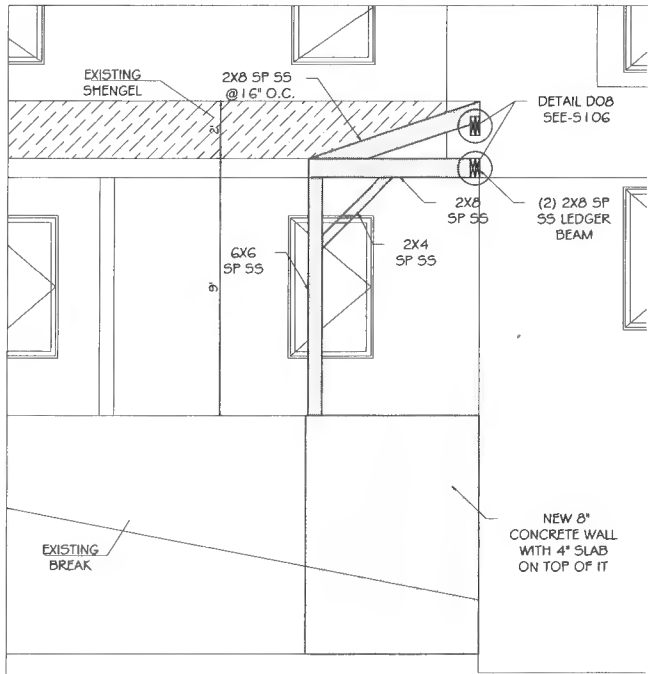
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NO.	REVISIONS

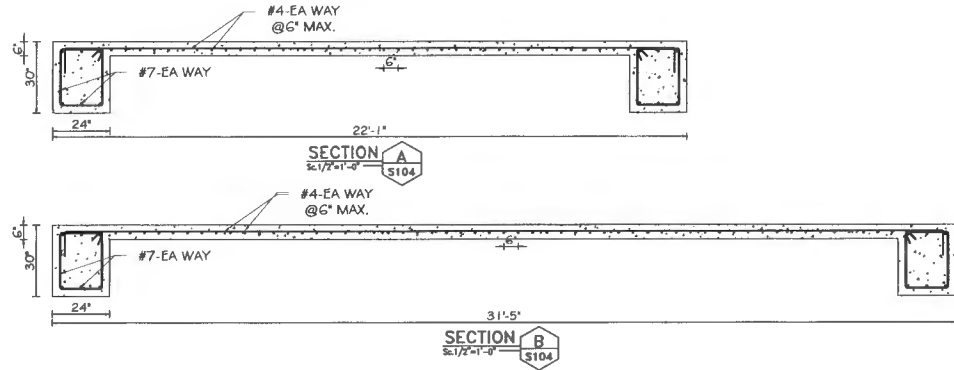
Owner: **David Wawro**  
Project Address: **757 Walter Dr Mt Airy, MD 21771**

Drawn By: **M.TAHERI**  
Designed By: **A.ZAMANI**  
Checked By: **A.ZAMANI**  
Scale: **3/8"=1'-0"**

Project Title: **PROPOSED STRUCTURAL PLANS AND DETAILS**  
Project No.: **MD-20703**  
Draw. No.: **S103**  
Rev. No.:



VIEW F  
Scale: 1/2"=1'-0"  
S104



No field cut holes in hatched zones; knockouts permitted.

Minimum distance from support A

Minimum distance from support B

1 1/2" holes may be cut anywhere in web outside of hatched zone if they are located 3" away horizontally (edge-to-edge) from a larger hole.

Do not cut holes larger than 1 1/2" in cantilever.

2 x D1

Closely grouped round holes are permitted if they (applies to all holes) group perimeter meets except knockouts) requirements for round or squares holes

2 x L2

Minimum

**End Support: Minimum distance from edge of hole to inside face of nearest end support**

Depth	TJI	Round Hole Size										Square or Rectangular Hole Size							
		1'-6"	2'-0"	3'-0"	3'-6"	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	1'-6"	2'-0"	3'-0"	4'-0"	5'-0"	6'-0"	
FROM SUPPORT A	11 7/8"	360	1'-6"	2'-0"	3'-0"	3'-6"	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	1'-6"	2'-0"	3'-0"	4'-0"	5'-0"	6'-0"
FROM SUPPORT B	11 7/8"	360	2'-0"	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"	10'-0"	11'-0"	1'-6"	2'-0"	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"

See General Notes for size limit of additional holes

See General Notes for size limit of additional holes

Minimum distance from Table A

24" max.

48" min.

48" min.

Minimum distance from Table A

No field cut holes in hatched zones; knockouts permitted.

Hole at center of simple span

No field cut holes in hatched zones; knockouts permitted.

**Maximum Hole at Mid-Span for TJI 360**

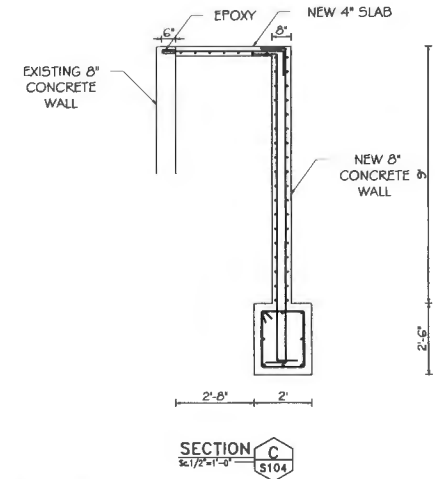
**Maximum Hole at Mid-Span for TJI 360 Joists**

Depth	TJI	Maximum Hole Size (height x length)
11 7/8"	360	6 7/8" x 24"

**General Notes**

- Simple span (if minimum) uniformly loaded joist only. Not for use in applications that have code mandated concentrated load requirements.
- 24" wide hole (maximum) located at center of span.
- Leave 3" of web (minimum) at top and bottom of hole.
- Two (2) additional holes may be added to the joist provided:
  - Additional holes are a minimum of 48" (edge to edge) from maximum hole.
  - Square or Rectangular: longest dimension is less than or equal to 0.75 x web depth.
  - Round: diameter is less than or equal to 0.75 x web depth.

**MAXIMUM ALLOWABLE HOLE IN TJI 360**  
NOT SCALED



SECTION C  
Scale: 1/2"=1'-0"  
S104



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EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

NO.	REVISIONS

Owner  
**David Wawro**

Project Address:  
**757 Walker Dr Mt Airy, MD 21771**

Drawn By: **M.TAHERI**

Designed By: **A.ZAMANI**

Checked By: **A.ZAMANI**

Scale: **AS SHOWN**

Proj. Title  
**PROPOSED STRUCTURAL PLANS AND DETAILS**

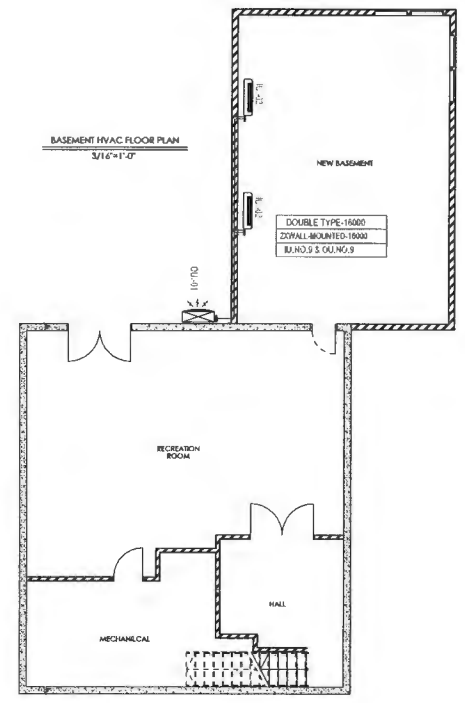
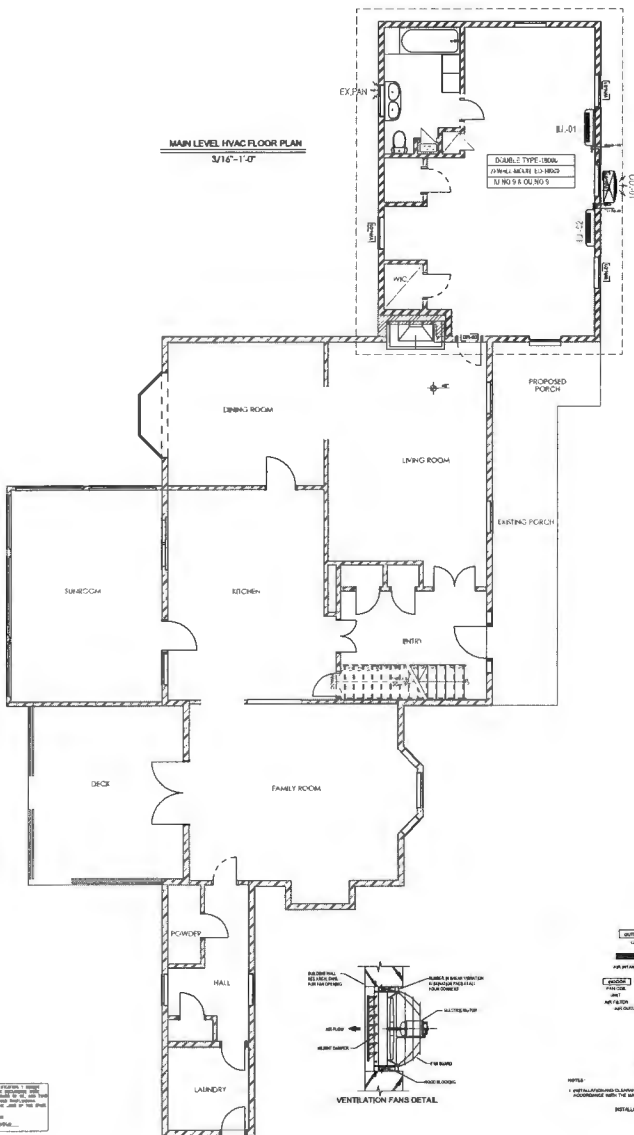
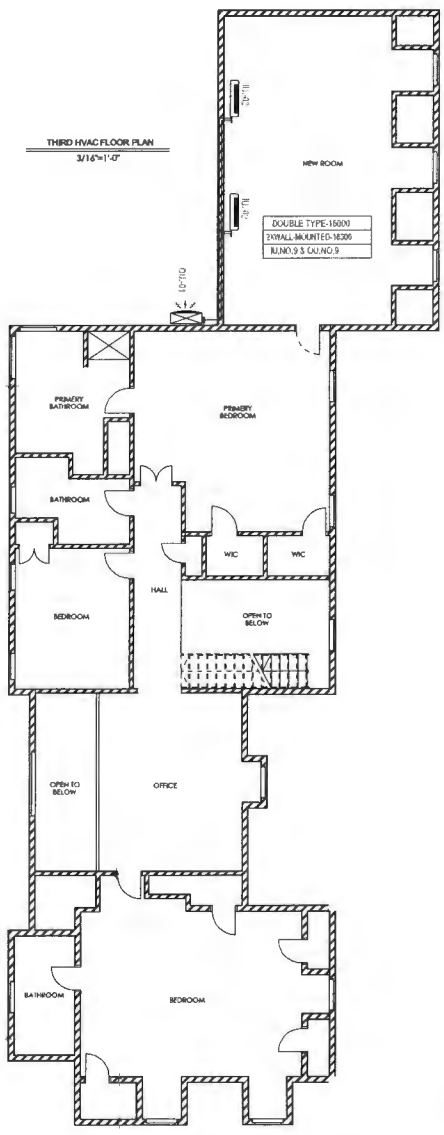
Project No.  
**MD-20703**

Rev. No.  
**S104**





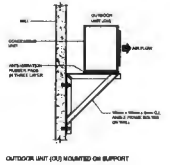
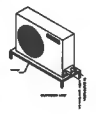
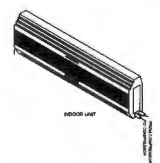
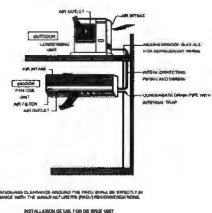
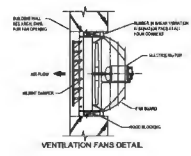




MULTI UNIT AIR CONDITIONING SYSTEM SPECIFICATION SCHEDULE

ITEM	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
101	WALL MOUNTED	1	1	1000	1000

ITEM	TYPE	LOGGING	CITY	CFM	Pressure	WGT	WGT
101-1	WALL MOUNTED	WALL	1	100	10	10	10



NOT TO SCALE  
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC)  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC)  
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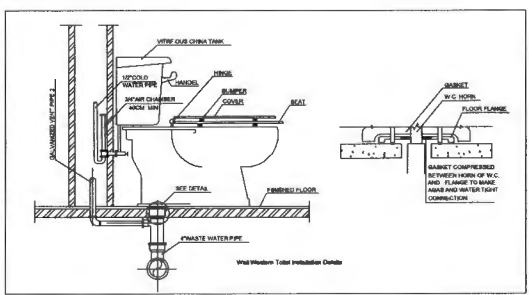
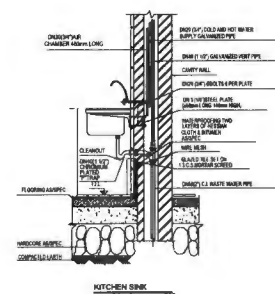
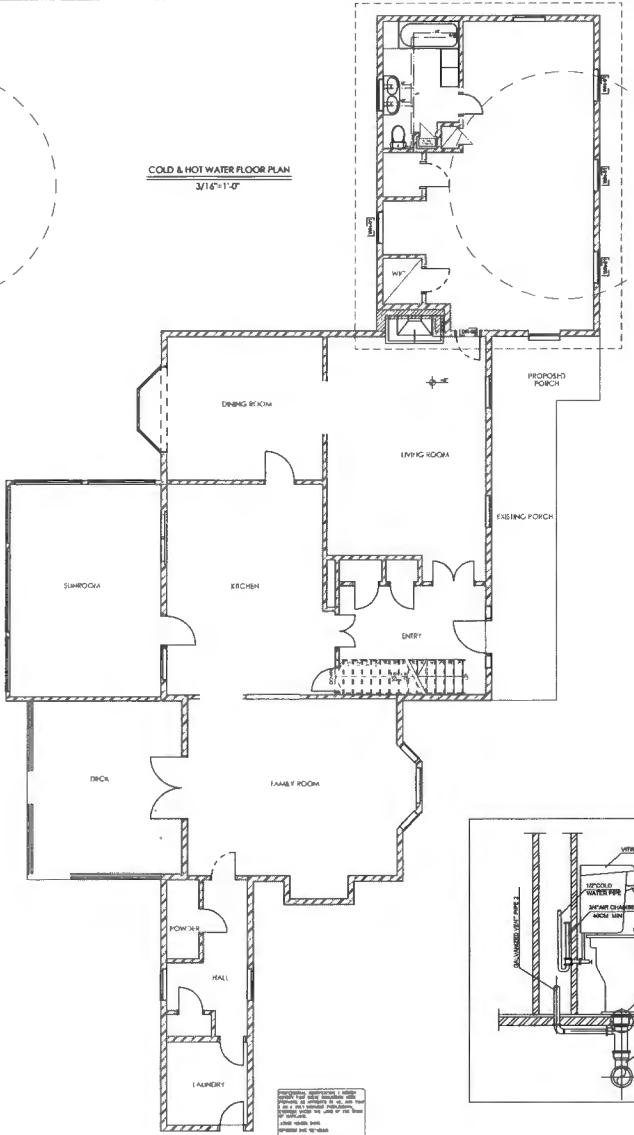
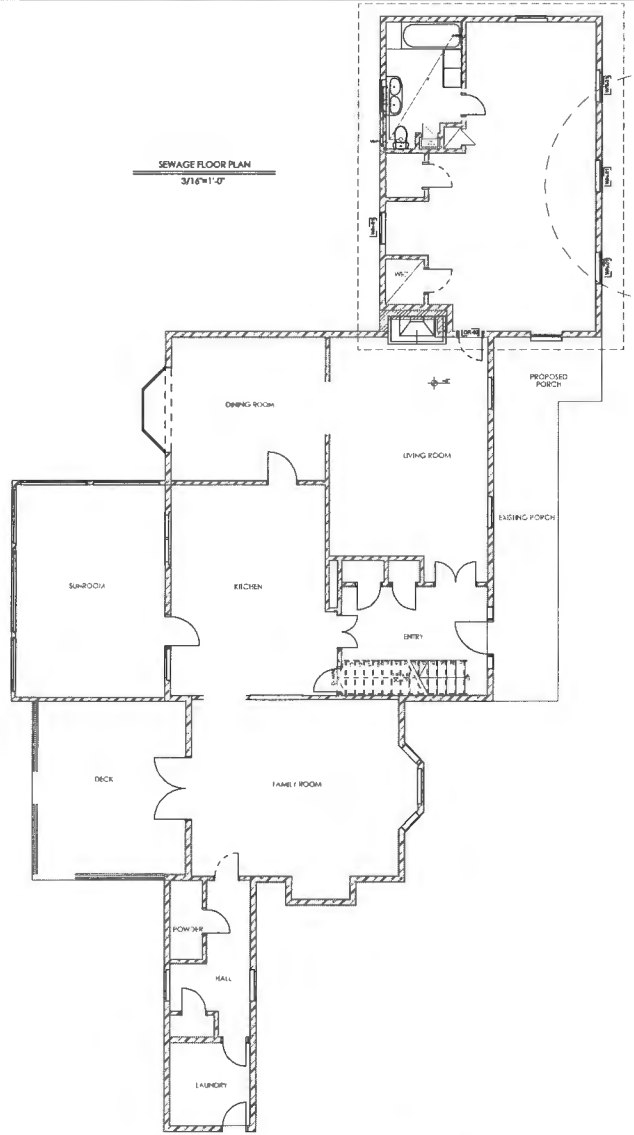
REVISIONS

NO.	DESCRIPTION

Owner: David Wawro  
 Project Address: 787 Weller Dr Mt Airy, MD 21771

Drawn By: ANJOMANI  
 Designed By: A.ZAMANI  
 Checked By: A.ZAMANI  
 Scale: 3/16" = 1'-0"

MECHANICAL FLOOR PLAN  
 Project No. MD-20703  
 Drawn No. M101  
 Rev. No.



EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.



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EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

REVISIONS	DATE	DESCRIPTION

Owner  
**David Wawro**  
Project Address:  
**757 Weller Dr Mt Airy, MD 21771**

Drawn By: **A.ANJOMANI**  
Designed By: **A.ANJOMANI**  
Checked By: **A.ZAMANI**  
Scale: **3/16" = 1'-0"**

Proj. Title  
**PLUMBING FLOOR PLAN**  
Project No.  
**MD-20703**  
Dwg. No.  
**P101**  
Rev. No.

## PLUMBING MATERIALS AND NOTES

### DOMESTIC WATER PIPING:

- DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: PROVIDE TYPE 1' HARD DRAWN SEAMLESS COPPER TUBING (ASTM B 88) AND CAST COPPER ALLOY FITTINGS (ASTM B16.18). JOINTS 2" AND SMALLER SHALL BE LEAD FREE 95-5 TIN/SILVER SOLDER JOINTS (ASTM B 3).
- STERILIZE THE DOMESTIC WATER SYSTEM IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.
- INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH NOT EXCEEDING 0.27 BTU/H x SQ. FT. FOLLOW SCHEDULE BELOW:

SERVICE TYPE	PIPE SIZES	INSULATION THICKNESS
DOMESTIC HOT WATER & CIRCULATION	1/2" - 1-1/2"	1"
DOMESTIC HOT WATER & CIRCULATION	1-1/2" - 4"	1-1/2"
DOMESTIC COLD WATER	1/2" - 1-1/4"	1/2"
DOMESTIC COLD WATER	1-1/2" - 4"	1"

- DOMESTIC WATER PIPING INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAME-SPREAD RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY BETWEEN PIPE HANGER AND INSULATION.

- PROVIDE TWO-PIECE, BRONZE OR BRASS BODY, FULL PORT, 800 PSI WOG, BALL TYPE SHUT-OFF VALVES WITH BUILDING OR FINISHED MATERIALS.

- PROTECT COPPER PIPING AGAINST CONTACT WITH DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS AND PIPING, PROVIDE A PERMANENT ELECTROLYTIC ISOLATION MATERIAL TO PREVENT CONTACT WITH DISSIMILAR OTHER METALS.

- PROTECT COPPER PIPING AGAINST CONTACT WITH ALL MASONRY. WHERE COPPER IS SLEEVED THROUGH MASONRY, PARTITIONS, PROVIDE A HEAVY COATING OF ASPHALTIC ENAMEL ON THE COPPER PIPING AND 15# ASPHALT SATURATED FELT BETWEEN THE PIPING AND THE MASONRY PARTITION.

- DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED AND PROVED WATERTIGHT UNDER A WATER PRESSURE OF NO LESS THAN THE WORKING PRESSURE OF THE SYSTEM, OR AN AIR TEST OF NO LESS THAN ONE HUNDRED (100) PSI. THIS PRESSURE SHALL BE HELD FOR AT LEAST FIFTEEN (15) MINUTES. WATER USED IN TESTING SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY.

### SANITARY WASTE / VENT PIPING:

- SANITARY WASTE BELOW GRADE: PROVIDE SCHEDULE 40 PVC PIPE AND SOCKET FITTINGS (ASTM D 2665) WITH SOLVENT WELD JOINTS (ASTM D2855). FOAM CORE PVC PIPE IS NOT APPROVED.
- SANITARY WASTE ABOVE GRADE: PROVIDE SERVICE WEIGHT CAST IRON HUB-BJ PIPE AND FITTINGS (CISPI 301) WITH NEOPRENE GASKET AND STAINLESS STEEL CLAMP JOINTS (CISPI 310).
- SLOPE SANITARY WASTE PIPING AT 1/4" PER FOOT MINIMUM FOR PIPING 2-1/2" AND SMALLER AND 1/8" PER FOOT MINIMUM FOR PIPING 3" AND LARGER UNLESS NOTED OTHERWISE.
- WHERE WASTE PIPING IS EXPOSED IN REST ROOM AREAS, PROVIDE CHROME PLATED BRASS PIPING, REMOVABLE P-TRAPS, MATCHING STOPS AND ESCUTCHEONS FOR ALL LAVATORIES.
- SANITARY WASTE AND VENT SYSTEMS SHALL BE TESTED AND PROVED WATER TIGHT UNDER A HEAD PRESSURE OF NO LESS THAN 10 FT. THIS PRESSURE SHALL BE HELD FOR A PERIOD OF NO LESS THAN 15 MINUTES.
- INSULATE MECHANICAL ROOM FLOOR DRAIN BODIES, P-TRAP AND HORIZONTAL DRAIN PIPING ABOVE GRADE WITH 1" THICK GLASS FIBER INSULATION WITH VAPOR BARRIER AND JACKET.
- INSULATE ROOF DRAIN BODIES AND HORIZONTAL PRIMARY AND SECONDARY STORM DRAIN PIPING ABOVE GRADE WITH 1" THICK GLASS FIBER INSULATION WITH VAPOR BARRIER AND JACKET.
- PIPING INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAME-SPREAD RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY ASTM E84 BETWEEN PIPE HANGER AND INSULATION.

### GENERAL NOTES:

- FIELD VERIFY EXACT SIZE AND LOCATION OF EXISTING PLUMBING INCLUDING INVERTS. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- REFER TO ARCHITECTURAL DOCUMENTS FOR ALL MILLWORK AND PLUMBING FIXTURE HEIGHTS.
- COORDINATE LOCATIONS OF ALL WATER AND HOT WATER SERVICE VALVES TO BE ACCESSIBLE.
- DEMOLISH ALL UNUSED PLUMBING WHERE ACCESSIBLE. NO DEAD ENDS SHALL REMAIN PER 2018 NCPG 704.5. PROVIDE CLEANOUTS WHERE NECESSARY.
- ROUTE NEW LINES TO EXISTING PLUMBING. FIELD VERIFY EXACT LOCATION.

## PLUMBING GENERAL NOTES

### GENERAL REQUIREMENTS:

- PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2018 NORTH CAROLINA STATE PLUMBING CODE AND WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
- SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL PLUMBING SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
- PERMITS: APPLY AND PAY FOR ALL NECESSARY PERMITS, FEES AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION. INCREASE CHARGES, FACILITIES CHARGES AND BOND PROPERTY ASSESSMENTS ARE NOT TO BE CONSIDERED TO BE A PART OF THIS CONTRACT.
- WARRANTY: PROVIDE A ONE YEAR WARRANTY, FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER, FOR ALL PLUMBING MATERIALS AND EQUIPMENT.
- COORDINATE ALL PLUMBING PIPING LOCATIONS, ROUGH-IN LOCATIONS AND EQUIPMENT LOCATIONS WITH OTHER COMPLIANT INSTALLATION FOR ALL TRADES.
- FIELD VERIFY PROPER OPERATION OF EXISTING SYSTEMS BEFORE STARTING CONSTRUCTION. NOTIFY THE ARCHITECT / ENGINEER OF RECORD OF ANY PROBLEMS OR DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR ANY POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EXPECTED AREAS.
- WHERE DISCREPANCIES ARE FOUND IN THE DRAWINGS AND SPECIFICATIONS THE MORE STRINGENT SHALL APPLY. CONTACT ENGINEER FOR CLARIFICATION.
- ALL PIPING SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL VALVES, BACKFLOW PREVENTERS, BOOSTER PUMPS, ETC. SERVING THE DOMESTIC WATER SYSTEM SHALL MEET LEAD FREE STANDARDS PER ANSIS/NSF 372 AND NSF 61, ANNEX G.
- CUT WALLS, FLOORS AND CEILINGS AS REQUIRED FOR INSTALLATION OF PLUMBING WORK. ALL CUTTING SHALL BE IN PLUMBING PLANS SHALL NOT BE SCALED. REFERENCE THE ARCHITECTURAL PLANS FOR ALL LOCATIONS OF PLUMBING FIXTURES, WALLS, DOORS, WINDOWS, ETC.
- PLUMBING PIPING AND SPECIALTIES SHALL BE LOCATED CONCEALED IN WALLS, PARTITIONS OR ABOVE CEILINGS UNLESS NOTED OTHERWISE. PLUMBING PIPING IN EXPOSED AREAS SHALL BE RUN TIGHT TO UNDERSIDE OF STRUCTURE. PROVIDE ACCESS DOORS FOR CONCEALED SPECIALTIES.
- DO NOT INSTALL PLUMBING PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES. INSTALL PLUMBING PIPING SHOWN IN EXTERIOR WALLS ON THE CONDITIONED SIDE OF THE WALL INSULATION.
- PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING DISSIMILAR METALS.
- ATTACH HANGERS TO STRUCTURE. HANGERS SHALL NOT ATTACH TO THE DECK.
- PROVIDE ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTORS, TRAP PRIMERS, ETC. CONCEALED IN MASONRY WALLS, GYPSOBOARD WALLS AND/OR CEILINGS THAT WILL REQUIRE MAINTENANCE ACCESS.
- CORE DRILL THROUGH MASONRY (CMU BLOCK) WALLS FOR ALL PIPE PENETRATIONS. WHEN DRILLING OPENINGS FOR INSULATED PIPES THE OPENING'S DIAMETER SHALL BE LARGE ENOUGH FOR PIPE INSULATION TO REMAIN CONTINUOUS PASSING THROUGH THE OPENING. SEAL WATER TIGHT. PROVIDE ESCUTCHEONS IN EXPOSED FINISHED AREAS.
- PLUMBING SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO: PLUMBING FIXTURES, DOMESTIC WATER SYSTEM, SANITARY WASTE AND VENT SYSTEM, NATURAL GAS SYSTEM.

### PLUMBING FIXTURES AND EQUIPMENT:

- PROVIDE COMPLETE PLUMBING FIXTURES AND EQUIPMENT, INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.
- PLUMBING FIXTURES AND EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.
- NO PRIVATE LABELED MATERIALS WILL BE ACCEPTED AS EQUALS TO PRODUCTS SPECIFIED HEREIN.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SUBSTITUTIONS TO SPECIFIED PLUMBING FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO: PROVIDING MAINTENANCE ACCESS CLEARANCE, PIPING, ELECTRICAL, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, ETC. AND ANY MODIFICATIONS TO ASSOCIATED MECHANICAL, ELECTRICAL OR PLUMBING SYSTEMS REQUIRED BY THE EQUIPMENT'S INSTALLATION INSTRUCTIONS. ALL COSTS ASSOCIATED WITH SUBSTITUTIONS SHALL BE INCLUDED IN THE ORIGINAL BASE BID.



### MECHANICAL GENERAL NOTES

- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING OPENERS, ETC.
- ALL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT TO COMPLY WITH BASIS OF DESIGN, INCLUDING PROVIDING MAINTENANCE ACCESS, CLEARANCE, PIPING, SHEET METAL, ELECTRICAL, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, ETC. SHALL BE INCLUDED IN THE ORIGINAL BASE BID. NO ADDITIONAL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT WILL BE APPLICABLE DURING CONSTRUCTION AND ALL COSTS WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. THIS INCLUDES ANY MODIFICATIONS TO ANY ASSOCIATED MECHANICAL, PLUMBING, OR ELECTRICAL SYSTEMS REQUIRED BY THE SPECIFIC MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL DUCTWORK SHALL BE GALVANIZED SHEET METAL, CONSTRUCTED IN ACCORDANCE WITH THE LATEST MANUFACTURER ALL SUPPLY CATALOGS AND OUTRATED BY AN OUTDOOR SHALL BE WRAPPED WITH 2" THICK DUCT WRAP WITH VAPOR BARRIER. INSULATION INCLUDING FLEXIBLE DUCT INSULATION SHALL HAVE A MINIMUM METALLED R-VALUE OF 6.0.
- ALL OUTDOOR WORK SHALL BE SEALED PER THE REQUIREMENTS OF THE NORTH CAROLINA MECHANICAL CODE. SEAL LOW PRESSURE SUPPLY, RETURN, OUTSIDE AIR, AND EXHAUST OUTDOORWORK FOR POSITIVE/GRAVITY 2" PRESSURE CLASS. BRANCH SEAL CLASS A BRANCH LEAKAGE CLASS A.
- ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH WALLS AND ROOF SHALL BE FLASHED AND
- ALL PIPING AND OUTDOORWORK LOCATIONS SHALL BE COORDINATED WITH THE WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE.
- THE MECHANICAL CONTRACTOR SHALL BALANCE ALL MECHANICAL SYSTEMS TO THE PERFORMANCE SPECIFICATIONS INDICATED ON PLANS AND PROVIDE THE OWNER WITH THREE COPIES OF A COMPLETE TEST AND BALANCE REPORT. THE REPORT IS TO BE ISSUED A MINIMUM OF TWO WEEKS PRIOR TO PROJECT COMPLETION. THE TEST AND BALANCE REPORT SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER. ANY ADDITIONAL TESTING, ADJUSTING AND BALANCING REQUIRED AT ENGINEER'S REQUEST AFTER REVIEW OF THE INITIAL REPORT SHALL BE PROVIDED AT NO ADDITIONAL COST. TESTING AND BALANCING CONTRACTOR TO CONFIRM FILTERS ARE CLEAN AND FREE OF DEBRIS PRIOR TO BEGINNING WORK. THE MECHANICAL CONTRACTOR SHALL REPLACE ANY DIRTY FILTERS, AIR FILTERS, TEST AND BALANCE REPORT TO BE COMPLETED BY AN INDEPENDENT, CERTIFIED TEST AND BALANCE CONTRACTOR.
- UPON PROJECT COMPLETION, THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER INSTALLATION INFORMATION INCLUDING RECORD SUBMITTALS (WITH ANY SUBMITTAL REVIEW COMMENTS ADDRESSING) AND O&M MANUALS FOR EACH PIECE OF EQUIPMENT INCLUDING ALL RELATED OPTIONS. THE MANUAL AND ACCESSORY TO AT LEAST ONE SERVICE/AGENCY SHALL CONTAIN SYSTEM O&M AND CALIBRATION INFORMATION INCLUDING WIRING DIAGRAMS, ROLES/RESOURCES, FULL SEQUENCE OF OPERATION AND PROGRAMMED SETPOINTS. IN ADDITION, THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO HIRE A REGISTERED DESIGN PROFESSIONAL TO COMMISSION THE INSTALLED SYSTEM AND PROVIDE THE OWNER AND CODE REVIEWER A SEALED STATEMENT OF SYSTEM COMMISSIONING PER 2018 NCEC APPROX C13.
- PROVIDE A ONE YEAR WARRANTY FOR ALL WORK PROVIDED BEGINNING ON THE DAY THE SYSTEM IS COMPLETELY OPERATIONAL AND ACCEPTABLE BY THE OWNER.
- PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCES AROUND ALL EQUIPMENT FOR MAINTENANCE AND FILTER REMOVAL.
- CONDENSATE DRAIN PIPING SHALL BE SCHEDULE 40 PVC PIPE (OR TYPE 1' HARD DRAWN COPPER WHEN IN PLUMBING) AND FITTINGS. DRAINS FROM AIR HANDLING UNITS SHALL BE TRAPPED.
- CONDENSATE DRAINS SHALL BE INSULATED WITH 1/2" THICK ADHESIVE INSULATION. MINIMUM DRAIN SIZE SHALL BE 3/4".
- ALL REFRIGERANT PIPE SHALL BE NITROGENATED ACR COPPER TUBE. SIZE, INSULATE, AND INSTALL REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. REFRIGERANT PIPING INSULATION EXPOSED OUTDOORS SHALL BE COVERED WITH AN OUTER ALUMINUM JACKET.
- ANY DEVICE REQUIRING A THERMOSTAT FOR CONTROL SHALL BE FURNISHED WITH A THERMOSTAT WHETHER INDICATED ON THE DRAWINGS OR NOT.
- INSTALL THE TOP OF ALL THERMOSTATS, SENSORS, AND SWITCHES AT 4' (MINIMUM) ABOVE FINISH FLOOR. COORDINATE EXACT THERMOSTAT LOCATION WITH OWNER PRIOR TO INSTALLATION. ANY DEVICE ON A PERIMETER WALL SHALL BE MOUNTED ON A FOAM-FILLED ELECTRICAL BOX WITH ALL GAPS BETWEEN BOX AND WALL SEALED TO PREVENT INFILTRATION.
- CONSTRUCTION SHALL LOCATE EXHAUST FANS, OUTLETS, AND GAS PILES A MINIMUM OF 10' FROM ANY OUTDOOR AIR INTAKE.
- PROVIDE UNIONS, FLANGES OR COUPLERS AT CONNECTION TO ALL VALVED AND EQUIPMENT. DO NOT USE DIRECT WELDED OR THREADED CONNECTIONS TO VALVES, EQUIPMENT OR OTHER APPARATUS.
- PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING DISSIMILAR METALS.
- ALL ISOLATION VALVES, TERMINAL UNITS, CONTROLS, ETC. REQUIRING ACCESS AND SERVICE SHALL BE INSTALLED WITHIN 18" OF THE CEILING FOR SERVICE ACCESSIBILITY. LOCATIONS SHALL BE INDICATED ON THE CEILING GRID PER THE SPECIFICATIONS.
- DUCTWORK AND PIPING PASSING THROUGH/ABOVE ELECTRICAL ROOMS SHALL BE CLOSELY COORDINATED WITH THE ELECTRICAL CONTRACTOR. DUCTWORK OR PIPING SHALL NOT BE LOCATED ABOVE ELECTRICAL PANELS.
- EQUIPMENT OPERATED DURING CONSTRUCTION SHALL USE FILTERED MEDIA TO PREVENT CONSTRUCTION DEBRIS FROM ENTERING COILS, DUCTWORK SYSTEMS, AIR TERMINALS, ETC. AT COMPLETION OF CONSTRUCTION, MECHANICAL CONTRACTOR SHALL CLEAN ALL SYSTEMS WITH ALL CONTROL DEVICES WIDE OPEN AND REMOVE ANY REMAINING DEBRIS PRIOR TO TEST AND BALANCING. MECHANICAL CONTRACTOR SHALL REPLACE ALL FILTRATION WITH NEW FILTERS AT COMPLETION OF CONSTRUCTION. ANY DUCTWORK, AIR TERMINALS AND/OR OTHER EQUIPMENT UPSTREAM OF FILTRATION SHALL BE CLEANED THOROUGHLY OF CONSTRUCTION DEBRIS BEFORE HANDING OVER TO OWNER.
- MECHANICAL CONTRACTOR SHALL PROVIDE PRE-PRINTED COLOR CODED PIPE LABELS WITH 1/2" HIGH LETTING INDICATING SERVICE AND FLOW DIRECTION. ALL PIPING TO MATCH EXISTING FACILES STANDARD BY APPLICABLE, OTHERWISE, PIPE LABELS SHALL MATCH THE FOLLOWING: REFRIGERANT PIPING: YELLOW BACKGROUND, BLACK LETTERING.
- ALL MECHANICAL EQUIPMENT SHALL BE U.L. LISTED AND LABELED AS A COMPLETE PACKAGE. NOT THROUGH INDIVIDUAL COMPONENTS OR PARTS. PROVIDE REQUIRED 3RD PARTY FIELD LISTING SERVICES AS REQUIRED TO COMPLY.



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EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST AVAILABLE SOURCES AND MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND INTERFERENCE BEFORE PROCEEDING WITH THE WORK.

REVISIONS	Owner
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Designed By: **A.ANJOMANI**  
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### PLUMBING GENERAL NOTE

MD-20703

P102

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