

*Approved
MOC 6/24/25*

Record Detail * (This section is required.)

Permit Type: Building/Residential/Misc/Shed
 Permit Number: B25002221
 Opened Date: 06/06/2025
 Description of Work: SFD/ INSTALL 24 X 24 SHED ON GRAVEL PAD TO BE USED FOR STORAGE

*Online BF.
9/26/25*

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #: 5509
 Street Name: JACKS LANDING
 Street Type: WAY
 Unit Type: --Select--
 Unit #:
 X Coordinate: -76.97472
 Y Coordinate: 39.21537
 City: CLARKSVILLE
 State: MD
 Zip Code: 21029
 Primary: Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID: 11057409
 Parcel: 414
 Parcel Area: 4.4
 Land Value: 132000
 Improved Value: 132000
 Exemption Value: 0
 Plan Area: RURAL

Legal Description: PAR B 4.4022 A. NON-[]TRIADELPHIA MILL RD[]JACKS LANDING PH. 1

[check spelling](#)

Block: B
 Lot: B
 Census Tract: 605101
 Council Dist: 5
 Inspection Dist:
 Supervisor Dist:
 Map #:
 DAP Zone:
 Plan Area:
 State Tax Id: 1405599488
 Subdivision Name: Jack's Landing
 Section:
 Area:
 Tax Map: 34
 Grid:
 Zoning District: RR-DEO
 ADC Map: 4933-D6
 SDP No.:
 Final Plan No.: F-08-101
 WP File No.:
 Record Plat No.: 23952-2395
 WS Contract No.:
 FDP No.:
 Primary: Yes
 Owner Occupied: Yes No
 Historic District: Yes No
 Historic District Registry No.:
 Stat Area: 5-04A
 Flood Plain: Yes No
 Building No:

Owner * (This section is required.)

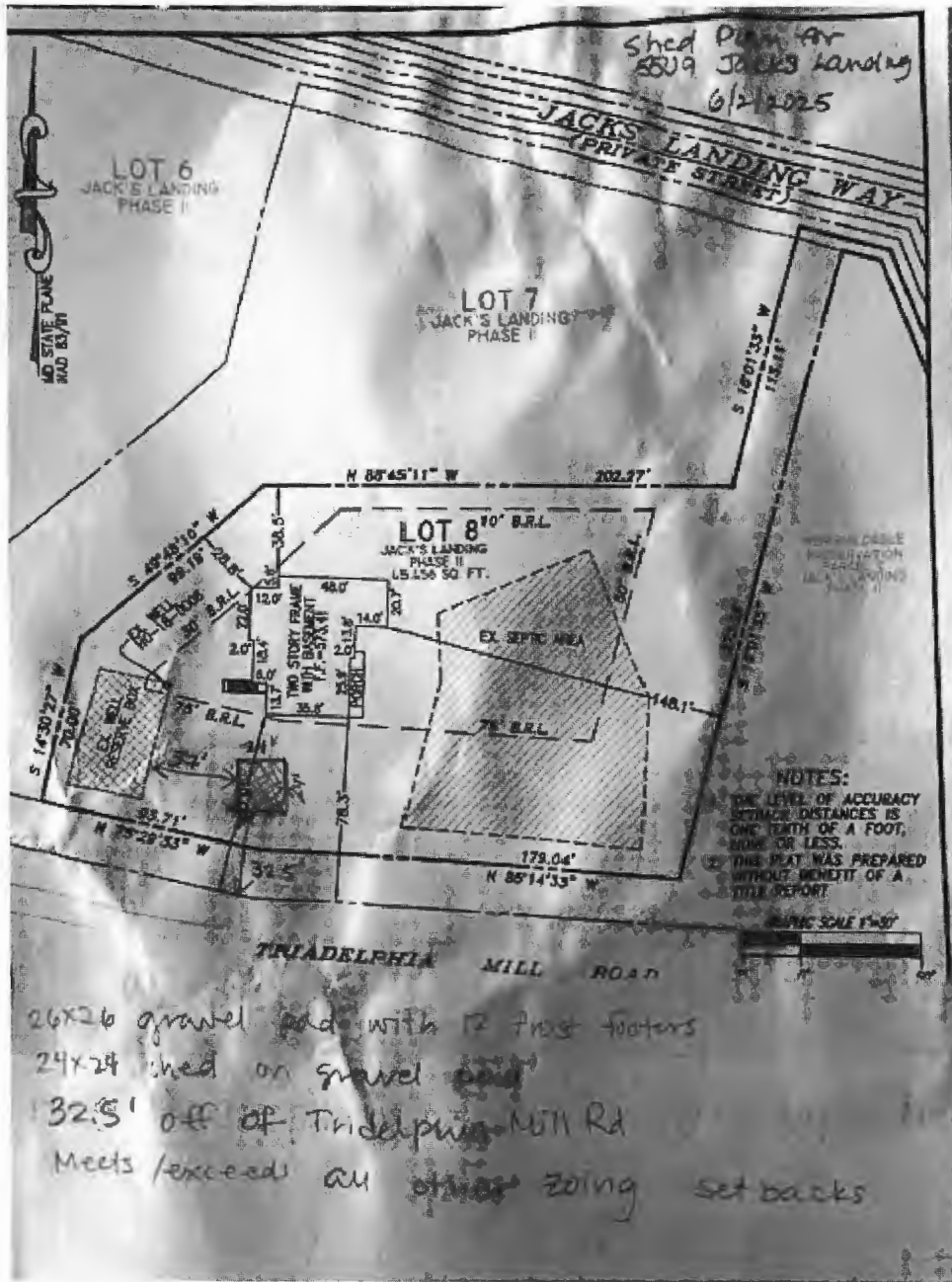
Search Reset Clear

Name: JENNIF
 Address Line 1: 5509 Jacks Landing
 Address Line 2:
 Address Line 3:

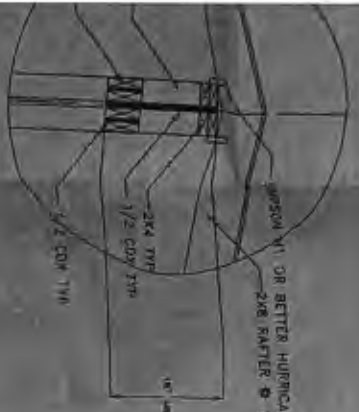
Submit

Cancel

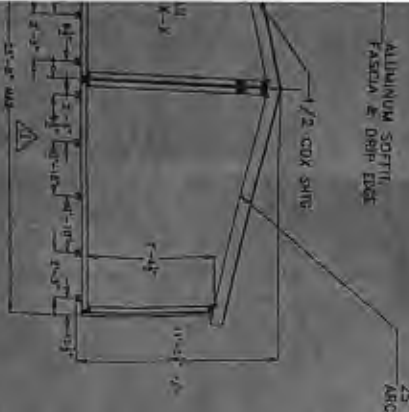
Shed Plan for
 6509 Jack's Landing
 6/2/2025



26x26 gravel pad with 12 frost footers
 24x24 shed on gravel pad
 32.5' off of Triadelphia Mill Rd
 Meets/exceeds all other zoning setbacks



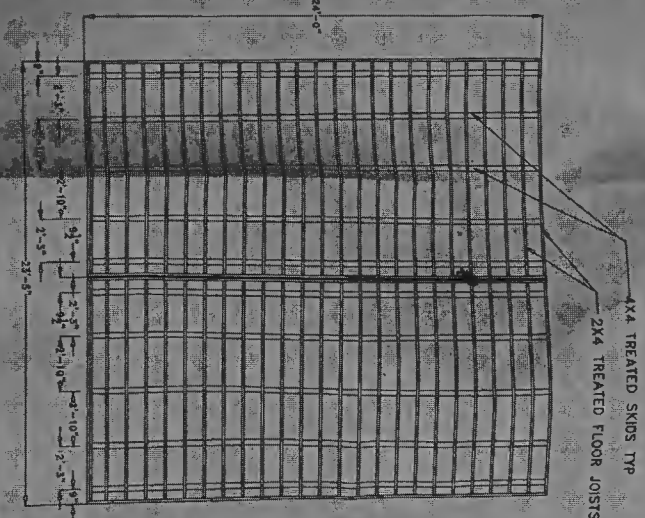
SECTION Z-Z OR BETTER HYDRICANE TIE TYP
2x8 RAFTER @ 16" OC TYP



SECTION X-X
1/4" = 1'-0"

ALUMINUM SOFFIT
FLASH & DRIP EDGE
25 YR ASPHALT OR
ARCHITECTURAL SHINGLES

- EQUATE ANY/OR LOCAL CODES
1. USE SIP OR BETTER INSULATION LAYERS
 2. WATER/TORN RESISTANT BUILT UP SLICED FRAMING AT WALLS AND MULTIPLE CORNERS
 3. ALL WOOD IN CONTACT WITH CONCRETE AND/OR MASONRY SHALL BE TREATED TO SATISFACTION OF BUILDING OFFICIAL
 4. ALL WOOD IN CONTACT WITH CONCRETE AND/OR MASONRY SHALL BE TREATED TO SATISFACTION OF BUILDING OFFICIAL
 5. ALL PAPER/FLAME MATERIAL SHALL BE SEAM AND FREE OF MATERIAL SUBJECT TO DECOMPOSITION
 6. USE STAINLESS STEEL FASTENERS AT ROOF AND WINDOW OPENINGS WITH DOUBLE 2x4 HEADERS



FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

PLOT DATA:
LISTED LIMITS
PLOT: 1:45
(X, Y) = (0.05, 0.05)

HOWARD
LAUSTACE
SCHUBERT, PE
DIVISION OF
JUNQUE-AMMA CONTRACTING, INC.
4317 WEBSTER LINDSEY ROAD
10774 84 GREEN, MD 21078
PHONE: (410) 551-1817 FAX: (410) 551-0874

DRAWING NUMBER: ZJ270
SHEET 1 OF 1
DATE: AS NOTED
ORIGINAL DATE: 12/17/08

PROJECT: MANUFACTURED STORAGE SHED
OWNER: J & R SHEDS & EQUIPMENT, INC.
CLIENT LOCATION: 3025 Churchville Road
Churchville, MD 21078

GENERAL ARRANGEMENT

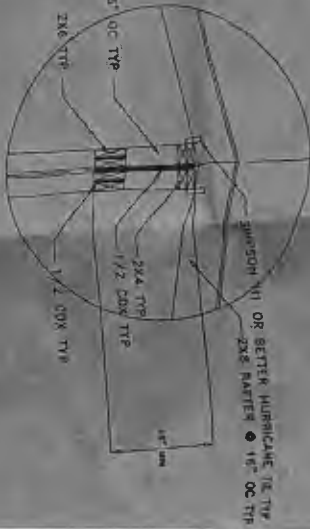
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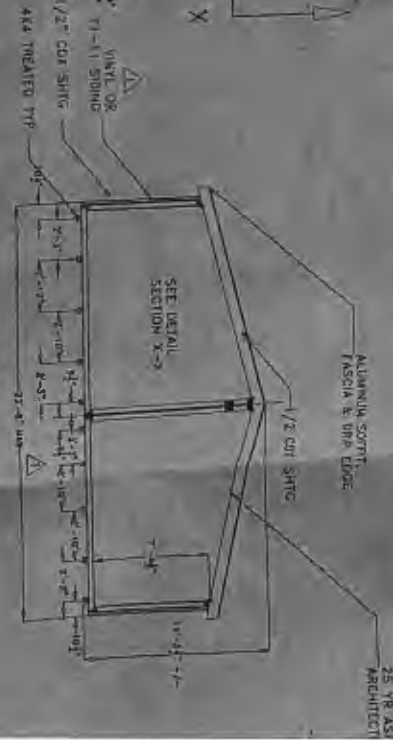
SECTION Y-Y
Scale: 1/4" = 1'-0"



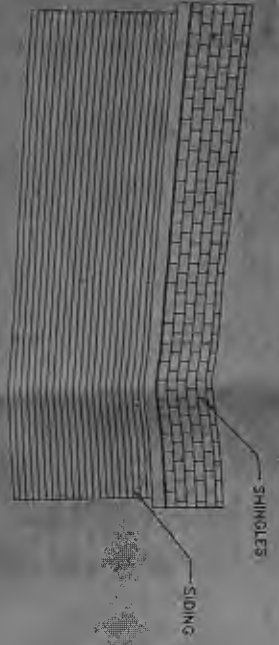
FLOOR PLAN
Scale: 1/4" = 1'-0"



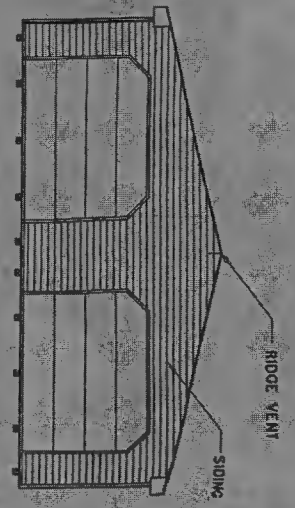
SECTION Z-Z
Not to Scale



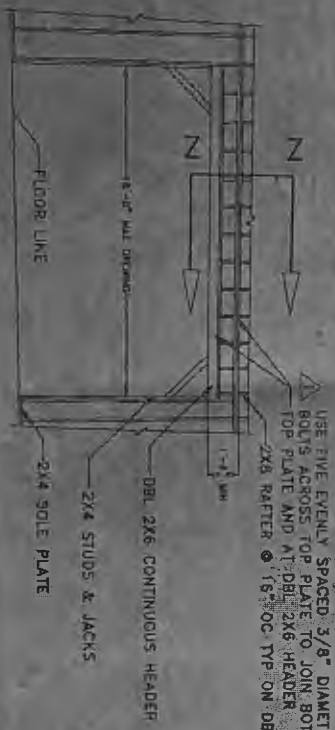
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Scale: 1/4" = 1'-0"



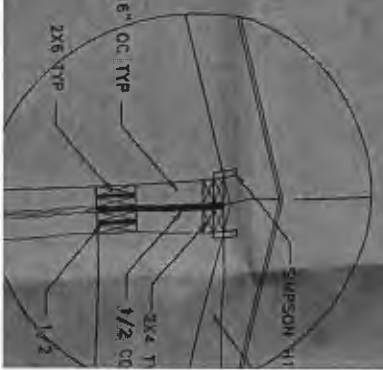
LEFT ELEVATION
Scale: 1/4" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"

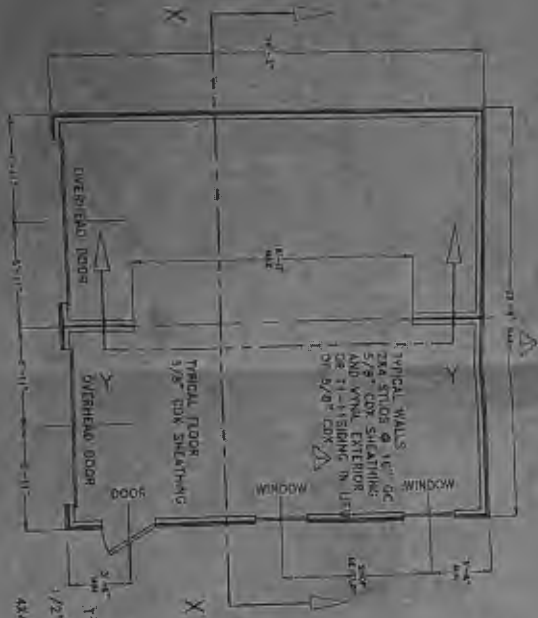


SECTION Y-Y
Scale: 1/4" = 1'-0"

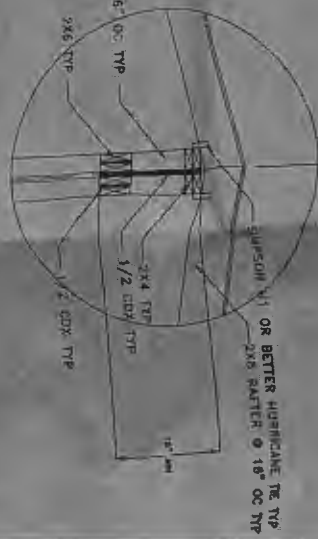




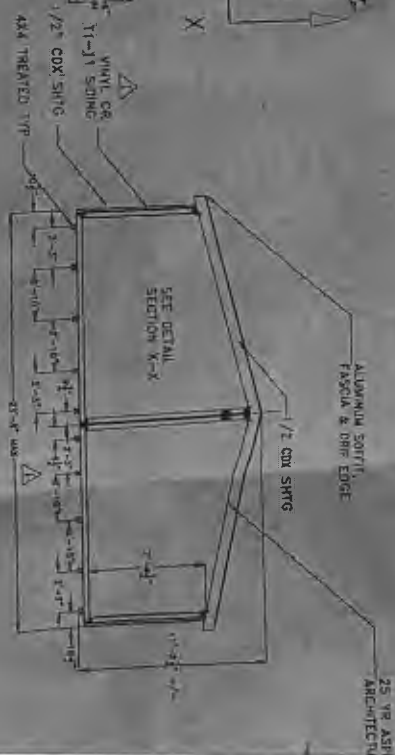
SECTION Y-Y
Scale: 1/4" = 1'-0"



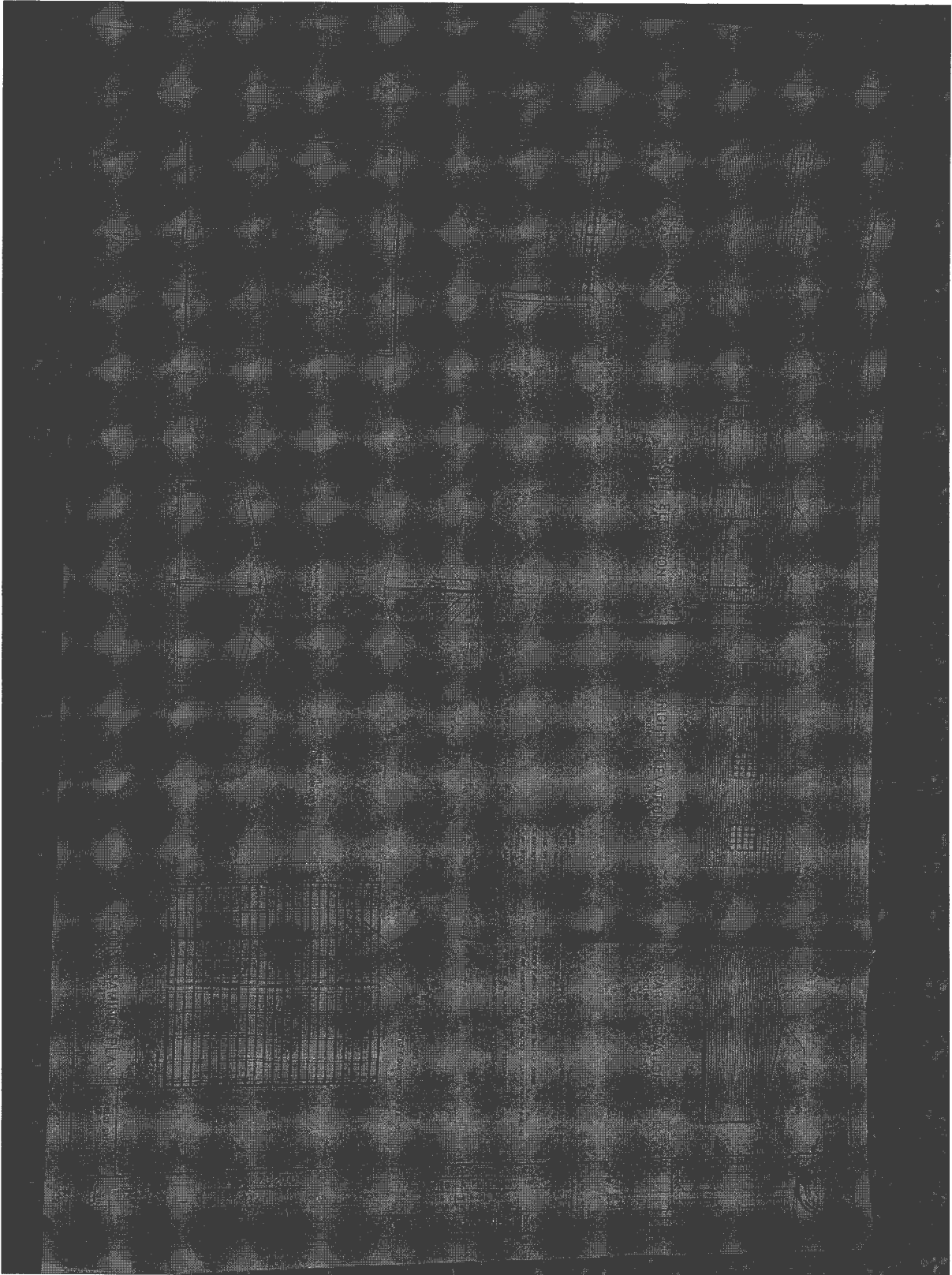
FLOOR PLAN
Scale: 1/4" = 1'-0"

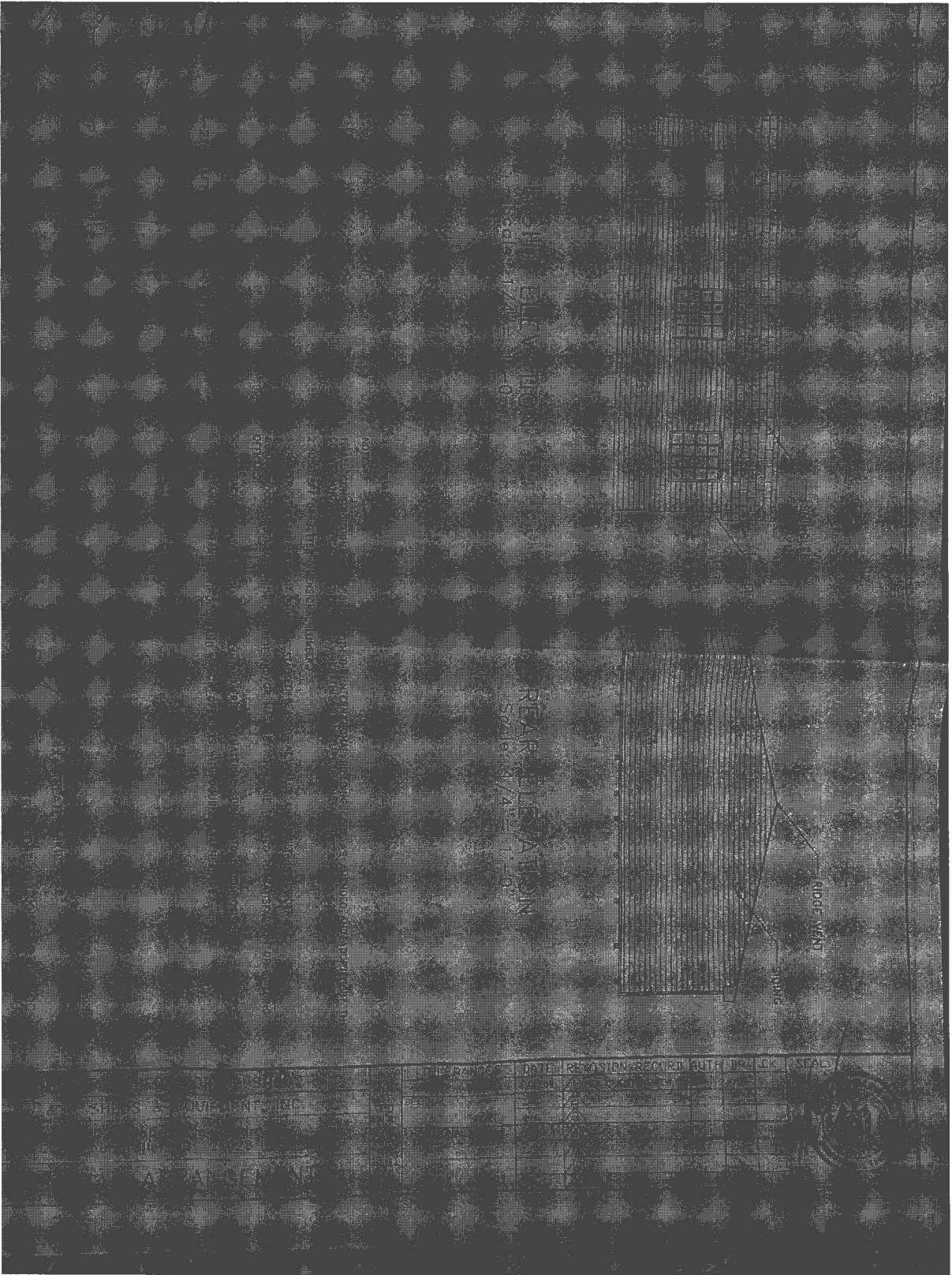


SECTION Z-Z
Not to Scale



SECTION X-X
Scale: 1/4" = 1'-0"





To: Howard County Permitting Department
From: Jennifer Sager Cosgrove (Howard)
5509 Jacks Landing Way
Permit Application Number: B25002221
Document Purpose: Provide Intended Use Of Shed

The 24 X 24 shed is being built for the purpose of storing all of the items that are currently in my garage, as well as my parents and mother-in-law's garages / basements. Currently we cannot park any vehicles in the house garage, and using the shed we will be able to move all of the items to park in the garage.