

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B25002072	05/27/2025

Description of Work
 SFD / ALTERATIONS TO EXISTING DWELLING TO INCLUDE BASEMENT REMODEL - PARTIAL DEMOLITION OF EXISTING NON-LOAD-BEARING WALLS, CONSTRUCTION OF NEW NON-LOAD-BEARING WALLS TO CREATE OFFICE/GYM, AND STORAGE ROOM - TOTAL BASEMENT 1,465 SQFT

Approved.
38 7/29/25

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
2085	FLORENCE	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.14082	39.31444
City	State	Zip Code	Primary
MOUNT AIRY	MD	21771	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
909380	12	3.54	235200	944400	709200	RURAL

Legal Description
 1MPSLOT 13 3.5404 A[]2085 FLORENCE RD[]FLORANCE ESTATES S 2

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	13	604001	5				
Plan Area	State Tax Id	Subdivision Name					
	1404343522	FLORENCE ESTATES					
Section	Area	Tax Map					
		12					
Grid	Zoning District	ADC Map					
12-5	RC-DEO	4690-H10					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
5899			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2000	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-04	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

DAWS

Address Line 1

2085 FLORENCE RD

Address Line 2

Address Line 3

Mail City

MOUNT AIRY

Mail State

MD

Mail Zip Code

21771

Phone

302-593-8661

Primary

Yes No

E-mail

nsdawson11@gmail.com

Cell Number

Fax Number

Professionals (This section is not required.)

License # *	Business Name		
08010078947	CLARKSVILLE CONSTRUCTION SERVICES		
License Type *	First Name	Middle Name	Last Name
MHIC Ind	ADAM	TEDDY	AUGUST
Primary	Address Line 1		
Yes	INC 05 130714		
	Address Line 2		
	12011 GUILFORD ROAD SUITE 101		
	City	State	ZIP Code
	ANNAPOLIS JUNCTION	MD	21045-0000
	Phone 1	Phone 2	Fax
	4433863099		4105312966
	E-mail		
	ADAMAUGUST1970@GMAIL.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	ADAM	TEDDY	AUGUST
Relationship	Full Name		
Applicant			
Primary	Organization Name		
No	CLARKSVILLE CONSTRUCTION SERVICES		
	Street Address		
	INC 05 130714		
	Address Line 2		
	12011 GUILFORD ROAD SUITE 101		
	City	State	Zip Code
	ANNAPOLIS JUNCTION	MD	21045-0000
	Phone	Cell	Fax
	4433863099		4105312966
	E-mail *		
	ADAMAUGUST1970@GMAIL.COM		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	ADAM	TEDDY	AUGUST
Relationship	Full Name		
Applicant			
Primary	Organization Name		
Yes	CLARKSVILLE CONSTRUCTION SERVICES		
	Street Address		
	INC 05 130714		
	Address Line 2		
	12011 GUILFORD ROAD SUITE 101		
	City	State	Zip Code
	ANNAPOLIS JUNCTION	MD	21045-0000
	Phone	Cell	Fax
	4433863099		4105312966
	E-mail		
	ADAMAUGUST1970@GMAIL.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
61278.1	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	No of Stories *	Basement	Bedrooms	Full Baths	Half Baths	Water *	Sewage *
1465	SQFT (Number) 2	(Number) Partially Finished	0	(Number) 0	(Number) 0	(Number) Private	Private

12/1/99
12/3/99
C.O. A.M.
12/9/99
10:00

PERMIT

SEWAGE DISPOSAL SYSTEM

DEPARTMENT OF HEALTH AND MENTAL HYGIENE

P 512776

A 31539

04-343522

DISTRICT _____

HOWARD COUNTY HEALTH DEPARTMENT

BUREAU OF ENVIRONMENTAL HEALTH

~~XXXXXXXX~~ 410-313-2640

INDEXED

DATE 10/21/1999

DATE SYSTEM APPROVED 12/9/99

INSPECTOR BB

Fogle's Septic Clean, Inc.

IS PERMITTED TO INSTALL ALTER _____

ADDRESS 580 Obrecht Road, Sykesville, Maryland 21784 PHONE 410-795-5670

SUBDIVISION Florence Estates, Sec. II. LOT 13 ROAD 2085 Florence Road

PROPERTY OWNER Michael & Jean Meissner

ADDRESS _____

SEPTIC TANK CAPACITY 1250 GALLONS

NUMBER OF BEDROOMS 4

240 SQUARE FEET PER BEDROOM

LINEAR FEET OF TRENCH REQUIRED 320

TRENCHES - Trench to be 3 feet wide. Inlet 3 feet below original grade. Bottom maximum depth 5 feet below original grade. Effective area begins at 3 feet below original grade. 2 feet of stone below distribution pipe.

LOCATION - Place the distribution box 285 feet down the right (762') lot line and 30 feet off that same lot line as seen when facing the lot from Florence Road. Run trenches on contour towards the left (728') lot line.

REQUIRED TRENCH LAYOUT: (1) 55' trench at box
(2) 60' trenches and
(2) 70'-75' trenches

OK [Signature] 12/1/99

NOTE - Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank.

PLANS APPROVED BY _____ DATE _____

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS. 90° ELBOWS NOT ACCEPTABLE.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 25/40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 6 INCHES IN DIAMETER CAST IRON, CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED.

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

BUILDING PERMIT SIGN AND RETURNED

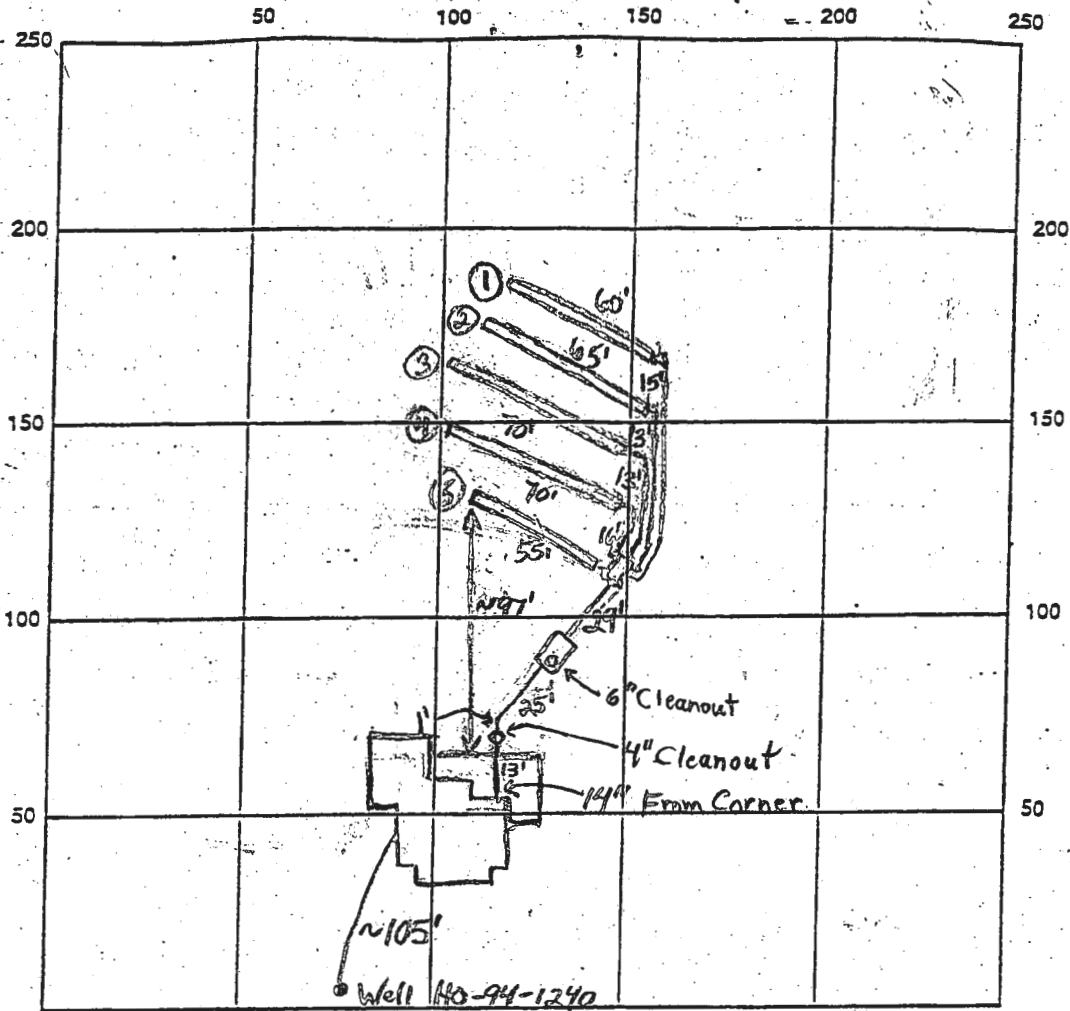
4/1/02 800135288 - WOODSHED - STORE LAWN EQUIPMENT

9/18/03-800144152 - JG POOL

12-11-04 800146175 JG POOL

*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT

*CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEM.



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE

Florence Rd.

SEPTIC TANK LEVEL 1250 gallon CLEANOUTS 1-6" tank, 1-4" line
 DISTRIBUTION BOX LEVEL O.K.
 DRAIN FIELD/TITLE DEPTH 5 FT. TRENCH WIDTH 3 FT. INLET DEPTH 3 FT.
 EFFECTIVE GRAVEL DEPTH 2 FT. TOTAL LENGTH 320 FT. 1/2/3/4/5
 NUMBER OF TRENCHES 5 60'/65'/70'/70'/65'
 DRYWALL INSIDE DIAMETER FT. EFFECTIVE DEPTH BELOW INLET FT.
 ABSORBENT AREA SQ. FT. 960 SQ. FT.

REMARKS: 12/7/99 only septic tank set - no other work done DKS
12/8/99 installation made. O.K. to cover everything except last two trenches. (BB)
12/9/99 O.K. to cover everything. (BB)

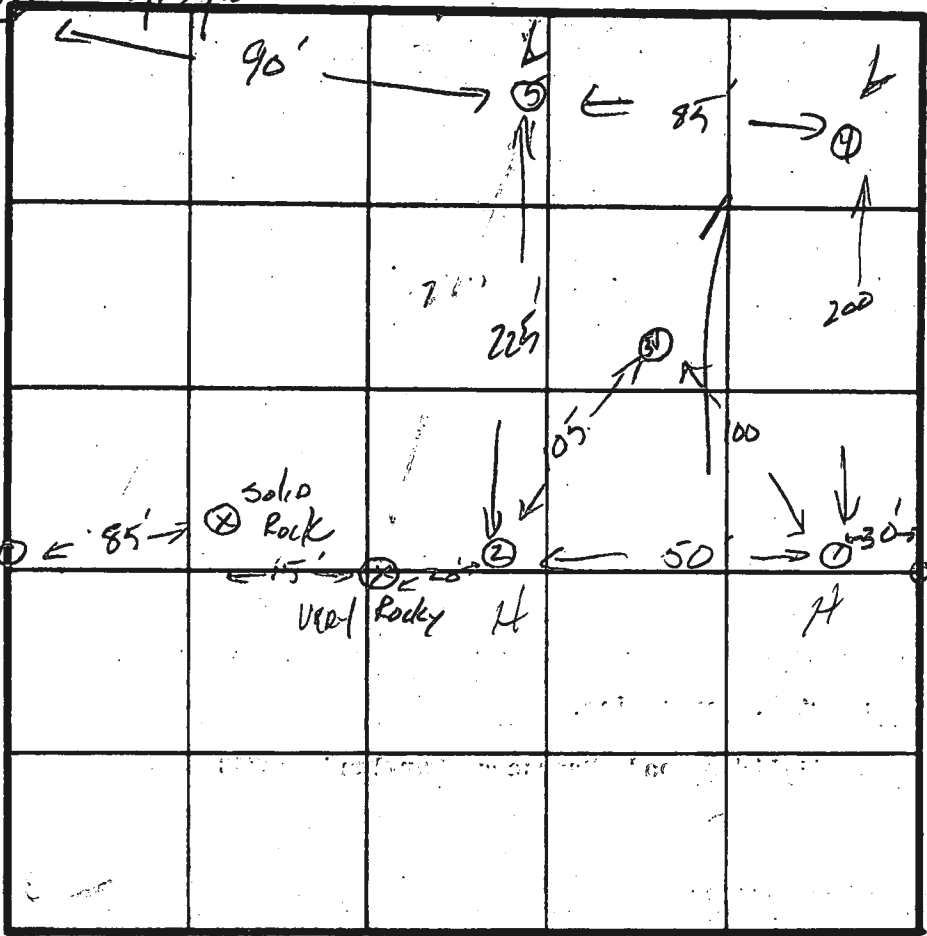
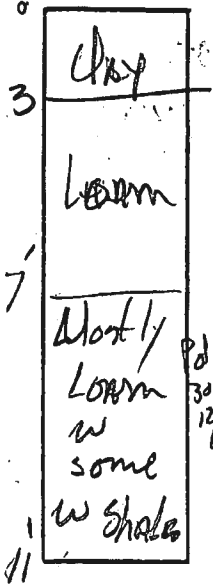
DATE SYSTEM APPROVED 12/9/99 INSPECTOR B. Baker

13

Cor 12/13/10

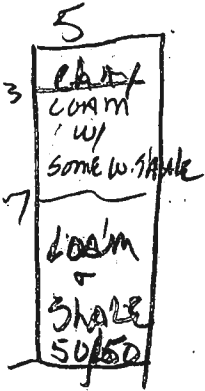
① ② ③ ④

SOIL PROFILE



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

FORENCE RD



DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
9/17/51	P	S	10:17	10:22	10:22	10:32	10
		M	10:17	10:32	10:32	10:58	26
	Z	S	10:25	10:35	10:35	10:52	7
		M	10:25	10:35	10:35	10:58	5
	Y	S	11:39	11:42	11:42	11:55	13
		M	11:36	11:42	11:42	11:54	12
	S	S	11:57	12:00	12:00	12:05	5
		M	12:00	12:02	12:02	12:05	3

18 min. avg inlet 3 ft.

DRAIN FIELDS

REMARKS: Some lat corras in some Pol in

TYPE OF SOIL: loam w/ shale & shale w/ loam

TESTED BY: SK 9/14/51

ALSO PRESENT: Sirks

EH-12-1079

C1 9525

SEQUENCE NO. (MDE USE ONLY)

STATE OF MARYLAND WELL COMPLETION REPORT

FILL IN THIS FORM COMPLETELY PLEASE PRINT OR TYPE

THIS REPORT MUST BE SUBMITTED WITHIN 45 DAYS AFTER WELL IS COMPLETED.

COUNTY NUMBER A 31539

(THIS NUMBER IS TO BE PUNCHED IN COLS. 3-6 ON ALL CARDS)

ST/CO USE ONLY DATE RECEIVED

072497

DATE WELL COMPLETED

080197

Depth of Well

260 (TO NEAREST FOOT)

PERMIT NO. FROM "PERMIT TO DRILL WELL"

H0-94-1240

OWNER James + Carol Richards

STREET OR RFD Florence Road

TOWN Mt. Airy

SUBDIVISION Florence Estates

SECTION

LOT 13

WELL LOG

Not required for driven wells.

STATE THE KIND OF FORMATIONS PENETRATED, THEIR COLOR, DEPTH, THICKNESS AND IF WATER BEARING

Table with columns: DESCRIPTION, FEET (FROM, TO), check if water bearing. Includes entries for top soil, shale, brown slate, and blue slate.

GROUTING RECORD

WELL HAS BEEN GROUTED (Y/N), TYPE OF GROUTING MATERIAL (CEMENT, BENTONITE CLAY), NO. OF BAGS, NO. OF POUNDS, GALLONS OF WATER, DEPTH OF GROUT SEAL.

CASING RECORD

casings types insert appropriate code below (ST, CO, PL, OT), MAIN CASING TYPE, Nominal diameter top (main) casing, Total depth of main casing.

OTHER CASING (if used)

Table for other casing with columns for diameter inch and depth (feet) from to.

SCREEN RECORD

screen type or open hole insert appropriate code below (ST, BR, HO, PL, OT).

NUMBER OF UNSUCCESSFUL WELLS:

WELL HYDROFRACTURED (Y/N)

CIRCLE APPROPRIATE LETTER A: A WELL WAS ABANDONED AND SEALED WHEN THIS WELL WAS COMPLETED. E: ELECTRIC LOG OBTAINED. P: TEST WELL CONVERTED TO PRODUCTION WELL.

I HEREBY CERTIFY THAT THIS WELL HAS BEEN CONSTRUCTED IN ACCORDANCE WITH COMAR 26.04.04 "WELL CONSTRUCTION" AND IN CONFORMANCE WITH ALL CONDITIONS STATED IN THE ABOVE CAPTIONED PERMIT...

TYPE MWD/MSD/MGD 40

DRILLERS LIC. NO. George T. Eustanding

DRILLERS SIGNATURE (MUST MATCH SIGNATURE ON APPLICATION)

LIC. NO. MWD 481

SITE SUPERVISOR (sign. of driller or journeyman responsible for sitework if different from permittee)

C 2 DEPTH (nearest ft.)

Table for depth measurements with columns for depth (nearest ft.) and rows for casing sections.

SLOT SIZE 1 2 3 DIAMETER OF SCREEN (NEAREST INCH)

GRAVEL PACK IF WELL DRILLED WAS FLOWING WELL INSERT F IN BOX 68

MDE USE ONLY (NOT TO BE FILLED IN BY DRILLER) (E.R.O.S.) W.Q.

TELESCOPE CASING LOG INDICATOR OTHER DATA

C 3

PUMPING TEST

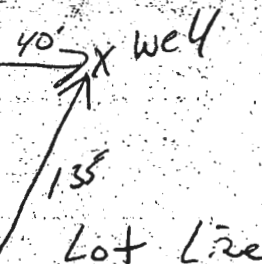
HOURS PUMPED (nearest hour) 3, PUMPING RATE (gal. per min.) 110.0, METHOD USED TO MEASURE PUMPING RATE Bucket, WATER LEVEL (distance from land surface) BEFORE PUMPING 43 ft., WHEN PUMPING 95 ft., TYPE OF PUMP USED (for test) S submersible.

PUMP INSTALLED

DRILLER WILL INSTALL PUMP YES (NO), IF DRILLER INSTALLS PUMP, THIS SECTION MUST BE COMPLETED FOR ALL WELLS. TYPE OF PUMP INSTALLED PLACE (A,C,J,P,R,S,T,O) IN BOX 29. CAPACITY: GALLONS PER MINUTE (to nearest gallon), PUMP HORSE POWER, PUMP COLUMN LENGTH (nearest ft.), CASING HEIGHT (circle appropriate box and enter casing height) above/below LAND SURFACE (nearest foot).

LOCATION OF WELL ON LOT

SHOW PERMANENT STRUCTURE SUCH AS BUILDING, SEPTIC TANKS, AND/OR LANDMARKS AND INDICATE NOT LESS THAN TWO DISTANCES (MEASUREMENTS TO WELL)



LOT 9

LOT 10

LOT 13

SEE

SHEET 5 OF 5

RESTRICTION LINE

DRAINAGE & UTILITY

LOT 10
1563 AC.

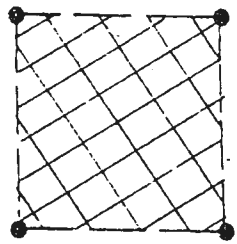
60' B.R.L.

4°30'00"W 576.84'

262.60'

60' B.R.L.

30' BUILDING RESTRICTION LINE



30' B.R.L.

LOT 12

3.1690 AC.

VEHICULAR
INGRESS & EGRESS
TO FLORENCE ROAD
FROM LOT 11 IS
DENIED.

B.R.L.

36°25'47"W
260.00'

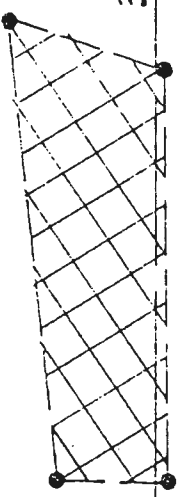
10

S 45°46'00" E
209.78'

EASEMENT

60' B.R.L.

30' BUILDING RESTRICTION LINE



30' B.R.L.

LOT 13

3.5407 AC.

7-23-97
Well site ok as
staked
B.R.L. (M)

901.29'
207.00'

419.86'
210.08'

B.R.L.

BUILDING
RESTRICTION
LINE

LINE

S 53°37'13" W 762.07'

30' B.R.L.

LOT 13
3.5407 AC.

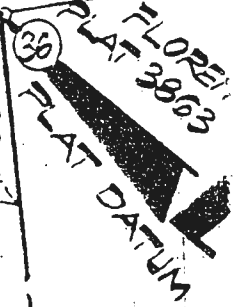
RESTRICTION

30' BUILDING

818.95'

S 47°00'00" W

SEE SHEET 3 OF 5
LOT 15



796.51'

R. 570.00'
A. 74.35'

224.29'

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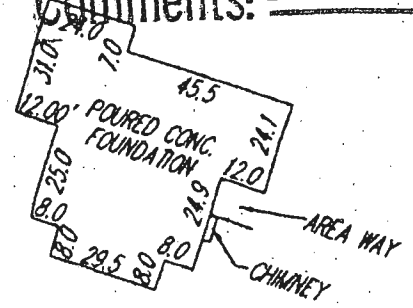
3/16/04

Pool location OK
must maintain 10' separation between
septic tank & Pool.

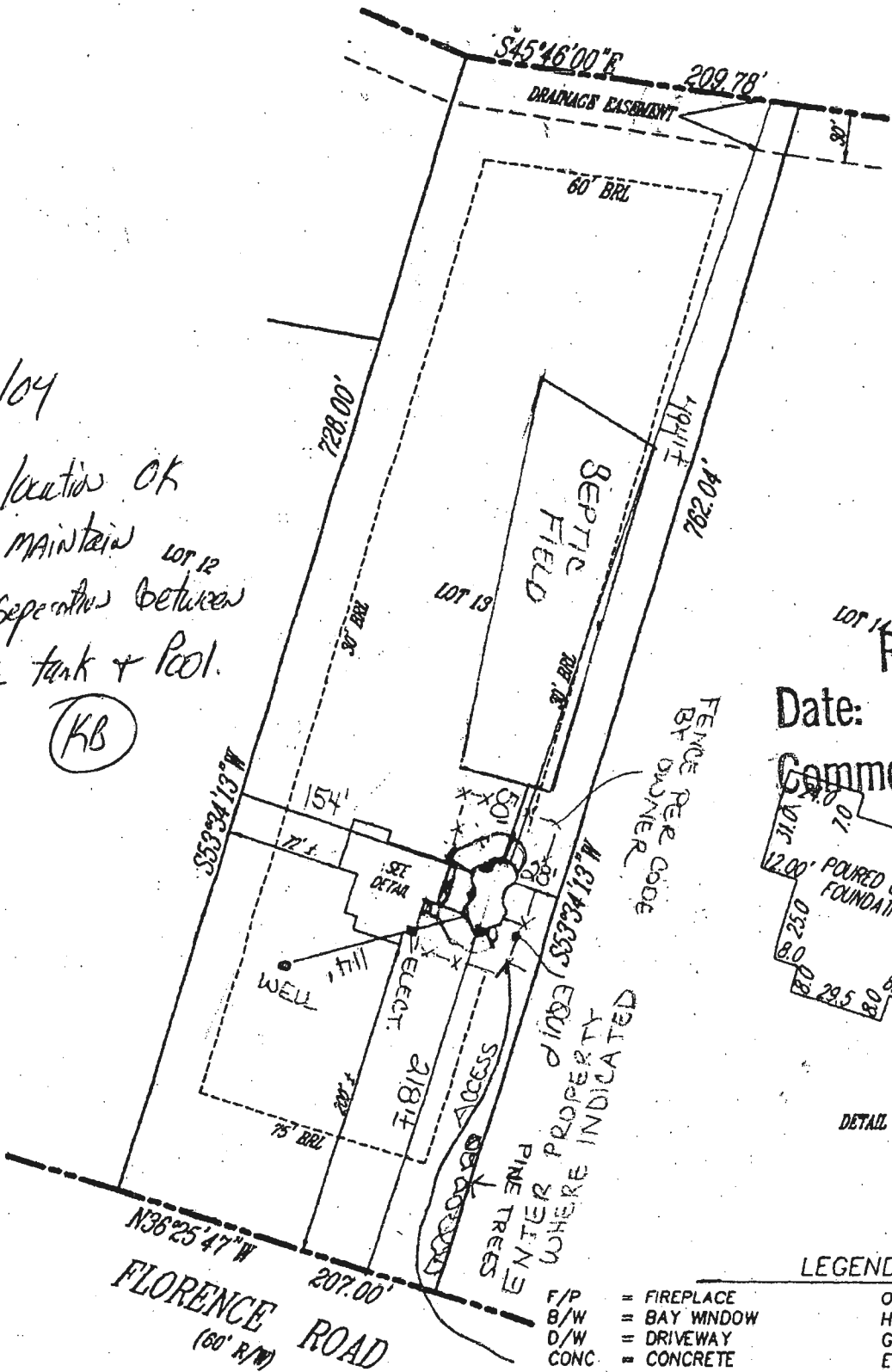
(KB)

REVISED
SITE
PLAN

REVISED
Date: 3/11/04
Comments: B00146175



DETAIL SCALE: 1"=50'



LEGEND

- | | | | |
|-------|--------------|-----|---------------------|
| F/P | = FIREPLACE | O/H | OVERHANG |
| B/W | = BAY WINDOW | H/P | HEAT PUMP/AIR COND. |
| D/W | = DRIVEWAY | G/M | GAS METER |
| CONC. | = CONCRETE | E/M | ELECTRIC METER |

ADDRESS No.: #2085 FLORENCE ROAD
TOP OF WALL ELEV. = 681.2± FIRST FLOOR ELEV. = 682.0 ±
NO BOUNDARY OR MONUMENTATION ESTABLISHED OR LOCATED.

THE LOCATION DRAWING IS OF BENEFIT TO THE CONSUMER ONLY
INSOFAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE
COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED
TRANSFER, FINANCING OR REFINANCING;

THE LOCATION DRAWING IS NOT TO BE RELIED UPON FOR THE ES-
TABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR
OTHER EXISTING OR FUTURE IMPROVEMENTS;

AND THE LOCATION DRAWING DOES NOT PROVIDE FOR THE
ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT
SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER
OF TITLE OR SECURING FINANCING OR REFINANCING.

LOT 13
FLORENCE ESTATES
SECTION TWO
HOWARD COUNTY, MARYLAND

NICK BASEMENT REMODEL

2085 FLORENCE RD
MT AIRY, MD 21771



EST. 1999
2380 COOL CREEK DRIVE
(410) 863-3949
CLARKSVILLECONSTRUCTION.NET

ABBREVIATIONS (NOT ALL ABBREVIATIONS ARE USED)

DIM DIMENSION	AN ANCHOR BOLT	HP HIGH POINT	PRFAB PREFABRICATED
DSP DISPENSER	ABN ABOVE	HVAC HEATING VENT, AIR COND	PSF POUNDS PER SQUARE FOOT
DM DIMENSION (DIMENSION)	ACC ACCESS	ID INSIDE DIAMETER	PSI POUNDS PER SQUARE INCH
DN DOWN	ACQUE ACQUICAL	INSL INSULATION	PT PAINT
DS DOWN SPOUT	AD AREA DRAIN	INST INSTALLATION	PT PAINT
DA DRAIN	ADJ ADJUSTABLE	INT INTERIOR	QT QUARRY TILE
DW DISHWASHER	AFB ABOVE FINISH FLOOR	JAN JANETION	QTY QUANTITY
DWGS DRAWINGS	AHU AIR HANDLING UNIT	JST JOIST	RAD RADIUS
DWR DRAWER	ALT ALTERNATE	JT JOINT	RD ROOF DRAIN
E EAST	ALUM ALUMINUM	KD KNOCK DOWN	REF REFRIGERATOR
EA EACH	ANC ANCHORS	KI KITCHEN	REIN REINFORCED (ING)
EI EXPANSION JOINT	APPROX APPROXIMATE	KO KNOCK OUT	REQ REQUIRED
EL ELEVATION	ARCH ARCHITECT	LAM LAMINATED	RES RESILIENT
ELEC ELECTRICAL	ALTO ALUMINUM	LAV LAVATORY	REV REVISE (REVISION)
ELEV ELEVATION	AVS AVERAGE	LP LEADPOINT	RE REINFORCE OPENING
ENCL ENCLOSURE	B BATHROOM	LN LINEAR	RTU ROOF TOP UNIT
ENT ENTRANCE	BD BOARD	LT LIGHT	SC SOLID CORE
EQ EQUAL	BIT BIT NAILING	LW LIGHTWEIGHT	SCHED SCHEDULE
EQUIP EQUIPMENT	BLDG BUILDING	MMCH MACHINE	SECT SECTION
EXR EXISTING TO REMAIN	BKX BLOCK	MAINT MAINTENANCE	SF SQUARE FOOT/FEET
EWC ELEC WATER COOLER	BKGS BLOCKING	MAIL MATERIAL	SIT 5'-0" IT
EX EXISTING	BM BERM	MAX MAXIMUM	SIM SIMILAR
EXF EXHAUST	BO SHOWER	MXC MAXIMUM DENSITY	SKR SKRUBBER
EXT EXTENSION	BOT BOTTOM	FIBERGLASS	SL SLIDING
FU FLOOD FURN	BOE BOARD	MESH MESH/ARCAIC	SO SQUARE
FOFC FIRE EXIT PUSHER	BRKT BRACKET	MEMB MEMBRANE	SSK SERVICE SINK
FG FINISH GRADE	BS BUILDING SETBACK LINE	MET METAL	SSTL STAINLESS STEEL
FT FOOT (FEET)	BSMT BASEMENT	MTL METAL	STC SOUND TRANSMISSION CLASS
FF FINISHED FLOOR	BUI BUILT UP	MZZ MEZZANINE	STD STANDARD
FFBE FUTURE FURNITURE & EQUIPMENT	CAB CABINET	MFR MANUFACTURER	STL STEEL
PVC BALL VALVE CABINET	CEM CEMENT	MFR MANUFACTURER	STR STAIN
FIN FINISH	CF CURB FOOT (FEET)	MSC MISCELLANEOUS	STOR STORAGE
FL FLOOR	CAI CAST IRON	MULD MOLDING	STRCT STRUCTURAL
FLEX FLEXIBLE	CC CONTROL CENTER	MU MASONRY OPENING	SUSP SUSPENDED
FLSS FLASHING	CCG CEILING	MOD MODIFIED	SW SWITCH
FLOOR FLOORING	CL CONTRACT LIMIT LINE	MTO MOUNTED	SYS SYSTEM
FR FRAME	CLC CLOSET	MC NOT IN CONTRACT	IT TEMPERED GLASS/WINDOW
FRF FIRE PROOFING	CLJ CLEAR	NO NORTH	TRB TO BE REMOVED
FRS FIRE RESTRAINT	CMU CONCRETE MASONRY	NK NOISE REDUCT ON COEFFICIENT	TEL TELEPHONE
FIG FIGURING	CON CONCRETE	NTS NOT TO SCALE	TEMP TEMPORARY
FLR FLOORING	CH CORNER	CA OVERALL	TBS TONGUE & GROOVE
FX FIXED WINDOW	CH CONCRETE HEADST	CC OVER CENTER	TKR THICK
GA GALVAL	CO COLUMN	OD OUTSIDE DIAMETER	THR THRESHOLD
GALV GALVANIZED	CONC CONCRETE	OFF OFFICE	TV TELEVISION
GB GYPSUM BOARD	CONCT CONSTRUCTION	OTO OWNER FURNISHED	TP TYPICAL
GC GENERAL CONTRACTOR	CONT CONTINUOUS	CONF FACTORY INSTALLED	LI LABORATORY'S LABORATORIES
GL GLASS	CS COURSES	OH OVERHEAD	LMP UNFINISHED
GR GRADE	CS CASEMENT WINDOW	OP OVERHEAD	LNO UNLESS NOTIFIED OTHERWISE
GWB GYPSUM WALLBOARD	CT CARPET	OP HD OPPOSITE HAND	LTL UTILITY
HR HOSE BR	CTR CENTER	OPP OPPOSITE	VERT VERTICAL
HC HOLLOW CORE	CSK COUNTER SINK	PAR PARTIAL	VF VERIFY IN FIELD
HD HEAVY DUTY	DBL DOUBLE	PART PARTITION	W WEST
HOWD HARDWOOD	DEPT DEPARTMENT	PE PEDESTRIAN	WH WATER HEATER
HOWH HARDWARE	DET DETAIL	P-LAM PLASTIC LAMINATE	W/O WITH OUT
HT HEIGHT	DF DRINKING FOUNTAIN	PLWD PLWOOD	WP WATERPROOFING
HM HOLLOW METAL	DIA DOUBLE END	PL PANEL	WR WATER RESISTANT
HOBZ HORIZONTAL	DIF DIFFUSER	PL POLY (POUSHED)	W/ WEIGHT
		PT PRESERVATIVE PRESSURE TREATED	
		PE PAINT	

GENERAL NOTES

1. THESE CONSTRUCTION NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE (INCLUDING CCS CONSTRUCTION OR RELATED MATERIAL/INSTALLATION DRAWINGS) FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE CONSTRUCTION NOTES NOR THE DRAWINGS ARE TO INTERPRET OR ARE SUFFICIENT IN DESCRIBING THE COMPLETED DESIGN INTENT.
2. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL GOVERN. CCS PERSONNEL AND SUB-CONTRACTORS AS IT RELATES TO THEIR WORK SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE CCS DESIGNER BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES, STEEL, STAIRS, ROOF AND/OR FLOOR TRUSSES.
3. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, CCS PERSONNEL AND SUB-CONTRACTORS SHALL CONTACT THE DESIGNER FOR CLARIFICATION.
4. STAIR RISERS SHALL NOT EXCEED 7.75" AND TREAD DEPTH SHALL BE A MIN OF 10".
5. ALL SUB-CONTRACTORS AND CCS PERSONNEL SHALL BE REQUIRED TO SEAL PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE CAUSED BY THEIR TRADES. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. SEAL PENETRATIONS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

INDEX OF DRAWINGS

SHEET #	SHEET NAME
B001	COVER SHEET
B101	DEMOLITION & PROPOSED PLANS

SCOPE OF WORK

BASEMENT REMODEL - 1465 SF

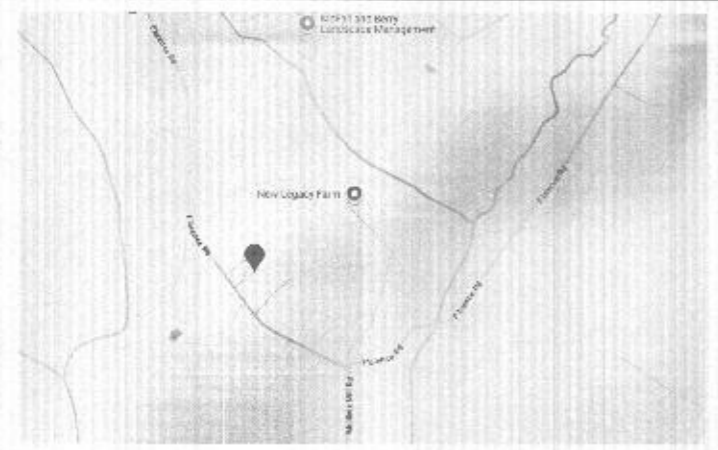
GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND SAFE MANNER IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES & REGULATIONS IN ACCORDANCE OF ACCEPTED GOOD PRACTICE. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ENFORCING RULES ON CONSTRUCTION SITE. ARCHITECT/GENERAL CONTRACTOR CONSTRUCTION SITE IS ONLY VISING AS OBSERVER AND NOT RESPONSIBLE FOR SITE OR WORKERS.
2. ALL INSTALLATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE MATERIAL, EQUIPMENT, AND OR MANUFACTURERS SPECIFICATIONS.
3. DIMENSIONS ARE TO BE TAKEN FROM DIMENSION STRINGS ONLY. DO NOT SCALE DRAWINGS. ANY DIMENSIONS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY FOR THE DESIGNER TO RESOLVE.
4. MATERIALS OR ITEMS IDENTIFIED BY THE MANUFACTURER'S NAME OR TRADE NAME MAY BE SUBSTITUTED BY A LIKE PRODUCT OF A DIFFERENT MANUFACTURER, ONLY WITH THE APPROVAL OF THE DESIGNER. OR OWNER PRIOR TO ORDERING/INSTALLING. CONTRACTOR IS WELCOME AND ENCOURAGED TO SUBMIT SUGGESTIONS.
5. PREMISES SHALL BE LEFT "BROOM CLEAN" AND EXTENSOR SHALL BE COMPLETELY FREE OF DEBRIS UPON COMPLETION OF WORK. ALL SUBCONTRACTORS ARE REQUIRED TO CLEAN PREMISES AND DETECTOR OF THEIR DEBRIS DAILY, UNLESS SPECIFICALLY EXEMPTED BY OWNER. PARTICULAR EFFORT IS TO BE TAKEN TO MINIMIZE & CLEAN-UP DEBRIS WITHIN EXISTING PREMISES, ON A DAILY BASIS.
6. THERE IS TO BE NO SMOKE OF ANY KIND IN RESIDENCE FROM COMMENCEMENT OF FRAMING.
7. ALL EXTERIOR WALL FRAMING TO BE 2X4 AND INTERIOR WALL FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE NOTED ON THE FRAMING PLANS.
8. I.C. TO COORDINATED KITCHEN LAYOUT REQUIREMENTS. IN TERMS OF VENTING AND ELECTRICAL POINTS WITH FINAL KITCHEN DESIGN AND SELECTED APPLIANCES.

SECTION 1: GENERAL REQUIREMENTS

1. WORK PERFORMED SHALL COMPLY WITH THIS GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS.
2. WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
3. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS.
4. DISCREPANCIES THERE SHALL CORRECT AND CORRECTIVE ALL DRAWINGS, IF IN THE OPINION OF THE GC A DISCREPANCY EXISTS THE GC SHALL PROMPTLY NOTIFY ARCHITECT OF THE DISCREPANCY AND INCLUDE PROPOSED SOLUTION FOR APPROVAL, PRIOR TO PROCEEDING WITH WORK.
5. OMISSIONS: IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THE CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED AND AS APPLICABLE TO CODES, REGULATIONS AND INDUSTRY STANDARDS.
6. ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL, SAFE MANNER AND IN STRICT ACCORDANCE WITH CODES, REGULATIONS, MANUFACTURERS SPECIFICATIONS/RECOMMENDATIONS AND STANDARD PRACTICES.
7. DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. ALL DIMENSIONS ARE TO THE ROUGH FRAMING I.F.O.

VICINITY PLAN



CODE VERSION

BUILDING CODE: 2021 IRC
TYPE OF CONSTRUCTION : VB WOOD
FRAMED CONSTRUCTION
USE GROUP: R-5 SINGLE FAMILY RESIDENTIAL

COVER SHEET

REVISION	DATE
	05/27/2025
PROJECT	AJ21629
SHEET	B001

24X36 SHEET, DO NOT SCALE DRAWINGS

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REVISION	DATE
	05/27/2025

OFFICIAL COUNTY USE ONLY

PROJECT NAME AND ADDRESS
NICK BASEMENT REMODEL
 2085 FLORENCE RD
 MT AIRY, MD 21771

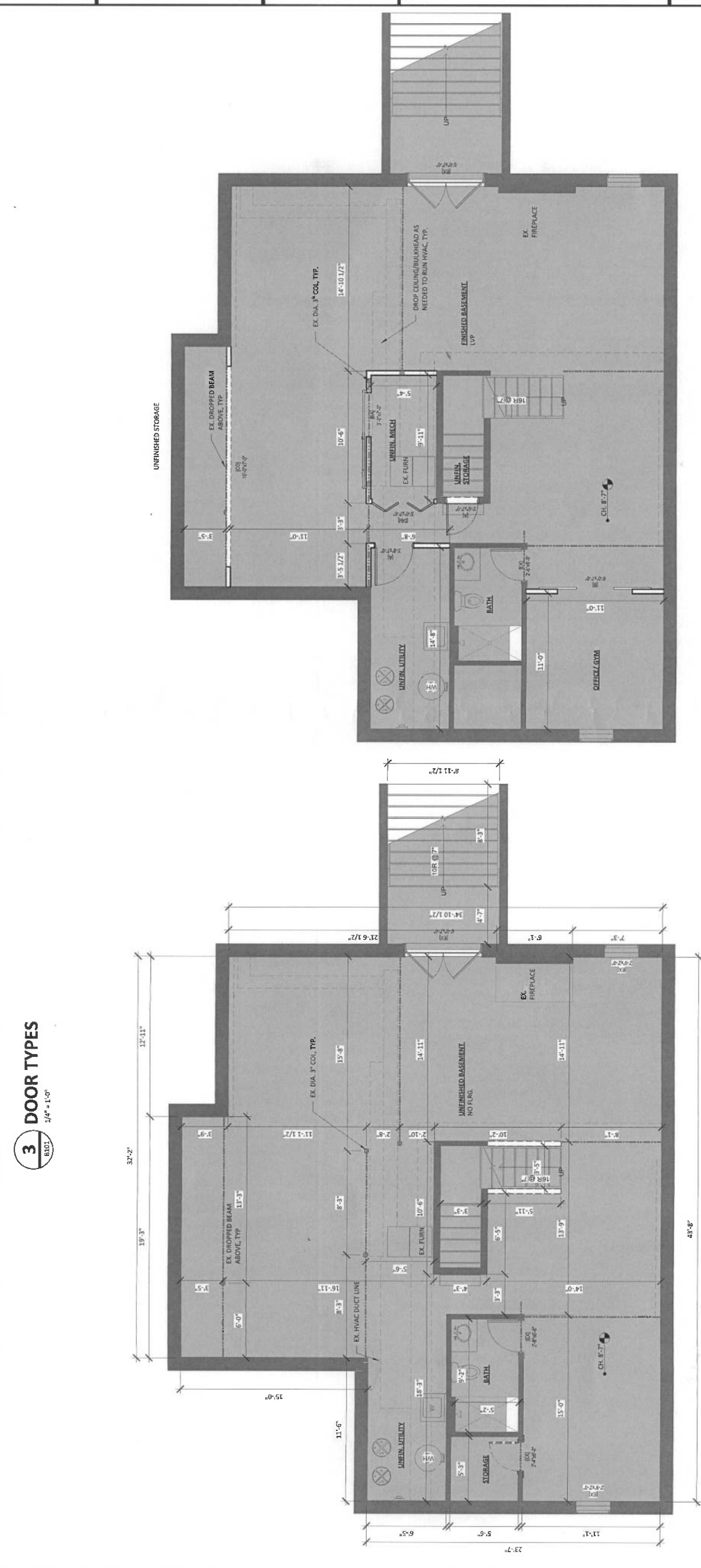
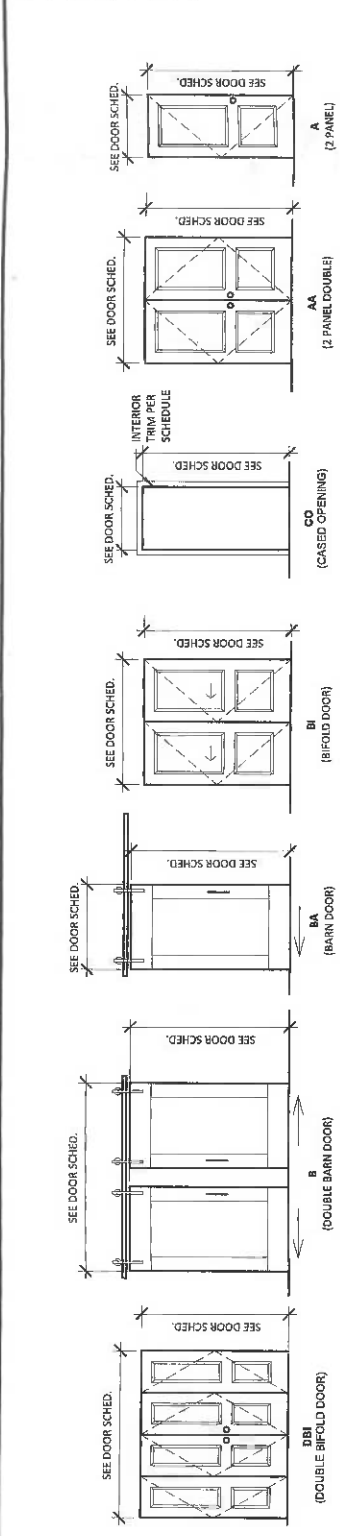
SHEET #	DATE	PROJECT	THREE
B101	05/27/2025	AJ21629	

DEMOLITION & PROPOSED PLANS

- GENERAL NOTES**
- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS
 - DIMENSIONS SHOWN ARE TO FRAMED WALLS
 - EXISTING BASEMENT CEILING HEIGHT IS 7'-8"
 - EXISTING BASEMENT CEILING HEIGHT IS 7'-8"
 - COORDINATE EXTENT OF DEMOLITION WITH NEW MCKB DRAWINGS
 - FIELD VERIFY ALL EXISTING CONSTRUCTION RELATED CONDITIONS PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION.
 - UNLESS OTHERWISE NOTED, NEW WALLS ARE TO BE 2X4 STUDS @ 16" O.C.
 - SEE FLOOR PLANS FOR DOOR SWINGS.
 - COORDINATE ROUGH OPENINGS WITH MANUFACTURER REQUIREMENTS

DOOR SCHEDULE

FLOOR	TYPE	COUNT	WIDTH	HEIGHT	MANUFACTURER
BASEMENT FLOOR	BA	1	3'-6"	7'-0"	TBD
BASEMENT FLOOR	A	1	2'-6"	7'-0"	TBD
BASEMENT FLOOR	DBI	1	5'-0"	7'-0"	TBD
BASEMENT FLOOR	B	1	6'-0"	7'-0"	TBD
BASEMENT FLOOR	A	1	3'-0"	7'-0"	TBD
BASEMENT FLOOR	CO	1	16'-0"	7'-0"	TBD



2 PROPOSED BASEMENT FLOOR PLAN
 1/4" = 1'-0"
 B101

1 DEMO. BASEMENT FLOOR PLAN
 1/4" = 1'-0"
 B101