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2

Proposed Renovation and Addition to the **REED RESIDENCE**

14570 Triadelphia Rd. Glenelg MD 21737



Door & Window Schedule

DOOR SCHEDULE							
LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	ROOM NAME	MANUFACTURER/COMMENTS
18070	1	1	18070	216 1/4"x84 1/8"	GARAGE-G12-REG13	GARAGE EXTENSION	
2868	1	1	2868 L EX	34"x84"	EXT. HINGED-DOOR E06	GARAGE EXTENSION/DECK	
3068	1	1	3068 L IN	38"x82 1/2"	HINGED-GLASS PANEL	MORNING ROOM/DECK	

WINDOW SCHEDULE										
LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	REGRESS	TEMPERED	MANUFACTURER	ROOM NAME	COMMENTS
2846DH	1	1	2846DH	32"x54"	DOUBLE HUNG			THOMPSON CREEK	GARAGE EXTENSION	
3050DH	1	1	3050DH	36 1/2"x60 1/2"	DOUBLE HUNG			THOMPSON CREEK	MORNING ROOM/DECK	
6050MU	2	1	6050	72 1/2"x60 1/2"	MULLED UNIT			THOMPSON CREEK	MORNING ROOM	

GENERAL NOTE
Soil Bearing to be minimum 2000 PSF

GENERAL NOTE
All Bill-plates in Contact With Concrete Shall Be Pressure-Treated and Fastened with 1/2" x3" Simpson Titan HD 50500H anchor OR Eq @ max48" O/C (TYP)

GENERAL NOTE
Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (IRC 2021 R317)

GENERAL NOTE:
Preservative-treated Lumber shall be southern pine, grade #2 or better. Lumber in contact with the ground shall be rated as "ground-contact"

GENERAL NOTE:
All Nailing Pattern and Nail size/type shall comply with IRC 2021 table R602.3.1 and table R602.5.1(4)

GENERAL NOTE:
All SHNR Areas And/or Tiled Wall Areas Shall Have (min) 1/2" Cement-Board Backing. All Cement-Board Seams To Be Blocked with (min) 2x4" Blocking Set On High (TYP)

GENERAL NOTE:
All Bath Wall and CLNG Areas Shall Have 1/2" M.R Greenboard. (TYP)

GENERAL NOTE:
ALL Exhaust Fan to be vented to Exterior (TYP)

NOTE
All Stairs Shall Be Constructed According To IRC 2021 R311.1

NOTE
Where Applicable -All interior and exterior stairways shall be provided with a means to illuminate the stairs, including landings and treads, as per applicable Local Building Codes

Design Parameters

IRC 2021 TABLE R301.2 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA, HOWARD COUNTY

Ground Snow Load	Wind Design				Seismic Design Category	Subject To Damage From			Winter Design Temp	Ice Barrier Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termites					
40 lbs	115	No	No	No	A	Severe	30"	Mod Heavy	20°F	Yes	See Flood Maps	1500	55°F

Stats

First Floor Additional Area : 121 sq'
First Floor Remodeling Area : 0sq'
First Floor Additional Garage Area : 314 sq'
Total First Floor : 435 SQ.FT.

Second Floor Additional Area : 0 sq'
Second Floor Remodeling Area : 0 sq'
Total Second Floor : 0 SQ.FT.

FNDTN Additional Area : 0 sq'
FNDTN Remodeling Area : 0 sq'
Total FNDTN. : 0 SQ.FT.

Decks: 230 sq'
Covered Decks : 0 sq'
Covered Porches : 0 sq'
Re-purposed Area : 0 sq'

Roof Surface Additional sq' : Approx. 435 sq'

Project Area Total : 755 sq'
(Additional Area + Remodeling Area)

New Roofing Surface sq' : Approx. 845 sq'

GENERAL NOTE:
ALL WORK SHALL COMPLY WITH IRC 2021 FOR ONE AND TWO-FAMILY DWELLINGS, AND ALL AMENDMENTS BY APPLICABLE COUNTY

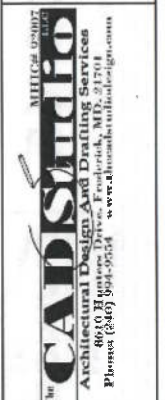
NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY HEIGHT OF EXISTING ROOF, EAVES, FASCIA, BALCONIES, CHIMNEYS AND WINDOWS PRIOR TO ORDERING AND INSTALLING NEW TRUSSES AND RAFTERS, NEW TRUSS AND RAFTER HEIGHT, PITCH AND OVERHANG MAY BE ADJUSTED TO CLEAR ANY OBSTRUCTIONS SUCH AS WINDOWS, CHIMNEYS, ETC., AND TO ALIGN RIDGES, EAVES AND FASCIAS

GENERAL NOTE:
ALL EXTN' DIMENSIONS ARE TO BE VERIFIED NEW WORK DIMENSIONS MAY BE ADJUSTED TO REFLECT EXISTING CONDITIONS

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Proposed Renovation and Addition to the
REED RESIDENCE
14570 Triadelphia Rd. Glenelg MD 21737



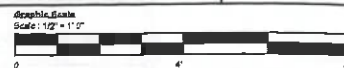
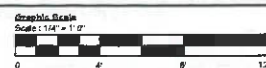
Contract No: R041123204
Permit No: P_0212322
Date: MARCH 04/2025

Drawn by: D.P.
Permit: PERMIT
Page Title: COVER SHEET

Page: C001
Page 1 of 23

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Contract No: R041123204
Permit No: P_0212322
Date: MARCH 04/2025

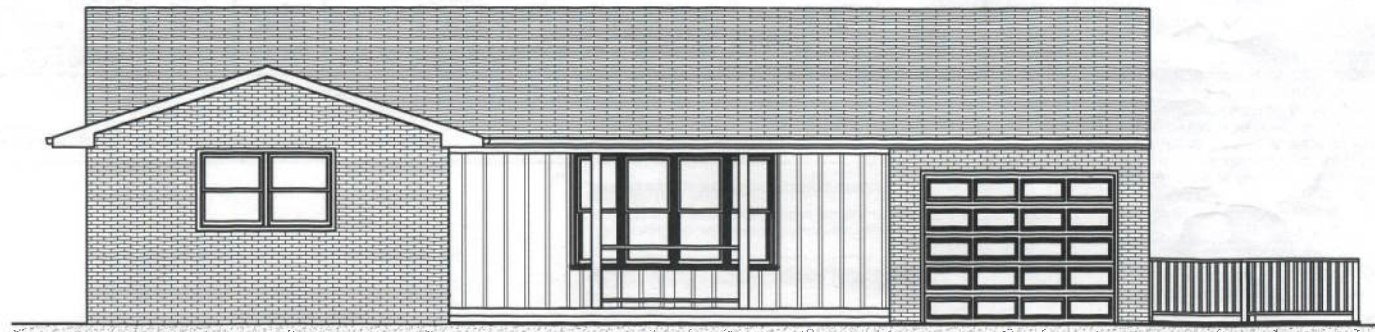


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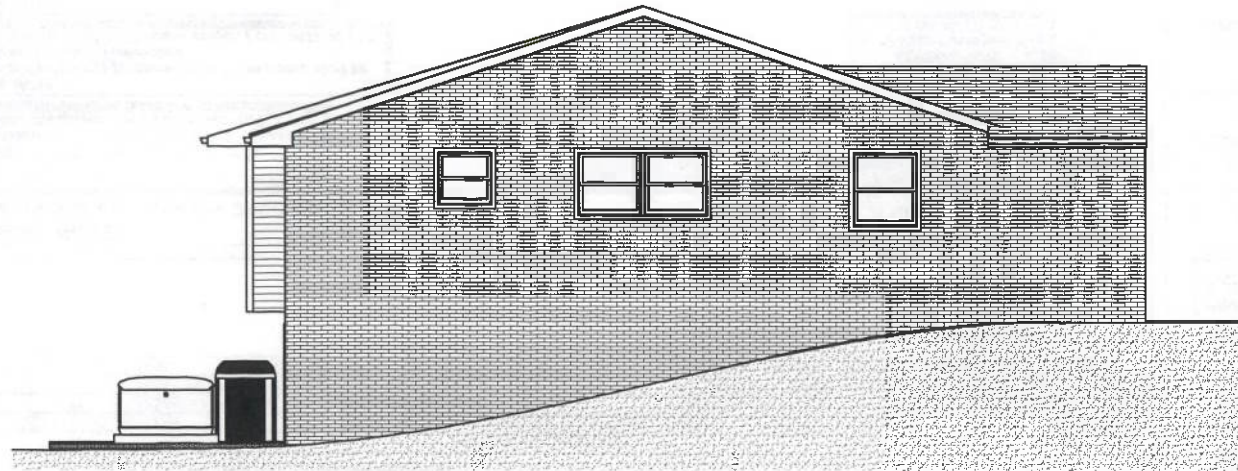
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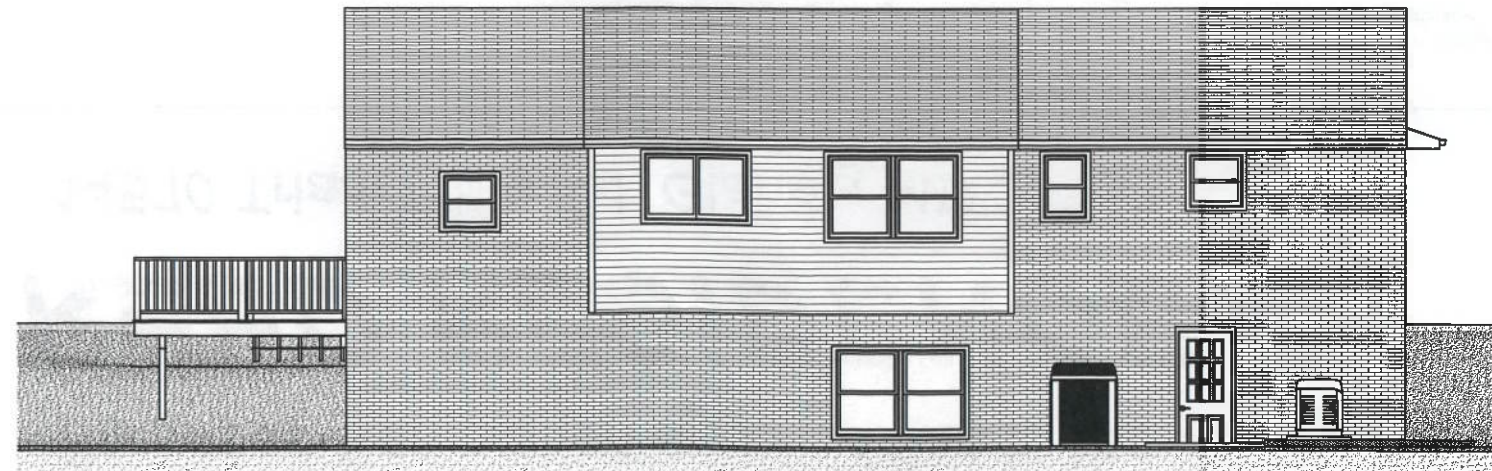
1 | EXISTING ELEVATION: Extn' Front Elevation
A001 | Scale : 1/4" = 1'- 0"



2 | EXISTING ELEVATION: Extn' Left Elevation
A001 | Scale : 1/4" = 1'- 0"



3 | EXISTING ELEVATION: Extn' Right Elevation
A001 | Scale : 1/4" = 1'- 0"



4 | EXISTING ELEVATION: Extn' Rear Elevation
A001 | Scale : 1/4" = 1'- 0"



Proposed Renovation and Addition to the
REED RESIDENCE
14570 Triadelphia Rd. Glenelg MD 21117



Concept Plan: Rev'd 11/23/24
Permit Plan: P_0312325
Date: MARCH 04/2025

Drawn by: D.S.
PHASE: PERMIT
Page Title:

EXISTING ELEVATION(s)

Page: A001
Page# 2 of 23

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S.C. Approval: _____ Sign: _____ Date: _____

Concept Plan: Rev'd 11/23/24
Permit Plan: P_0312325
Date: MARCH 04/2025



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GENERAL NOTE:
ALL WORK SHALL COMPLY WITH IRC 2021 FOR ONE AND TWO-FAMILY DWELLINGS, AND ALL AMENDMENTS BY APPLICABLE COUNTY

NOTE:
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GENERAL NOTE:
ALL EXISTING DIMENSIONS ARE TO BE VERIFIED. NEW WORK DIMENSIONS MAY BE ADJUSTED TO REFLECT EXISTING CONDITIONS.

FOOTING #1
(min) 12" dia X 30" h Conc. Pier (TYP)
@ (min) 30" below grade (TYP)

WOOD BEAM #4: 2-2x10' PT.
5'-4" Long ((max) Span @ 5'-0")
Nailed w/ 3 rows 16d nails staggered @ 12" O/C each side. Each Ply (TYP)
Set on 4x4" PT. Each End (Do Not Notch) Fastened with Simpson Strong-Tie: BC52-2/4

FOOTING #11
48" x 48" x 15" CONC. PAD (TYP) (Rebar 4 ea #4 each Way)
@ (min) 30" below grade (TYP)

WOOD BEAM #6: 2-2x10' PT.
9'-0" Long ((max) Span @ 10'-0")
Nailed w/ 3 rows 16d nails staggered @ 12" O/C each side. Each Ply (TYP)
Set on 6x6" PT. Each End (Do Not Notch) Fastened with Simpson Strong-Tie: BC52-2/6

WOOD BEAM #5: 2-2x10' PT.
9'-0" Long ((max) Span @ 10'-0")
Nailed w/ 3 rows 16d nails staggered @ 12" O/C each side. Each Ply (TYP)
Set on Notched 6x6" PT. Each End

GENERAL NOTE
Soil Bearing to be minimum 2000 PSF

GENERAL NOTE
All S/P-plates in Contact With Concrete Shall Be Pressure-Treated and Fastened with 1/2" x 20" Simpson Titen HD 3050SH anchor. GR EG @ max 48" O/C (TYP)

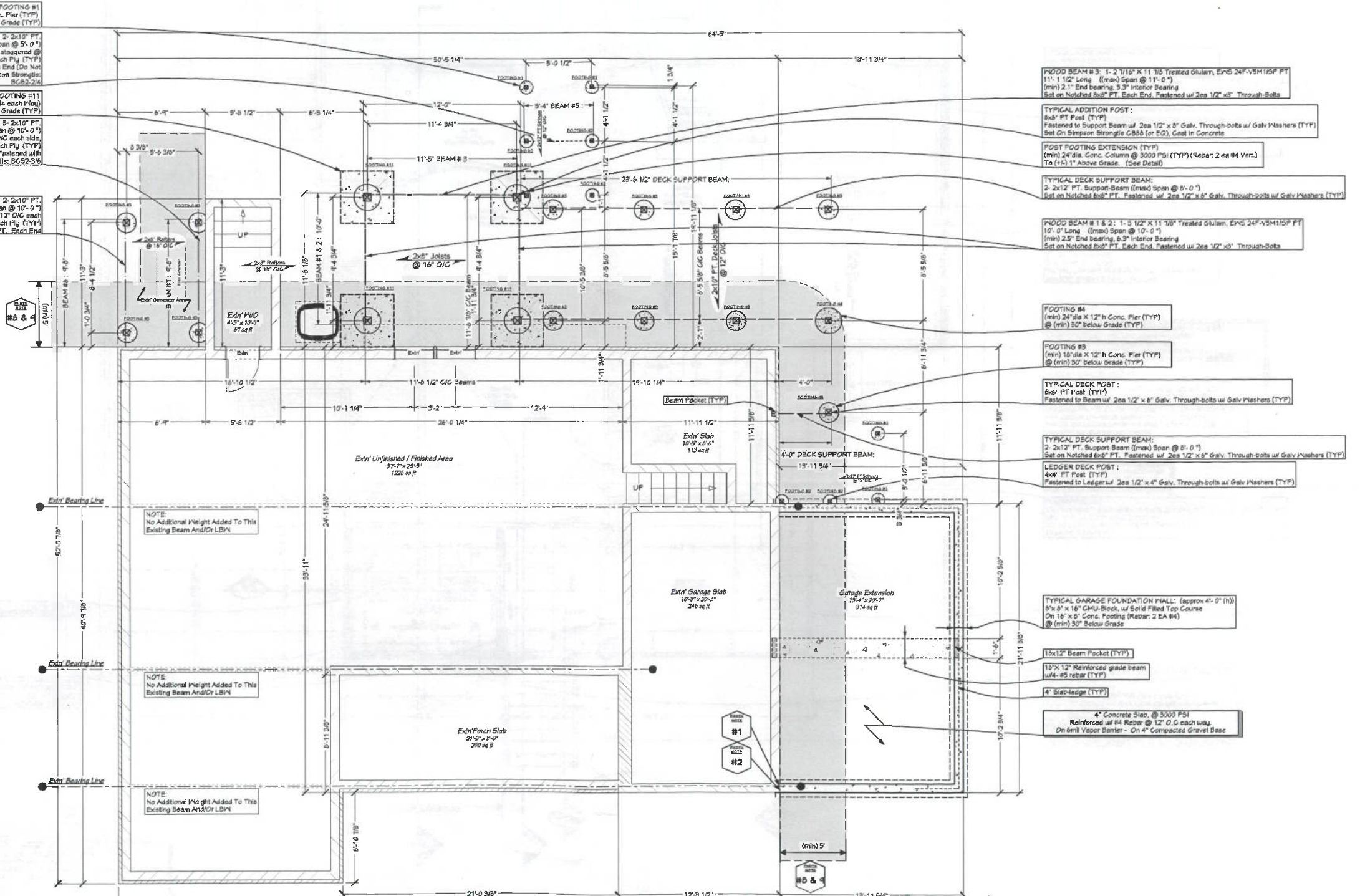
GENERAL NOTE
Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (IRC 2021 R317)

GENERAL NOTE:
Preservative-treated Lumber shall be southern pine, grade #2 or better. Lumber in contact with the ground shall be rated as "ground-contact"

GENERAL NOTE:
All Nailing Pattern and Nail size/type shall comply with IRC 2021 table R602.5.1 and table R602.5.1(4)

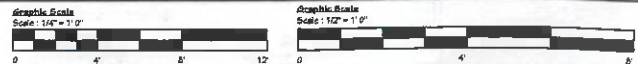
FOOTING SCHEDULE
Applies Only Where Shown On Plan

PLAN SYMBOL	FOOTING #	DESCRIPTION	REBAR	MIN PSI
	#1	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#2	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#3	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#4	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#5	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#6	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#7	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#8	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#9	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#10	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#11	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI
	#12	12" dia X 30" h Conc. Pier (TYP) @ (min) 30" below grade		MIN 5000 PSI



Home Owner Approval: _____ Date: _____
S.C. Approval: _____ Date: _____

Contract Plan No: 1119232V
Revised: 03/2025
Date: MARCH 04/2025



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Proposed Renovation and Addition to the
REED RESIDENCE
14570 Triadelphia Rd. Glenelg MD 21173



Contract Plan No: 1119232V
Revised: 03/2025
Date: MARCH 04/2025

Drawn by: D.B.
Project: PERMIT
Page Title: FNDTN PLAN

Page: A006
Page 7 of 25

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GENERAL NOTE:
ALL EXISTING DIMENSIONS ARE TO BE VERIFIED. NEW WORK DIMENSIONS MAY BE ADJUSTED TO REFLECT EXISTING CONDITIONS

GENERAL NOTE:
Soil Bearing to be minimum 2000 PSF

GENERAL NOTE:
All Sill-plates in Contact with Concrete shall be Pressure-Treated and Fastened with 1/2" x 3" Simpson Titan HD 50500H anchor OR Eq @ max 48" O/C (TYP)

GENERAL NOTE:
Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (IRC 2021 R311)

GENERAL NOTE:
Preservative-treated Lumber shall be southern pine, grade #2 or better. Lumber in contact with the ground shall be rated as "ground-contact"

GENERAL NOTE:
All Noting Polymers and Nail Sheaths shall comply with IRC 2021 table R302.2.1 and table R302.2.1(3)

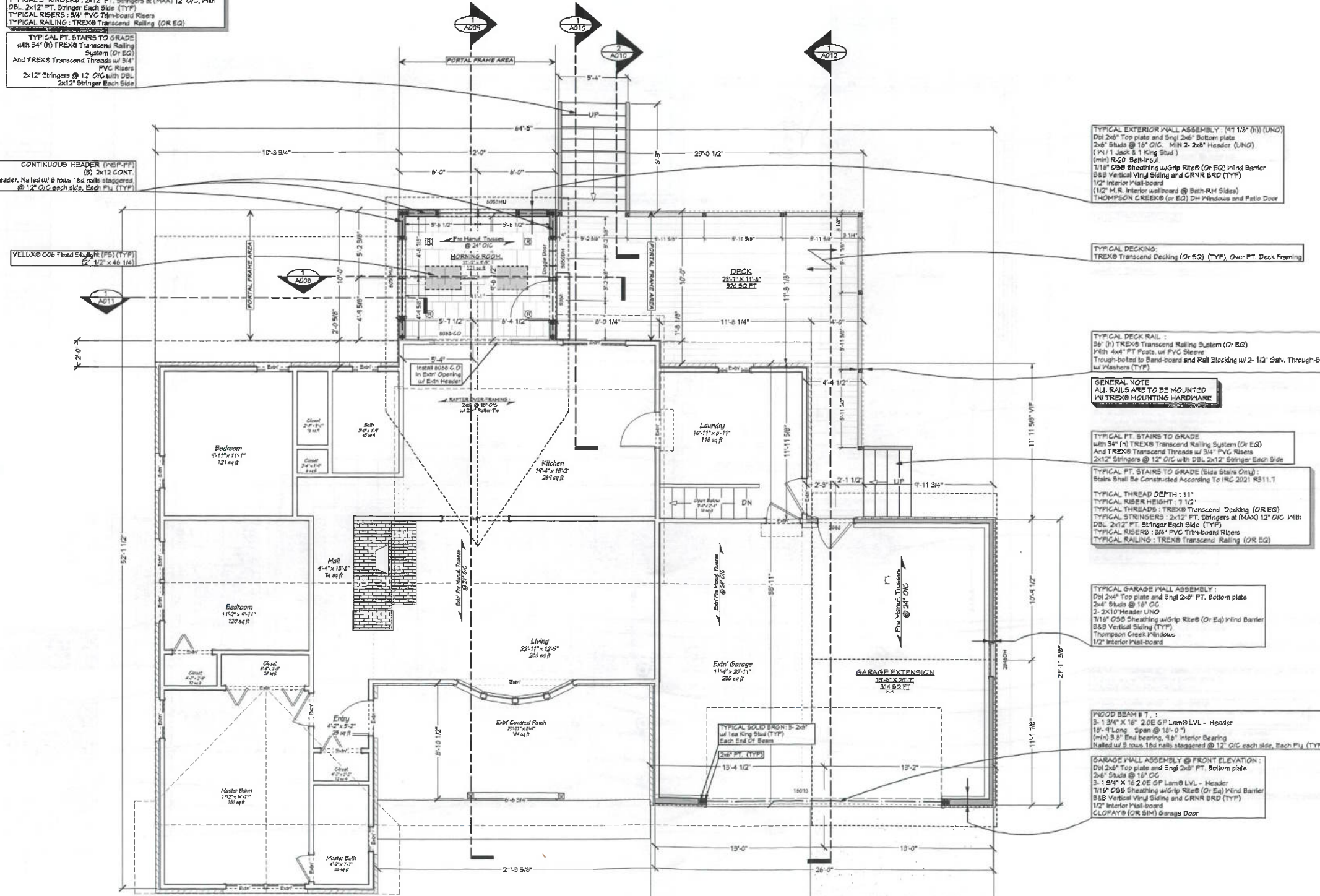
TYPICAL FT. STAIRS TO GRADE (Rear Stairs Only):
Stairs Shall Be Constructed According To IRC 2021 R311.1

TYPICAL RISER HEIGHT: 7 1/8"
TYPICAL THREAD DEPTH: 1 1/2"
TYPICAL THREDS: TREX® Transcend Decking (OR EQ)
TYPICAL STRINGERS: 2x12 FT. Stringers at (MAX) 12" O/C, With DBL 2x12 FT. Stringer Each Side (TYP)
TYPICAL RISERS: 5/4" PVC Trim-board Risers
TYPICAL RAILING: TREX® Transcend Railing (OR EQ)

TYPICAL FT. STAIRS TO GRADE with 3/4" (H) TREX® Transcend Railing System (OR EQ) And TREX® Transcend Threads w/ 3/4" PVC Risers
2x12" Stringers @ 12" O/C with DBL 2x12" Stringer Each Side

CONTINUOUS HEADER (INSP-PP) (3) 2x12 CONT. Header. Nailed w/ 3 rows 16d nails staggered @ 12" O/C each side. Spacing (TYP)

VELUX® G06 Fixed Skylight (FS) (TYP) (21 1/2" x 48 1/4")



TYPICAL EXTERIOR WALL ASSEMBLY: (4" 1/8" (H) UNO) Dbl 2x4" Top plate and Sngl 2x4" Bottom plate
2x6" Studs @ 16" O/C. MIN 2-2x6" Header (UNO) (W/ 1 Jack & 1 King Stud)
(min) R-20 Batt-insul.
1 1/4" OSB Sheathing w/ Grip Ribs® (OR EQ) Wind Barrier
3/8" Vertical Vinyl Siding and CRNR BRD (TYP)
1/2" Interior Plank-board
1 1/2" M.R. Interior Insulation @ Bath-RM Sides
THOMPSON GREEN® (OR EQ) DH Windows and Patio Door

TYPICAL DECKING:
TREX® Transcend Decking (OR EQ) (TYP), Over PT. Deck Framing

TYPICAL DECK RAIL:
3/4" (H) TREX® Transcend Railing System (OR EQ)
W/ 4x4" FT. Posts, w/ PVC Sleeve
Trough-bolted to Band-board and Rail Blocking w/ 2-1/2" Galv. Through-Bolts w/ Washers (TYP)

GENERAL NOTE:
ALL RAILS ARE TO BE MOUNTED W/ TREX® MOUNTING HARDWARE

TYPICAL FT. STAIRS TO GRADE with 3/4" (H) TREX® Transcend Railing System (OR EQ) And TREX® Transcend Threads w/ 3/4" PVC Risers
2x12" Stringers @ 12" O/C with DBL 2x12" Stringer Each Side

TYPICAL FT. STAIRS TO GRADE (Side Stairs Only):
Stairs Shall Be Constructed According To IRC 2021 R311.1

TYPICAL THREAD DEPTH: 1 1/2"
TYPICAL RISER HEIGHT: 7 1/8"
TYPICAL THREDS: TREX® Transcend Decking (OR EQ)
TYPICAL STRINGERS: 2x12 FT. Stringers at (MAX) 12" O/C, With DBL 2x12 FT. Stringer Each Side (TYP)
TYPICAL RISERS: 5/4" PVC Trim-board Risers
TYPICAL RAILING: TREX® Transcend Railing (OR EQ)

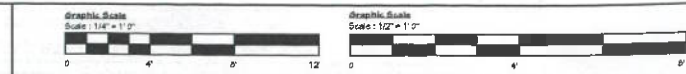
TYPICAL GARAGE WALL ASSEMBLY:
Dbl 2x4" Top plate and Sngl 2x4" PT. Bottom plate
2x4" Studs @ 16" O/C
2-2x10" Header UNO
1 1/8" OSB Sheathing w/ Grip Ribs® (OR EQ) Wind Barrier
3/8" Vertical Vinyl Siding and CRNR BRD (TYP)
Thompson Green® Windows
1/2" Interior Plank-board

WOOD BEAM # 7:
3-1 3/4" x 16" 2.0E 6P Laminated LVL - Header
18'-4" Long. Span @ 18'-0"
(min) 3-3" End bearing, 8-8" Interior Bearing
Nailed w/ 3 rows 16d nails staggered @ 12" O/C each side, Each Ply (TYP)

GARAGE WALL ASSEMBLY @ FRONT ELEVATION:
Dbl 2x4" Top plate and Sngl 2x4" PT. Bottom plate
2x6" Studs @ 16" O/C
3-1 3/4" x 16 2.0E 6P Laminated LVL - Header
1 1/4" OSB Sheathing w/ Grip Ribs® (OR EQ) Wind Barrier
3/8" Vertical Vinyl Siding and CRNR BRD (TYP)
1/2" Interior Plank-board
CLOPAY® (OR SIM) Garage Door

1 PLAN: First Floor Plan
A007 Scale: 1/4" = 1'-0"

Home Owner Approval: _____ Date: _____
S.C. Approval: _____ Date: MARCH 04/2025



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C O N T R A C T I N G
5340 Enterprise Street
Sykesville, MD 21784
410-781-7022
contact@owingsbrothers.com

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14570 Triadelphia Rd. Glenelg MD 21117

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Project: Reed 11/22/24
Permit No: P-0212025
Date: MARCH 04/2025
Sheet No: 03
Phase: PERMIT
Page Title: FIRST FLOOR PLAN

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NOTE:
ALL HEIGHTS AND MATERIAL DESIGNATION REMAINS THE SAME THROUGHOUT EACH ELEVATION AND THROUGHOUT THE ENTIRE PROJECT



1 | ELEVATION: Front Elevation
A004 | Scale : 1/4" = 1'- 0"



2 | ELEVATION: Left Elevation
A004 | Scale : 1/4" = 1'- 0"

OWINGS BROTHERS
C O M T R A C T I N G
5340 Enterprise Street
Sykesville, MD 21784
410-781-7022
contact@owingsbrothers.com

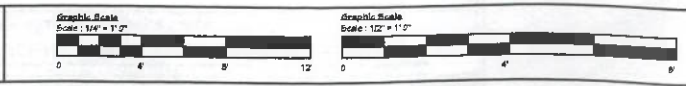
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Plan No: P_0212205
Date: MARCH 04/2025
Phase: PERMIT
Page Title: ELEVATIONS

Page: A004
Page 5 of 23

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Sign: _____ Sign: _____



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NOTE:
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1 | ELEVATION: Rear Elevation
A005 | Scale : 1/4" = 1'- 0"



2 | ELEVATION: Right Elevation
A005 | Scale : 1/4" = 1'- 0"

Home Owner Approval: _____ Date: _____
Sign: _____

S.C. Approval: _____ Date: _____
Sign: _____

Concept Plan: Rev: 11/2024
Permit Plan: P_01/2025
Date: MARCH 04/2025



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OWINGS BROTHERS
C O N S T R U C T I O N
5340 Enterprise Street
Sykesville, MD 21784
410-781-7022
contact@owingsbrothers.com

Proposed Renovation and Addition to the
REED RESIDENCE
14570 Triadelphia Rd. Glenelg MD 21737

THE CAD STUDIO
Architectural Design And Drafting Services
8610 Huntton Drive, Frederick, MD, 21701
Phone: (301) 964-9554 www.thecadstudiodesign.com

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