

Approved 5/21/25
-HO.

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Deck	B25001693	04/30/2025

Description of Work
 SFD / REAR DECK REPLACEMENT TO INCLUDE DEMO OF EXISTING DECK 18' X 12' AND STEPS.
 CONSTRUCT NEW REAR DECK 18' x 12' AND STEPS, APPROX. 220 SQ FT FOR REAR DECK
 AREA.**SUBJECT TO FIELD INSPECTION**

Online BA.

g 5/15/25

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
14317	MUSGROVE FARM	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.00781	39.27192
City	State	Zip Code	Primary
GLENWOOD	MD	21738	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
924353	12	33005	296000	497900	297880	RURAL

Legal Description
 LOT 29 33005 SQ []14317 MUSGROVE FARM CT []MUSGROVE FARM RSB PAR A

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	29	605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404372026	Musgrove Farm					
Section	Area	Tax Map					
		21					
Grid	Zoning District	ADC Map					
21-12	RR-DEO	4812-J7					
SDP No.	Final Plan No.	WP File No.					
SDP-04-136	F-03-128						
Record Plat No.	WS Contract No.	FDP No.	Primary				
19124-1912			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2010	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-09	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *
 NELKA
Address Line 1
 14317 MUSGROVE FARM CT
Address Line 2

Address Line 3

Mail City
 GLENWOOD
Mail State
 MD
Mail Zip Code
 21738
Phone
 443-542-7094
Primary
 Yes
E-mail
 DJNBIRD33@VERIZON.NET
Cell Number **Fax Number**

Professionals (This section is not required.)

License #
 08010078947
License Type
 MHIC Ind
Primary
 Yes
Business Name
 CLARKSVILLE CONSTRUCTION SERVICES
First Name **Middle Name** **Last Name**
 ADAM TEDDY AUGUST
Address Line 1
 INC 05 130714
Address Line 2
 12011 GUILFORD ROAD SUITE 101
City **State** **ZIP Code**
 ANNAPOLIS JUNCTION MD 21045-0000
Phone 1 **Phone 2** **Fax**
 4433863099 4105312966
E-mail
 ADAMAUGUST1970@GMAIL.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type
 Applicant
Relationship
 Applicant
Primary
 Yes
First Name **MI** **Last Name**
 ADAM TEDDY AUGUST
Full Name
 ADAM TEDDY AUGUST
Organization Name
 CLARKSVILLE CONSTRUCTION SERVICES
Street Address
 INC 05 130714
Address Line 2
 12011 GUILFORD ROAD SUITE 101
City **State** **Zip Code**
 ANNAPOLIS JUNCTION MD 21045-0000
Phone **Cell** **Fax**
 4433863099 4105312966
E-mail
 ADAMAUGUST1970@GMAIL.COM

Addtl Info

Est Construction Cost **Housing Units** **Number of Buildings** **Public Owned**
 120000 0 0 No
Construction Type
 434 - Additions, Alterations and Conversions - Residential

MISC PERMIT INFO

MISCELLANEOUS PERMIT INFORMATION

Capital Project-No Fee **Capital Project Number** **Fee Exempt** **Roadside Tree Project Permit** **Roadside Tree Project Permit #**
 Yes No (Text) Yes No Yes No (Text)
Existing Use **Water** **Sewage** **Expiration Date**
 SFD Private Private 11/8/2025

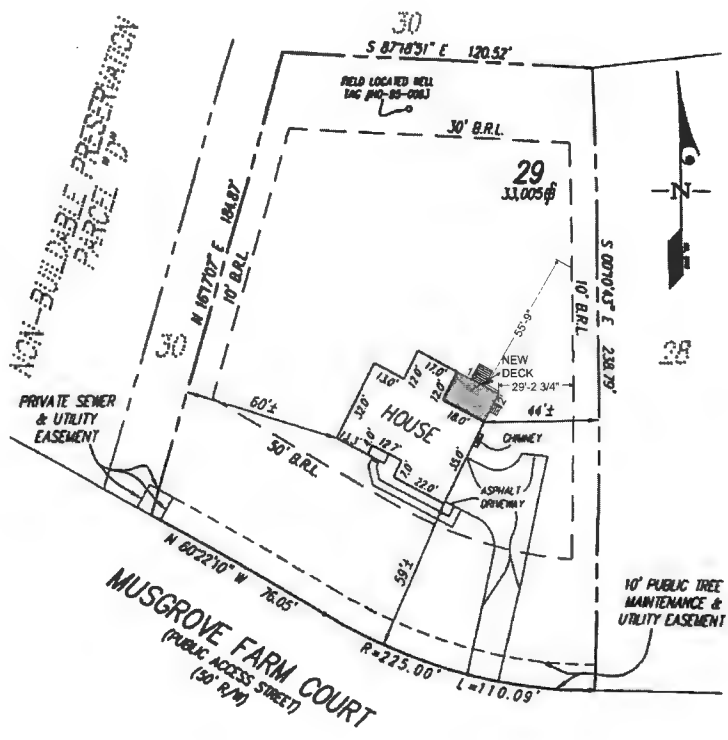
Submit

Cancel

DW 12

NOTE: THIS LOCATION DRAWING IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH A CONTEMPLATED TRANSFER, FINANCING OR REFINANCING, AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, SHEDS, GARAGES, BUILDINGS, LANDSCAPING, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
 THIS LOCATION DRAWING WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.
 THE LICENSEE BELOW WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS LOCATION DRAWING AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN COMAR TITLE 08, SUBTITLE 13, CHAPTER 06, REGULATION 12

B-5001693 - Approx.
 (18' x 13' replacement
 deck) 5/21/21 - H.O.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER PLAT No. 19125
 SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±1' FOOT.

GLW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-0188	THE PROPERTY SHOWN HEREON LIES WITHIN ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 740044 0020 B, REVISED DECEMBER 4, 1986.		
	REFERENCE: PLAT No. 19125		
	DATE OF LATEST FIELD WORK: 02-16-10		
	DRAWN BY: JVC CHECKED BY: [Signature]	SCALE: 1"=40'	G.L.W. FILE No. 05066

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY TO:
 "RYAN HONES"

LOCATION DRAWING
 "MUSGROVE FARM"
 LOT 29