

Approved MPE
5/28/25

Record Detail * (This section is required.)

Permit Type Building/Residential/Alteration/SFD Permit Number B25001754 Opened Date 05/05/2025

Description of Work SFD/ FIRST FLOOR KITCHEN ALTERATIONS TO REMOVE WALLS TO OPEN UP LAYOUT AND CREATE PANTRY AND SITTING NOOK**SUBJECT TO FIELD INSPECTION**

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 3329 Street Name VELVET VALLEY Street Type DR

Unit Type --Select-- Unit # --Select-- X Coordinate -76.98433 Y Coordinate 39.28208

City WEST FRIENDSHIP State MD Zip Code 21794 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID 900287 Parcel 559 Parcel Area 43098 Land Value 210000 Improved Value 781500 Exemption Value 573300 Plan Area RURAL

Legal Description LOT 74 43,098 SQ []3329 VELVET VALLEY DR []W FRIEN EST S2 RSB S1&2

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	74	603000	5				
Plan Area		State Tax Id		Subdivision Name			
		1403321711		WEST FRIENDSHIP ESTATE			
Section		Area		Tax Map			
				22			
Grid		Zoning District		ADC Map			
22-2		RC-DEO		4813-C5			
SDP No.		Final Plan No.		WP File No.			
		F-95-183					
Record Plat No.		WS Contract No.		FDP No.	Primary		
12453					Yes		
Owner Occupied		Year Built		Historic District			
<input type="radio"/> Yes <input type="radio"/> No		1999		<input type="radio"/> Yes <input checked="" type="radio"/> No			
Historic District Registry No.		Stat Area		Flood Plain			
		3-04		<input type="radio"/> Yes <input checked="" type="radio"/> No			
Building No							

Owner (This section is not required.)

Search Reset Clear

Name SELF 1

Address Line 1 3329 VELVET VALLEY DR

Address Line 2

Address Line 3

Mail City WEST FRIENDSHIP

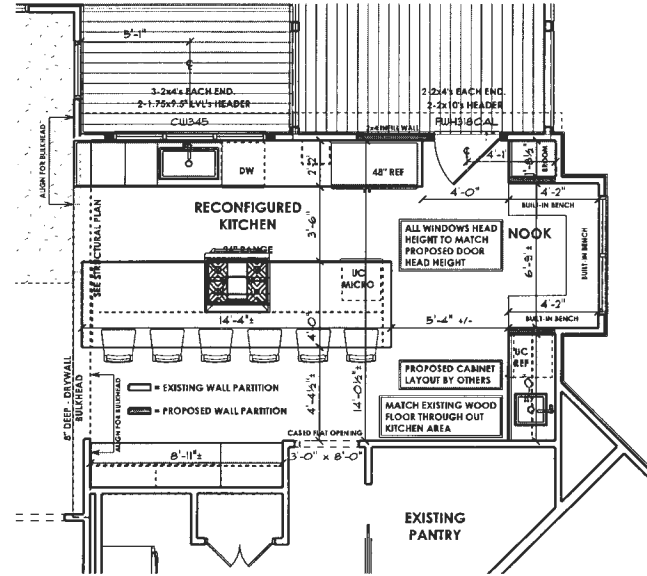
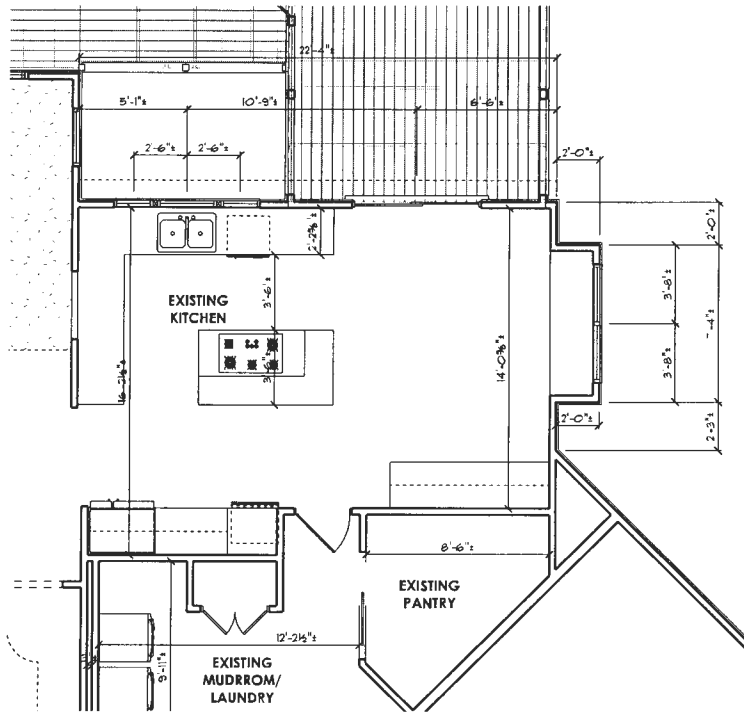
Mail State MD

Mail Zip Code 21794

Phone 410-977-8903

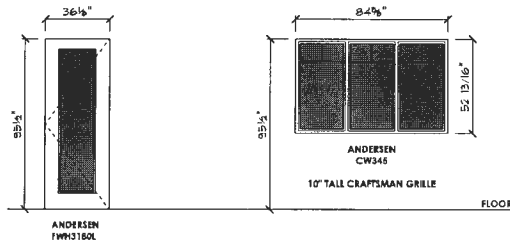
Primary Yes

E-mail



EXISTING KITCHEN PLAN

PROPOSED KITCHEN PLAN



DOOR NOTES

1. ALL GRILLE PROFILES ARE "C".
2. ALL GLASS SHALL BE LOW-E 4 U.N.O.
3. MATCH EXISTING WINDOW COLOR AND FINISHES
3. MATCH EXISTING WINDOW HARDWARE.

WINDOW NOTES

1. ALL GRILLE PROFILES ARE "C".
2. ALL GLASS SHALL BE LOW-E 4 U.N.O.
3. MATCH EXISTING WINDOW COLOR AND FINISHES.
4. MATCH EXISTING WINDOW HARDWARE.
5. ALL GRILLE CONFIGURATIONS ARE SPL.

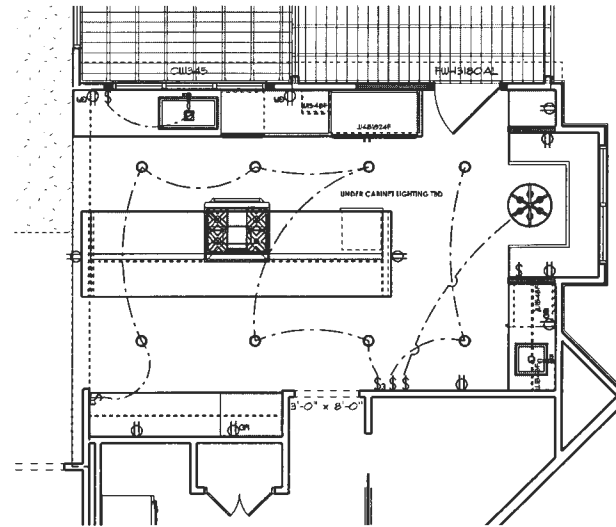
PROPOSED DOOR AND WINDOW

ELECTRICAL LEGEND

⊖	DUPLEX RECEPT	⊙	CILING POINT LIGHT FIXTURE
⊖	GROUND FAULT CIRCUIT INTERRUPTER	⊙	CILING LIGHT FULL C-CHAIN
⊖	DUPLEX OUTLET HALF SWITCHED	⊙	RECEIVED LIGHT FIXTURE
⊖	220 VOLT DUPLEX OUTLET	⊙	WALL MOUNTED LIGHT FIXTURE
⊖	DUPLEX OUTLET 4 1/2" A.F.F.	⊙	FLUORESCENT LIGHT FIXTURE
⊖	SINGLE POLE SWITCH	⊙	CILING FAN
⊖	3-WAY SWITCH	⊙	TELEPHONE
⊖	4-WAY SWITCH	⊙	TELEVISION
⊖	DIMMER SWITCH	⊙	THURMGAT
⊖	SMOKE DETECTOR	⊙	DOOR CHIME
⊖	PLATE FAN 50 CFM		

ELECTRICAL NOTES

- 1) SEE FLOOR PLANS FOR TYP. NOTES AND DIMENSIONS
- 2) PROVIDE SMOKE DETECTORS AS REQ'D BY LOCAL CODE. WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACK-UP) AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION.
- 3) THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.



PROPOSED ELECTRICAL PLAN



PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland, License Number #14678
 Expiration Date: 6/30/2026

WARNING:
 THE DISCIPLINE OF AN INDUSTRY OR PROFESSIONAL SERVICE PERFORMED BY AN INDIVIDUAL IS A PUBLIC TRUST AND THE SOCIETY BY ANY PARTY OTHER THAN AN INDIVIDUAL BEING LICENSED IS A VIOLATION OF LAW THAT WILL BE PROSECUTED TO THE FULL EXTENT.
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PROPOSED KITCHEN RENOVATION SELF RESIDENCE

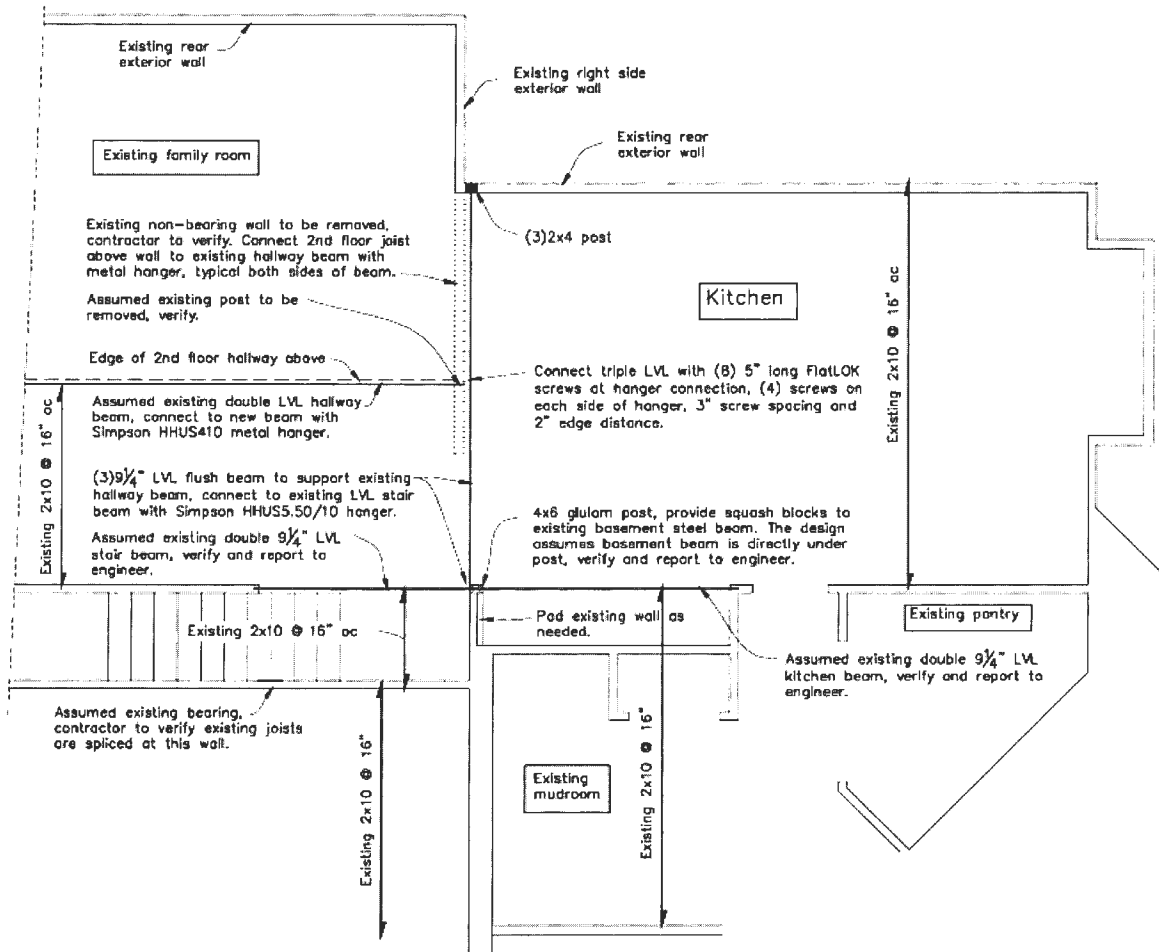
3329 Velvet Valley Drive
 West Friendship, Maryland

ARCHITECT
 Jonathan Rivera AIA, NCARB
 Howard County, Maryland
 443.226.5745
 jrvera@jonathandrivera.com

ISSUE DATE

▲	2-13-25	SCHEMATICS
▲		
▲		
▲		
▲		
▲		
▲		
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SCALE: 1/4" = 1'-0"
 KITCHEN RENO



1 Partial 1st floor plan with 2nd floor framing
 Scale: 1/4" = 1'-0"

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14452, Expiration Date: May 31, 2027

Sweeney Engineering, PC Structural Engineers (410)719-7446	Project: Self Residence 3329 Velvet Valley Drive West Friendship, MD	Structural Plan	Sheet#: S1 Date: April 12 2025 Job#: 25088
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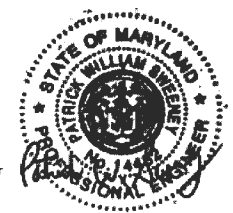
General Structural Notes:

1. **General**
 - 1.1. All construction shall conform with the provisions of the 2021 International Residential Code for one and two family dwellings.
 - 1.2. Design live loads:

Floors	40 psf
Sleeping areas	30 psf
Ground Snow Load, Pg	40 psf
 - 1.3. The contractor shall provide all shoring and bracing as required to support the existing structure. The contractor shall examine the existing structure to determine the extent of necessary shoring and bracing. The capacity and method used for shoring and bracing shall be the responsibility of the contractor.
2. **Wood**
 - 2.1. Structural solid wood members shall be Spruce Pine Fir No.2 surfaced dry at a maximum of 19 % moisture content. All lumber exposed to weather shall be pressure treated Southern Pine No.2.s.
 - 2.2. All laminated veneer lumber (LVL) shall have the following minimum properties: Fb=2600psi, Fv=285psi, E=2,000,000psi, Fc=2510psi(parallel), Fc=750psi(perpendicular). All LVL's shall have a 1 3/4" minimum thickness. All glulam posts shall have the following minimum properties: Fb=2100psi, E=1,900,000psi, Fc=2300 psi (parallel).
 - 2.3. All nails are to be common wire nails. Nailing of all framing shall be as specified in the contract documents but in no case shall be less than the recommended nailing schedule contained in the 2021 International Residential Code.
 - 2.4. All flush wood connections shall have metal hangers. Install all hangers in strict conformance to the manufactures instructions. Fill all nail or screw holes using the specified nails and screws only.

Framing notes

1. Connect all triple LVLs together with (2) rows of 5" long FlatLOK screws @ 18" oc staggered,
2. Connect all multiple ply stud posts with 5" long FlatLOK screws @ 12" oc staggered.
3. Provide squash blocks under all posts for solid support to foundation wall or basement beams.
4. Connect all posts to LVL beams with: (2) Simpson LCE4 post caps.
5. The design is based upon many assumptions. Contractor to report all existing framing conditions to engineer before doing any new framing is installed.



PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 License Number #14478
 Expiration Date: 6/30/2024

NOTES:
 THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED BY JONATHAN RIVERA A LICENSED ARCHITECT OF THE STATE OF MARYLAND. IT IS A PRODUCT OF LAW THAT WILL BE INCORPORATED TO THE RELATED SPECIFIC.
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PROPOSED KITCHEN RENOVATION SELF RESIDENCE

3329 Velvet Valley Drive
 West Friendship, Maryland

ARCHITECT
 Jonathan Rivera AIA, NCARB
 Howard County, Maryland

443.224.6745
 jrvera@jonathandrivera.com

ISSUE DATE

2-13-25	SCHEMATICS

SCALE: N.T.S.

STRUCTURAL S1
 PRINT DATE:
 Wednesday, May 14, 2025