

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 1/19/25 **ONSITE SEWAGE DISPOSAL SYSTEM** P 587923

APPROVAL DATE: 3/25/26 **PERMIT: BAT New Construction** A

PROPERTY ADDRESS: 3731 Sofia Court Glenwood, MD 21738

SUBDIVISION: Vineyards at Cattail Creek LOT: 32 TAX ID: 1404366182

CONTRACTOR: C & L Excavating, Inc. EMAIL: matt@cardlexcavating.com

CONTRACTOR ADDRESS: 347 Chestnut Hill Rd., Forest Hill MD PHONE: 443 640 6011

CONTRACTOR CERTIFIED FOR BAT INSTALLATION: MDE MANUFACTURER: Norweco

PROPERTY OWNER: Taylor and Christiana Rosthhle EMAIL:

OWNER ADDRESS: 14117 Forest Ridge Drive North Potomac MD 20878 PHONE: 443-935-9516

BAT UNIT MODEL: Norweco TNT 500 Zoller BN151 PUMP SIZE: 1/3HP PUMP TANK CAPACITY: 1500gal

OPERATION & MAINTENANCE AGREEMENT DATE SIGNED: 9/11/2024 DATE RECORDED: 9/20/2024

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 0.8

TRENCHES:	LINEAR FEET REQUIRED:	131	INLET DEPTH:	2
	TRENCH WIDTH:	3	MAXIMUM BOTTOM DEPTH:	6
	MINIMUM SPACE BETWEEN TRENCHES:	11	EFFECTIVE AREA BEGINNING DEPTH:	2

LOCATION: PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND BAT UNIT LOCATION MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.

NOTES: Install 2 X 66ft trenches Contractor registered w/MD onsite wastewater Professionals Board; Confirmed (#01583) R/E

ISSUED BY: [Signature] ISSUE DATE: 1/31/2025 EXPIRATION DATE: 1/31/2026

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
- ELECTRICAL PERMIT ISSUED E 25000231
- NOTE: AN INDIVIDUAL CERTIFIED BY MDE AND THE MANUFACTURER FOR BAT INSTALLATION MUST BE PRESENT AT ALL TIMES DURING BAT INSTALLATION.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOT TO SCALE

* See Separate Sheet for As-Built *

7/3/25 Contractor has both tanks set and leveled, 50' of sch. 40 pipe from house to tank with 1% fall. Pump tank is a bit over, 3' top of tank to grade. Contractor said that the front yard will be re-graded to 3' above mm. Tanks to d-box is connected with 2" 280 PSE pipe. Pump not being installed today but they are setting up the electrical framework for the pump chamber and control panel. OK to back fill. Pump tank has only one manhole port. (MB)

12/5/2025 - Installer onsite for P.A. water filled to floods. Alarm outside tank, height 30", visual & audible OK. Pump successfully sends water to d-box. Fill & meter id5 on upper trench. (MB)

ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH _____ INLET _____ BOTTOM _____
NUMBER OF TRENCHES 2
TOTAL LENGTH 133
ABSORPTION AREA 399 ft² + SW
DISTRIBUTION BOX LEVEL _____
DISTRIBUTION BOX BAFFLE 90' turn down
DISTRIBUTION BOX PORT yes

SEPTIC TANK DATA

SEPTIC TANK I LEVEL _____
MANUFACTURER Backward
CAPACITY 600 GAL
SEAM LOC Top
TANK LID DEPTH 13'
BAFFLES 3
BAFFLE FILTER _____
MANHOLE LOC Front/Back
6" PORT LOC 1
WATERTIGHT TEST _____
SLOTTED Yes
DATE ON LID 6-23-25

PUMP/SEPTIC TANK LEVEL

MANUFACTURER Backward
CAPACITY 500 GAL
SEAM LOC Top
TANK LID DEPTH 3' Max
BAFFLES _____
BAFFLE FILTER _____
MANHOLE LOC Back
6" PORT LOC _____
WATERTIGHT TEST _____
SLOTTED Yes
DATE ON LID 6-25-25

SEPTIC CONTRACTOR ONSITE INSTALLING SYTEM: Matt Edwards/Cole Edwards
SEPTIC CONTRACTOR ONSITE LICENSED WITH THE STATE OF MD: YES/NO

PRE-CONSTRUCTION NOTES:

5/16/2025 - Installer onsite for inspection. SDA & trench stakes disturbed.

Surveyor needs to restore area. (SP/MB)

5/20/25 SDA and trench locations have been re-sited. Trenches are on center. SDA has divots and knots due to tree removal. Contractor to flatten digging area so that the backhoe will dig straight & uniform trenches. (MB)

INSTALLATION NOTES:

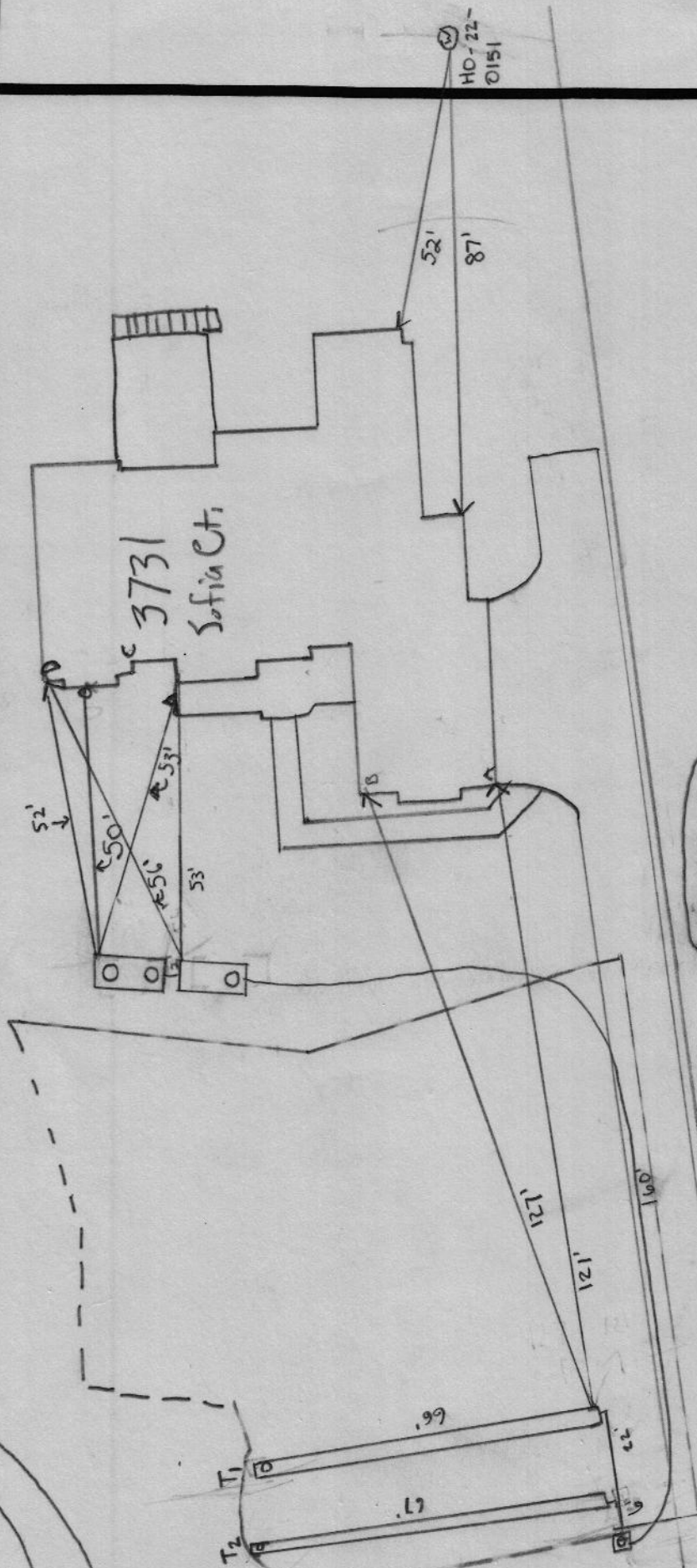
6/26/25 Contractor has Trench 1 dig. obs part installed with stone. Contractor is leveling pipe and adding stone simultaneously. Waiting on more stone to finish trench. Told contractor to leave trench open for inspection of pipe inlet. Stone is marginal. (MB) 6/26/25 Trench 1 inlet OK. Geotextile fabric added. OK to install trench 1. Told contractor to use Mad Pond Quarry for 2nd trench stone. Stone in trench 1 marginal. Contractor has 2nd trench dig at 6' bottom and 67' long. Waiting for stone. (MB) 6/26/25 Contractor completed trench 2. obs part + geotextile fabric added. Inlet at 2'. Pipe outlet from d-box has been held in with stone. (MB)

CONTROL PANEL DATA

CONTROL PANEL HEIGHT 30"
(MIN 30")
INSPECTION DATE 12/5/2025
INSPECTION: PASS/FAIL (CIRCLE ONE)

1" : 30'

NOT TO SCALE



Measurements

D-box - A : 137'

D-box - B : 142'

T₁ End - C : 148'

T₁ End - D : 150'

SoDa Lot 31 & 32

Clerk of the Circuit Court for
Howard County

9250 Judicial Way
Ellicott City, MD 21043
410-313-2111

=====
LR - Agreement Recording Fee
1x 20.00 20.00

Name: roethle
Ref: 27

LR - Agreement Surcharge
1x 40.00 40.00

=====
SubTotal: 60.00
Total: 60.00
=====

REV-Check-WFB 60.00
Number : 70950

09/20/2024 14:21 CC13-KS
#18420321/1246/4

Thank you for visiting us today~

Clerk of the Circuit Court for

Howard County

9250 Judicial Way
Ellicott City, MD 21043
410-313-2111

=====
LR - Agreement Recording Fee
1x 20.00 20.00

Name: roethle
Ref: 26

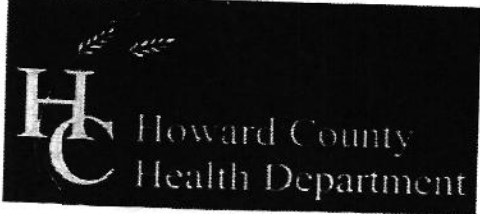
LR - Agreement Surcharge
1x 40.00 40.00

=====
SubTotal: 60.00
Total: 60.00
=====

REV-Check-WFB 60.00
Number : 70949

09/20/2024 14:20 CC13-KS
#18420320/1246/4

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Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

**APPLICATION FOR VARIANCE
TO COMAR ONSITE WATER/SEWER FOR MDE APPROVAL**

Date Submitted 8/21/2024

Property Address 3735 & 3731 Sofia Court Glenwood, MD 21738

Subdivision	31 & 32	21	0008	225	1404359895 & 1404366182
	Lot	Tax Map	Grid	Parcel	Tax Account #

Vineyards at Cattail Creek

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):
Percolation Certification plan submitted to establish new sewage disposal areas for both lots 31 & 32.

In the area below, list the specific section of the Code of Maryland Regulations (COMAR) to which a variance is being requested and provide a brief summary of the regulation and an explanation of why the variance is being requested (Attach a separate sheet if necessary).

Regulation Section	Summary and Explanation
1. <u>26.04.02.05.B.(2)</u>	<u>OSDS may not be upgrade of any downgrade well without approval from approving authority.</u>
2. _____	<u>SDA proposed on Lot 31 will be upgrade of well sites on Lot 31 & Lot 32.</u> <u>SDA proposed on Lot 32 will be upgrade of well sites on Lot 32.</u> <u>Some well sites will be less than 200' downgrade of SDAs.</u>

Phil Koethle 10/10/2024
Property Owner's Signature

Taylor Koethle 10/10/2024

Health Department Use Only

Reviewed by Robert Freemon 10/17/24
HCHD Staff Date

Recommendation: Recommended [] Not Recommended
[Signature] 10/17/24
HCHD Supervisor Date

Comments/Conditions: BAT
See Signed Perc Cert. wells must also have 50 ft steel casing or ten feet into the bedrock

Approved by: Steven R. Krieg LEHS REHS/RS 10/30/2024
MDE Representative Date



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Maura J. Rossman, M.D., Health Officer

**OPERATION AND MAINTENANCE AGREEMENT
FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM
HAVING AN ADVANCED PRE-TREATMENT SYSTEM**

THIS AGREEMENT is made this 11 day of September, 2024, among Taylor & Christina Roethle, hereinafter collectively referred to as "Owner", and the Howard County Health Department hereinafter referred to as the "County".

WHEREAS, Owner is the owner or contract owner of a parcel of land located at 3731 Sofia Court, Glenwood MD 21738, in the 4th Election District of Howard County, Maryland, and the deed and subdivision plat of the property is recorded among the Land Records of Howard County, Maryland, Tax Map # 21, Block # 8, Parcel # 225, Deed Reference # 22231/00284 and Tax Account # 04-366182 ("the Property").

20
40
KS

WHEREAS, The Property is suitable for the installation of a conventional on-site sewage disposal system with an advanced pre-treatment system, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective November 24, 2016. The pre-treatment device being installed is BAT System - Norweco.

NOW, THEREFORE, the parties hereto agree as follows:

- A. Owner hereby grants to the County the right to enter upon the Property at any reasonable time with prior notice for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County.
- B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.
- C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.
- D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.

E. This agreement shall run with the land and upon Owner's taking title to the Property, shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as shown

LR - Agreement 20.00
 Recording Fee
 Name: roethle
 Ref: 26 as
 LR - Agreement
 Surcharge
 Subtotal 60.00
 Total 60.00
 09/20/24 02:11
 #1842228 CC050
 Howard County
 City of
 Regis/Str 07
 113-KS

Website: www.hchealth.org Facebook: www.facebook.com/hocohealth Twitter: [@HoCoHealth](https://twitter.com/HoCoHealth)



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LR - Agreement
Recording Fee 20.00
Name: roethle
Ref: 25
LR - Agreement
Search Fee 40.00
Subtotal 60.00
Total 80.00
09/20/24 02:11
#184222 COMS
Howard County EIT:clt
City/County: 03-03-037
Regis: 037

Website: www.hchealth.org Facebook: www.facebook.com/hocohealth Twitter: @HoCoHealth

the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Property that the system shall require maintenance or other attention. Upon taking title to the Property, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

G. This agreement may be voided at any time at the discretion of the County.

H. This agreement contains the entire agreement and understanding between the County and the Owner. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

I. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

J. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed this agreement on the date indicated above.

Mark J. Davis 9/12/24
Howard County Health Department

Taylor Roethle 9/11/2024
Owner #1 Signature Date

christina roethle 9/11/2024
Owner#2 Signature Date

Taylor Roethle
Owner #1 Print Name

Christina Roethle
Owner #2 Print Name

Buyer #1 Signature Date

Buyer #2 Signature Date

Buyer #1 Print Name

Buyer #2 Print Name



CIRCUIT COURT FOR Howard County, MARYLAND

City/County

Located at 9250 Judicial Way, Ste. 1900, Ellicott City MD 21043

Court Address

AFFIDAVIT OF INTENT TO USE ELECTRONIC SIGNATURE
(Md. Code, Real Property Title 3, Subtitle 7)

1. I, Taylor Roethle, am over eighteen years of age and competent to testify.
Name
2. I have signed the document or documents accompanying this affidavit by means of an electronic signature, which is defined in Md. Code, Real Property § 3-701(e) as an "electronic sound, symbol, or process attached to or logically associated with a document and executed or adopted with the intent to sign the document."
3. I have done so with the intent to sign the document.
4. My use of the electronic signature was not done for any illegal or fraudulent purposes.

I solemnly affirm under the penalties of perjury that the contents of this document are true to the best of my knowledge, information, and belief.

9/11/2024

Date

Taylor Roethle

Signature of Affiant

Taylor Roethle

Printed Name of Affiant



CIRCUIT COURT FOR Howard County

City/County

, MARYLAND

Located at 9250 Judicial Way, Ste. 1900, Ellicott City MD 21043

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9/11/2024

Date

christina roethle

Signature of Affiant

Christina Roethle

Printed Name of Affiant



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Michelle J. Owen 9/12/24
Howard County Health Department

Taylor Roethle 9/11/2024
Owner #1 Signature Date

Taylor Roethle
Owner #1 Print Name

Buyer #1 Signature Date

Buyer #1 Print Name

christina roethle 9/11/2024
Owner#2 Signature Date

Christina Roethle
Owner #2 Print Name

Buyer #2 Signature Date

Buyer #2 Print Name



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City/County

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9/11/2024

Date

Taylor Roethle

Signature of Affiant

Taylor Roethle

Printed Name of Affiant



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9/11/2024

Date

christina roethle

Signature of Affiant

Christina Roethle

Printed Name of Affiant

Certificate Of Completion

Envelope Id: 04BF1DF416734FC3B7EFBC6C62F80834	Status: Completed
Subject: Complete with Docusign: 2024 09 13 OM agreement Lot 32.pdf, Affidavit of signature Christina.pd...	
Source Envelope:	
Document Pages: 4	Signatures: 4
Certificate Pages: 5	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelope Stamping: Enabled	Fisher, Collins & Carter, Inc.
Time Zone: (UTC-08:00) Pacific Time (US & Canada)	10272 Baltimore National Pike
	ELLCOTT CITY, MD 21042
	docusign@fcc-eng.com
	IP Address: 70.88.114.97

Record Tracking

Status: Original	Holder: Fisher, Collins & Carter, Inc.	Location: DocuSign
9/11/2024 10:36:54 AM	docusign@fcc-eng.com	

Signer Events

Signature	Timestamp
christina roethle	Sent: 9/11/2024 10:40:37 AM
chrissie.e.baker@gmail.com	Viewed: 9/11/2024 11:06:36 AM
Security Level: Email, Account Authentication (None)	Signed: 9/11/2024 11:06:43 AM
Signature Adoption: Pre-selected Style	
Using IP Address: 73.180.252.170	
Signed using mobile	

Electronic Record and Signature Disclosure:
 Accepted: 9/11/2024 11:06:35 AM
 ID: 09b92ecb-cab7-43e8-b44c-6e5e6b409cfb

Taylor Roethle		Sent: 9/11/2024 10:40:36 AM
troethle1@gmail.com	<i>Taylor Roethle</i>	Viewed: 9/11/2024 10:55:59 AM
Security Level: Email, Account Authentication (None)		Signed: 9/11/2024 10:58:02 AM
Signature Adoption: Pre-selected Style		
Using IP Address: 4.16.247.202		

Electronic Record and Signature Disclosure:
 Accepted: 9/11/2024 10:55:59 AM
 ID: a1e6b30e-93e5-45db-80dc-a2c497365b3b

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	9/11/2024 10:40:37 AM
Envelope Updated	Security Checked	9/11/2024 10:46:03 AM

Maura J. Rossman, M.D., Health Officer

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NOW, THEREFORE, the parties hereto agree as follows:

- A. Owner hereby grants to the County the right to enter upon the Property at any reasonable time with prior notice for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County.
- B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.
- C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.
- D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.
- E. This agreement shall run with the land and upon Owner's taking title to the Property shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as long as

the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Property that the system shall require maintenance or other attention. Upon taking title to the Property, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

G. This agreement may be voided at any time at the discretion of the County.

H. This agreement contains the entire agreement and understanding between the County and the Owner. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

I. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

J. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed this agreement on the date indicated above.

William J. Davis 4/30/15
Howard County Health Department

J. L. V. A. C. 04/30/15
Owner #1 Signature Date

Taylor Roethle
Owner #1 Print Name

Owner #2 Signature Date

Owner #2 Print Name

Buyer #1 Signature Date

Buyer #2 Signature Date

Buyer #1 Print Name

Buyer #2 Print Name

Freemon, Robert

From: Freemon, Robert
Sent: Tuesday, September 10, 2024 2:51 PM
To: Paul Cavanaugh
Cc: Williams, Jeffrey; Silvast, Zackary
Subject: Vineyards Cattail Lots 31 & 32
Attachments: O&M agreement 4.23.18 (1).pdf

Hey Paul,

I have reviewed the OSDS plan for both lots and they both are approvable. Just need a couple of items to keep these projects moving.

Lot 31

OSDS Plan

1. Permission to redline/scratch out General Note #6. Building permit for house can be approved prior to OSDS installation.

BP Approval

2. O&M Agreement. Form attached.
3. Floor Plans. No floor plans have been uploaded yet.

OSDS Permit Release

1. Electrical Permit must be pulled.

Lot 32

OSDS Plan Approval

- Jeff ok'd*
1. Email Jeff (CC me) asking to have the setback between drywell and septic tank reduced to less than 25ft.
 2. Permission to redline/scratch out General Note #6. Building permit for house can be approved prior to OSDS installation.

BP Approval

3. O&M Agreement. Form attached.
4. Floor Plans. No floor plans have been uploaded yet.

OSDS Permit Release

1. Electrical Permit must be pulled.

Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
Bureau of Environmental Health



Robert "Spencer" Freemon
Well and Septic Program
Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>



Bureau of Environmental Health
 8930 Stanford Blvd | Columbia, MD 21045
 410.313.2640 - Voice/Relay
 410.313.2648 - Fax
 1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

APPLICATION FOR WAIVER

To Howard Co Code Subtitle 8: Onsite Sewage Disposal Systems and Subtitle 9: Individual Potable Water Supply Systems

Date Submitted: 11-5-25

Property Address: 3731 Sofia Ct Glenwood MD 21738


Vinceros @ Otter Creek 32 132
 Subdivision Lot Tax Map Grid Parcel Tax Account #

Provide a brief site history including previously submitted and active plans with the Health Department or the County (subdivision plans, perc test applications, Building Permit applications):

BZ5004749 - Building Permit for propane tank was submitted. Propane tank is in 50' of one of the Alt. wells

In the area below, list the specific section of the Howard Co Code to which a waiver is being requested and provide a brief summary of the regulation and an explanation of why the waiver is being requested (Attach a separate sheet if necessary).

Regulation Section	Summary and Explanation
1. _____	<u>UG500 Gallon Propane tank is within 50' of one of the Alt wells on Property. Tank location is tight with driveway, house to get distance needed there as well</u>
2. _____	_____
_____	_____
_____	_____




 Property Owner's Signature

Health Department Use Only

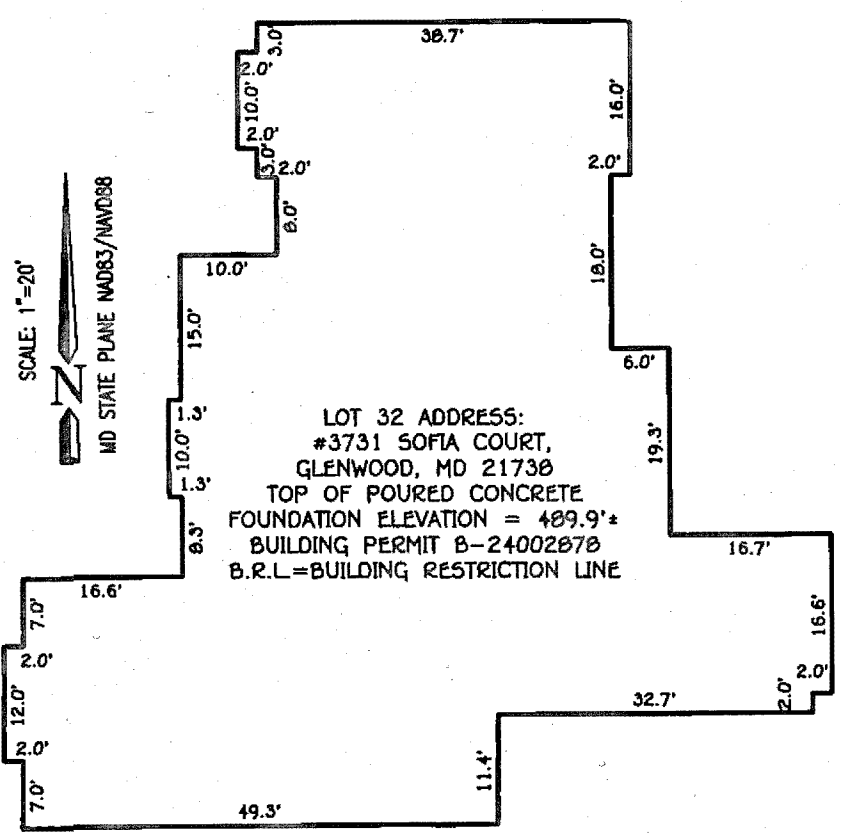
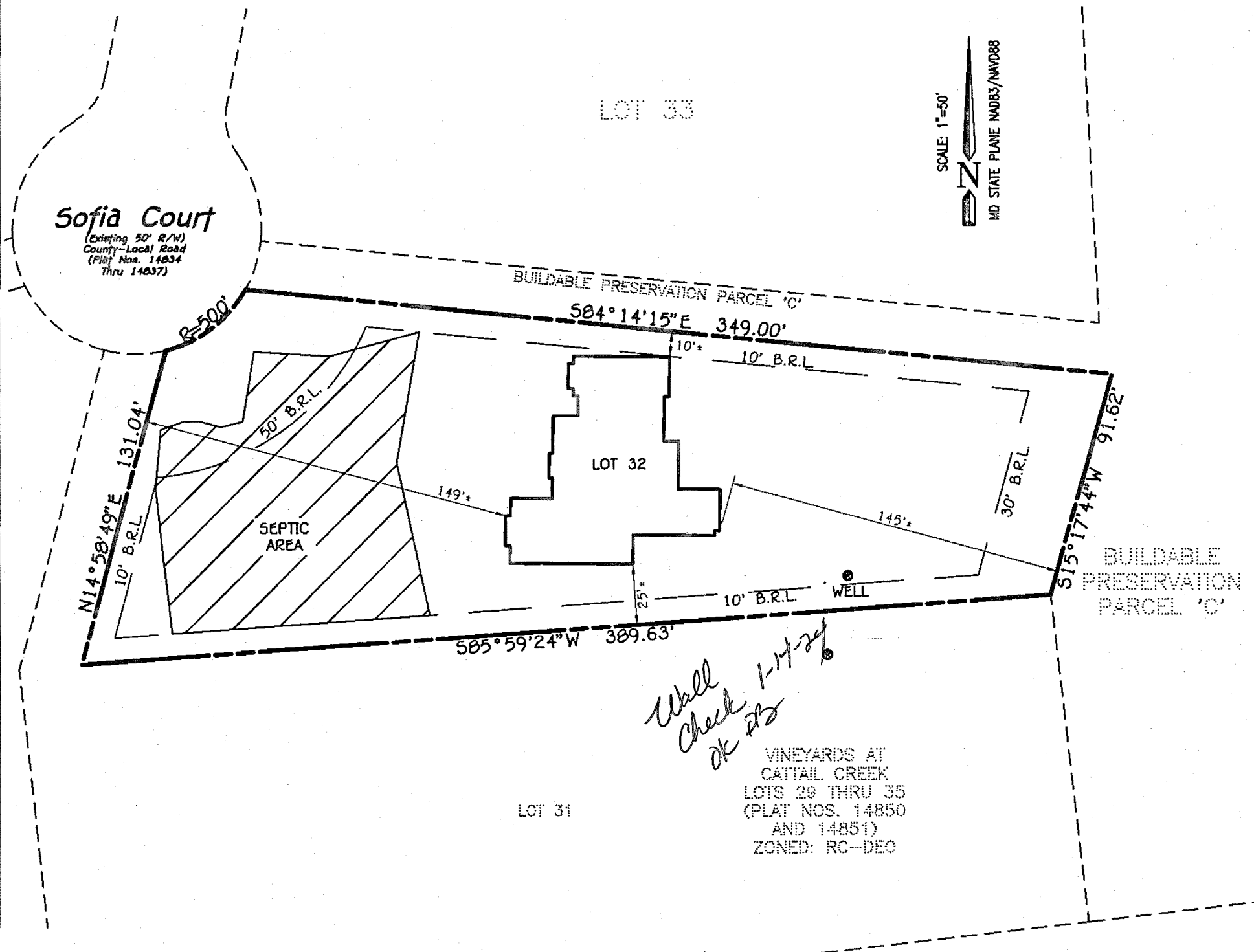
Reviewed by _____ Date _____
 HCHD Staff

Comments/Conditions: _____

Approved by:  Date 11/6/25
 BEH Deputy Director

GENERAL NOTES:

- 1) THE PURPOSE OF THIS SURVEY IS TO REPRESENT THE POSITION OF THE POURED CONCRETE FOUNDATION AND OTHER VISIBLE IMPROVEMENTS AFFECTING THE SUBJECT PROPERTY BASED OFF OF A FIELD RUN SURVEY PERFORMED DECEMBER 10TH, 2024.
- 2) THIS SURVEY IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES.
- 3) DIMENSIONS TO THE BOUNDARY LINES SHOWN HEREON ARE PLUS OR MINUS ONE FOOT (1.0').
- 4) THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X, WHICH IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD HAZARD, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR HOWARD COUNTY, MARYLAND, MAP NUMBER 24027C0045D WITH AN EFFECTIVE DATE OF NOVEMBER 06, 2013.
- 5) NO TITLE REPORT WAS REVIEWED AND IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 6) BUILDING PERMIT: B24002929
- 7) THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-22-0151 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 8) SURVEYORS CERTIFICATION: I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON WAS OBTAINED USING ACCEPTED LAND SURVEYING PRACTICES; AND THAT THE BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM AVAILABLE DEEDS AND RECORDS; AND THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED ON WERE PREPARED UNDER MY RESPONSIBLE CHARGE AND ARE IN COMPLIANCE WITH COMAR REGULATION 09.13.06.12; AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22030, EXPIRATION DATE MAY 11, 2026.



#3731 SOFIA COURT
VINEYARDS AT CATTAIL CREEK
LOT #32/PARCEL #225
TAX MAP #21/GRID# 8
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2855

STATE OF MARYLAND
ROBERT EVANS WALKER
PROFESSIONAL LAND SURVEYOR
No. 22030
12/11/24
PROFESSIONAL LAND SURVEYOR DATE
REG. #22030 EXP. 05/11/2026

SPECIAL PURPOSE SURVEY

FOUNDATION LOCATION: 12/10/24
FINAL LOCATION:
BOUNDARY SURVEY:

SCALE: 1"=50'
DATE: 12/9/2024
DRAWN BY: WAS
CHECKED BY: REW
PROJECT No.: 24012



BACK RIVER PRE-CAST, LLC
 PO BOX 329
 GLYNDON, MD 21071
 PH# 410-833-3394

NORWECO CERTIFICATION

PROPERTY OWNER: TAYLOR ROETHIE	INSTALLATION COMPANY: C&L EXCAVATING
ADDRESS: 3731 SOFIA CT.	CERTIFIED INSTALLER: MATT EDWARDS
CITY, ZIPCODE & COUNTY: GLENWOOD, 21738, HOWARD	PERMIT#
SIZE OF SYSTEM INSTALLED: 600 GPD CONCRETE	DATE INSTALLED: 7-3-25
NUMBER OF BEDROOMS:	START-UP DATE: 12-5-25
TYPE OF INSTALLATION: NEW	DATE OF FINAL INSPECTION:
ELECTRICAL WIRING PER ELECTRICAL INSTRUCTIONS: YES	DATE OF ELECTRICAL INSPECTION:
HT. OF CONTROL PANEL ABOVE FINAL GRADE: 12"	TANK LEVEL: YES
SYSTEM WIRED ON A 15-AMP DEDICATED CIRCUIT WITH STD. BREAKER: YES	BURIAL DEPTH OF TANK: 24"
	RISERS 4" - 6" ABOVE GRADE: NO
LENGTH(S) OF UF WIRE PAST LAST AERATION RISER(S): 48"	VENTED LID(S) ON AERATION CHAMBER(S): YES
FEMALE PLUG(S) WIRED TO UF WIRE: YES	ANY GROUND SETTLING AROUND TANK: NO
CONDUIT(S) ENTERING AERATION RISER MADE WITH A WATERTIGHT CONNECTION: YES	
ISTHE INSIDE OF THE CONDUIT ENTERING THE CONTROL PANEL(S) AND AERATION RISER(S) SEALED WITH DUCT SEAL: YES	

ON 2ND PAGE MAKE A ROUGH SKETCH OF THE HOUSE ,WHERE THE SYSTEM IS LOCATED, WHERE THE CONTROL PANEL IS LOCATED , WHERE THE FRONT OF THE IS AND DIRECTIONS TO THE PROPERTY.

DIRECTIONS CAN START A FEW STREETS AWAY

EXAMPLE: RT. X LEFT ONTO XX STREET RIGHT ONTO PRIVATE DRIVEWAY 5TH HOUSE OF THE LEFT.

I certify that the Norweco Singulair TNT Wastewater Treatment System was installed according to the manufacture's specifications.

Matthew Geckle

December 5, 2025

Signature of BRP Representative

Vice-President

Date

HOME LAND LABS



Order ID: 284668
Address: 3731 Sofia Court
Due Date: 11/26/2025

Phone: (443) 505-8375 Email: lab@homelandhealthyhomes.com

1220 E Joppa Rd. Ste C505 108 Old Solomons Island Road, Ste L2 3430 Rockefeller Court 2216 Commerce Road, Ste 2A
Towson, MD 21286 Annapolis, MD 21401 Waldorf, MD 20602 Forest Hill, MD 21050
MD Lab # 365 MD Lab # 106 MD Lab # 139

Please provide completed form with samples. Highlighted fields are required.

Client Name: <u>Bat taglia Homes LLC</u>	Property Address: <u>3731 Sofia Court</u>
Email Address:	<u>Glenwood, MD 21738</u>
Phone Number: <u>443-883-1690</u>	

Field Collection Information

Sampler Name: <u>Derek Bodin</u>	Field pH: <u>6.62</u>
Sampler ID #: <u>2248DB</u>	Field Chlorine (mg/L): <u>0.0</u>
Date Sampled: <u>11/24/25</u>	Time Sampled: <u>8:50</u>
Well Tag Number: <u>HO-22-0151</u>	Sand: <u>No</u>
Compliance sample for public water system? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Clarity: <u>Clear</u>
If yes, PWS ID #:	

Well Casing and Cap Condition

Well Type: Drilled Well Pit Below Grade Artesian Hand Dug N/A Other: _____

Height Above Grade: <u>10"</u>	Cap Type: <u>2 pc metal</u>	Casing: <u>6" cast iron</u>	Conduit: <u>Secure</u>
Sample Point: <u>Pressure tank</u>	Water Conditioning: <u>S.F. W.S. A.N. U.V.</u>		

Requested Testing: (Please check all that apply)

- Potability (Bacteria, Nitrate + Nitrite, Turbidity)
- FHA/VA (Bacteria, Nitrate + Nitrite, Turbidity, Lead, Iron)
- Bacteria
- Lead
- Nitrate + Nitrite
- Iron
- Turbidity
- Chlorides
- Hardness
- Arsenic
- Cadmium
- Gross Alpha
- Total Dissolved Solids
- Copper
- VOCs
- Other: _____
- Other: _____

List rush samples below
Refer to table for rush turnaround times and fees

Release Signatures

Released By: DBodin Date/Time: 11/24/25 12:45

Released By: _____ Date/Time: _____

Released By: _____ Date/Time: _____

Received in lab by: Dee'j Jew Date/Time: 11/24/25 12:45pm

Samples received on Ice? Yes No

Temperature: 3.7°



BACK RIVER PRE-CAST, LLC
 PO BOX 329
 GLYNDON, MD 21071
 PH# 410-833-3394

NORWECO CERTIFICATION

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Compliance sample for public water system? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Clarity: <u>Clear</u>
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- Iron
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- Chlorides
- Hardness
- Arsenic
- Cadmium
- Gross Alpha
- Total Dissolved Solids
- Copper
- VOCs
- Other: _____
- Other: _____

List rush samples below
Refer to table for rush turnaround times and fees

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Released By: D. Bodin Date/Time: 11/24/25 12:45

Released By: _____ Date/Time: _____

Released By: _____ Date/Time: _____

Received in lab by: Dee'j Jew Date/Time: 11/24/25 12:45pm

Samples received on ice? Yes No

Temperature: 3.3°



12/5/2025 - Fill & materials on upper trench. (SP)

Have A Great Day. Please Drive Safely!

Material Safety Data Information Available Upon Request.

We exercise No Control Over Delivery of Our Products & We Won't be Held Liable for Any Damage to Person or Property.

WEIGHMASTER: Janet Pitt

Job/Daily:	2	40.21
Job/Total:	2	40.21
Tons		
Loads		

Zone#: 0000 - LAUREL HILL - PICKUP
 P.O.#: LOT # 32
 Proj#: 40580
 Mat'l#: 22-MD# 2 (AASHTO#3)

TRK#: CL69 - C & L EXCAVATING

Cust#: CLEXCA
 C & L EXCAVATION, INC
 Job#: VARIOU VARIOUS
 SOFIA COURT

Scale:1 TKT: 159812

S.W. BARRICK - LAUREL HILL QUARRY
 PH: (301) 750-2760
 10642 Woodboro Rd * Woodboro, MD 21798

Have A Great Day. Please Drive Safely!

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S.W. BARRICK - LAUREL HILL QUARRY

PH: (301) 750-2760

10642 Woodsboro Rd * Woodsboro, MD 21798

Scale: 2 TKT: 159854

Cust#: CLEXCA C & L EXCAVATION, INC 6/26/2025 10:56:08AM

Job#: VARIOUS

SOFIA COURT

TRK#: CL69 - C & L EXCAVATING

* P. T.

Zone#: 0000 - LAUREL HILL - PICKUP Gross: 69980

P.O.#: LOT # 32 * Tare: 28480

Proj#: Mat'l#: 22-MD# 2 (AASHTO#3) Net: 41500

TONS: 20.75

Loads	Tons
Job/Daily:	4 72.10
Job/Total:	4 72.10

WEIGHMASTER: Janet Pitt

We exercise No Control Over Delivery of Our Products & We Won't be Held Liable for Any Damage to Person or Property.

Material Safety Data Information Available Upon Request.

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S.W. BARRICK - LAUREL HILL QUARRY

PH: (301) 750-2760

10642 Woodsboro Rd * Woodsboro, MD 21798

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P.O.#: LOT # 32 * Tare: 28480

Proj#: Mat'l#: 22-MD# 2 (AASHTO#3) Net: 41500

TONS: 20.75

Loads	Tons
Job/Daily:	4 72.10
Job/Total:	4 72.10

WEIGHMASTER: Janet Pitt

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S.W. BARRICK - LAUREL HILL QUARRY
PH: (301) 750-2760
10642 Woodsboro Rd * Woodsboro, MD 21798

Scale:1 TKT: 159768

Cust#: CLEXCA 6/26/2025
C & L EXCAVATION, INC 7:23:03AM
Job#: VARIOU VARIOUS
SOFIA COURT

TRK#: CL69 - C & L EXCAVATING

Zone#: 0000 - LAUREL HILL - PICKUP Gross: 68320
P.O.#: LOT # 32 Tare: 28480
Proj#: Net: 39840
Mat'l#: 22-MD# 2 (AASHTO#3) TONS: 19.92

	Loads	Tons
Job/Daily:	1	19.92
Job/Total:	1	19.92

S.W. BARRICK - LAUREL HILL QUARRY
PH: (301) 750-2760
10642 Woodsboro Rd * Woodsboro, MD 21798

Scale:1 TKT: 159768

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C & L EXCAVATION, INC 7:23:03AM
Job#: VARIOU VARIOUS
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Mat'l#: 22-MD# 2 (AASHTO#3) TONS: 19.92

	Loads	Tons
Job/Daily:	1	19.92
Job/Total:	1	19.92

WEIGHMASTER: Janet Pritt

We exercise No Control Over Delivery of Our Products & We Won't
be Held Liable for Any Damage to Person or Property.

Material Safety Data Information Available Upon Request.

Have A Great Day. Please Drive Safely!

WEIGHMASTER: Janet Pritt

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Material Safety Data Information Available Upon Request.

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PH: (301) 750-2760
10642 Woodsboro Rd * Woodsboro, MD 21798

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WEIGHMASTER: Janet Pritt

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5/16/2025 - Dumpster & Driveway inside SPA
to be removed & fenced off. (SP/MB)

Clerk of the Circuit Court for

Howard County

9250 Judicial Way
Ellicott City, MD 21043
410-313-2111

=====
LR - Agreement Recording Fee
1x 20.00 20.00
Name: roethle
Ref: 2
=====

LR - Agreement Surcharge
1x 40.00 40.00
LR - Agreement Recording Fee
1x 20.00 20.00
Name: roethle
Ref: 3

LR - Agreement Surcharge
1x 40.00 40.00
=====
SubTotal: 120.00
Total: 120.00
=====
REV-Check-WFB
Number : 41238 120.00
=====

04/30/2025 12:20 CC13-KS
#19886831/1246/4
Thank you for visiting us today~

Clerk of the Circuit Court for

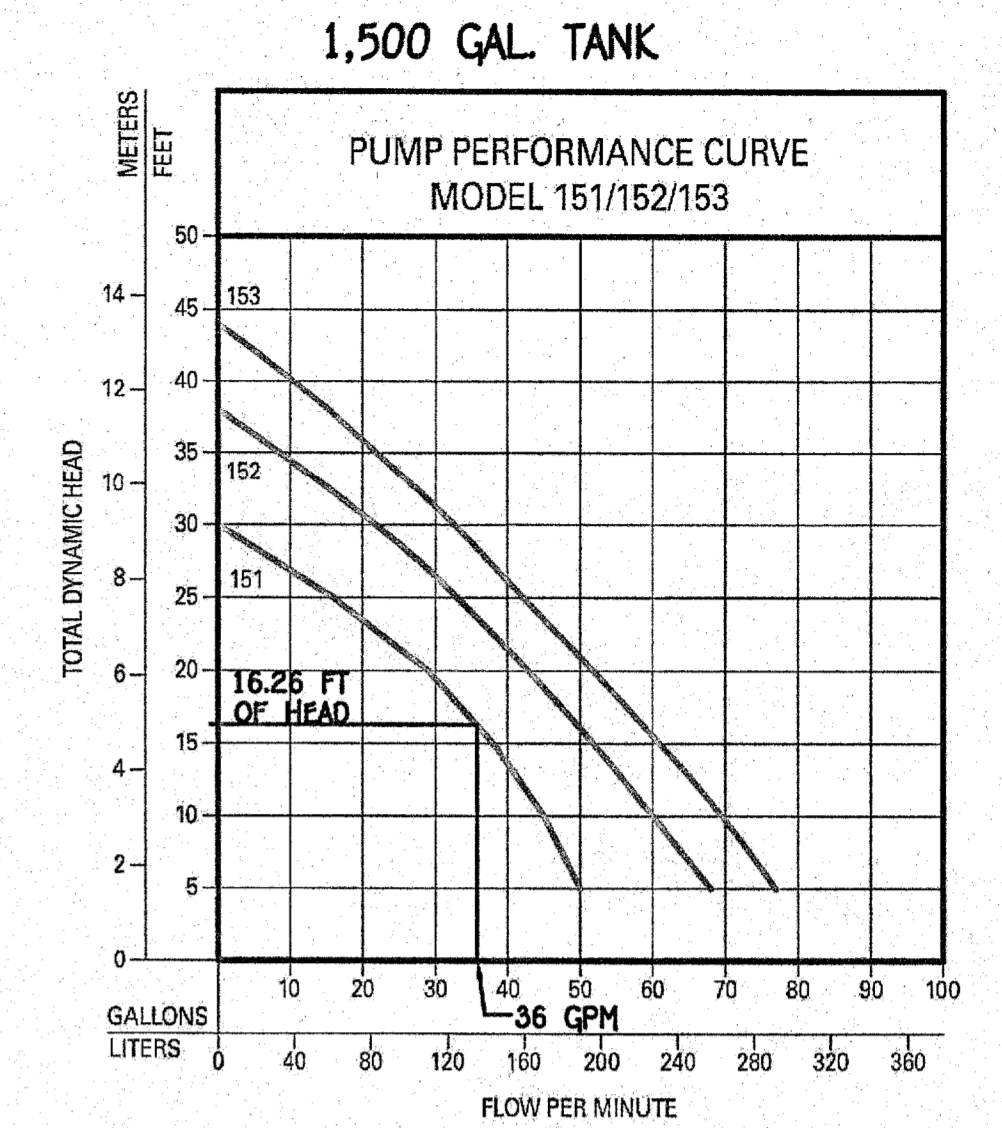
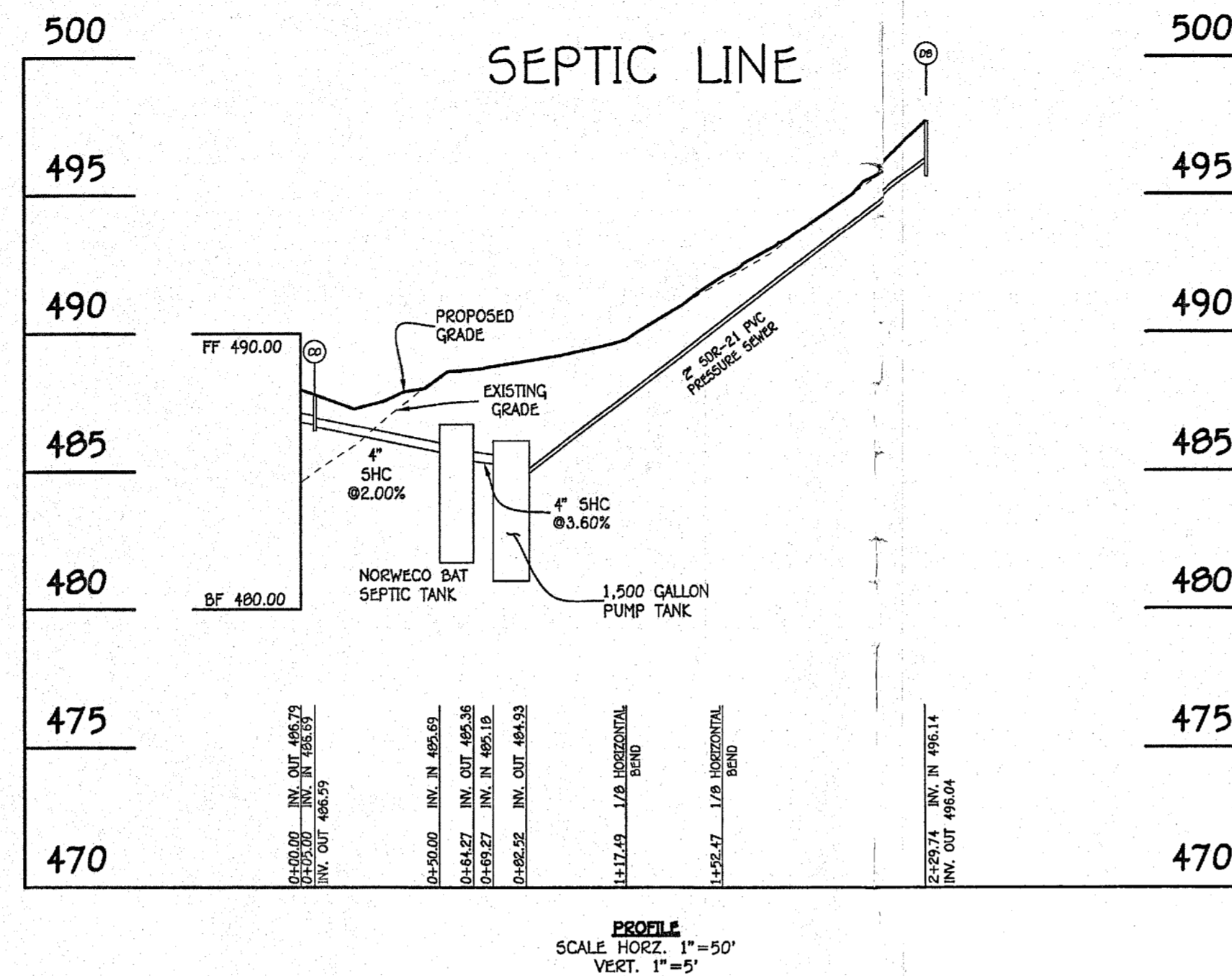
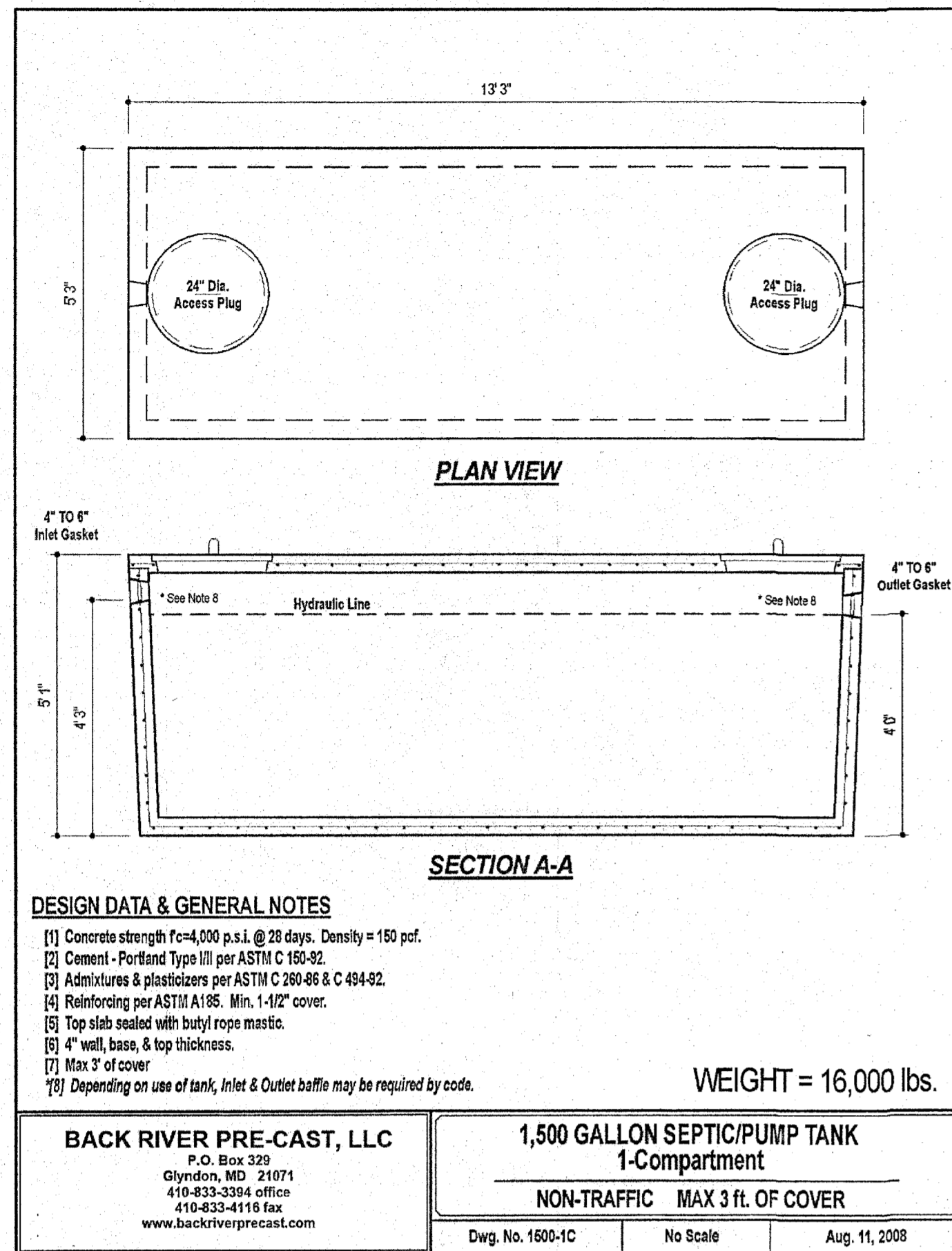
Howard County

9250 Judicial Way
Ellicott City, MD 21043
410-313-2111

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Name: roethle 1x 20.00 20.00
Ref: 2

=====
LR - Agreement Surcharge
1x 40.00 40.00
LR - Agreement Recording Fee
1x 20.00 20.00
Name: roethle
Ref: 3

=====
LR - Agreement Surcharge
1x 40.00 40.00
SubTotal: 120.00
Total: 120.00
=====
REV-Check-WFB
Number : 41238 120.00
=====
04/30/2025 12:20 CC13-KS
#18886831/124674
Thank you for visiting us today



FF = 490.00'
BF = 480.00'
INV. OUT OF HOUSE = 486.79'
PROP. GROUND AT CLEANOUT = 487.70'
INV. INTO CLEANOUT = 486.69'
INV. OUT CLEANOUT = 486.59'
EX. GROUND AT SEPTIC TANK = 486.67'
PR. GROUND AT SEPTIC TANK = 486.62'
TOP OF SEPTIC TANK = 486.70'
INV. INTO SEPTIC TANK = 485.69'
INV. OUT OF SEPTIC TANK = 485.36'
EX. GROUND AT PUMP TANK = 488.89'
PR. GROUND AT PUMP TANK = 488.88'
TOP OF PUMP TANK = 486.10'
INV. INTO PUMP TANK = 485.18'
INV. OUT OF PUMP TANK = 484.93'
EX. GROUND AT DISTRIBUTION BOX = 497.64'
INV. INTO DISTRIBUTION BOX = 496.14'
INV. OUT DISTRIBUTION BOX = 496.04'

2" SDR-21 PVC = 147.22 LF
1 UNION @ 2 EQUIVALENT FEET = 2 LF
2 1/8" HB @ 4 EQUIVALENT FEET = 8 LF
TOTAL LINEAR FEET OF 2" SDR-21 PVC = 157.22 LF

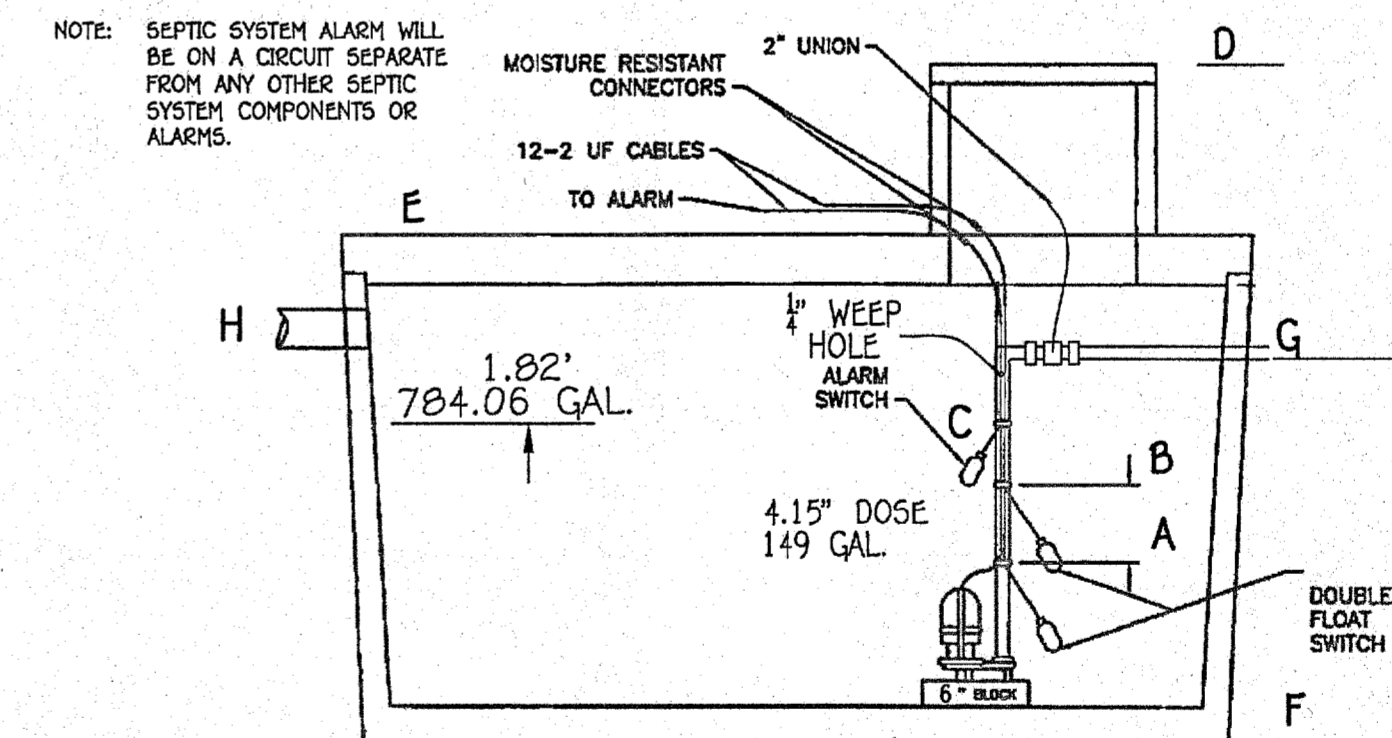
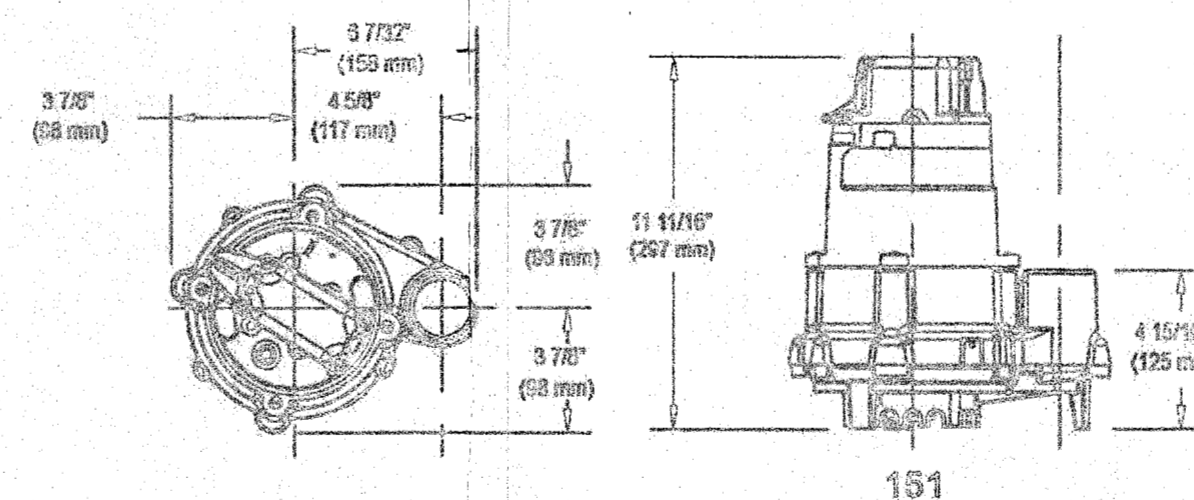
DYNAMIC HEAD
157.22 LF X 2.05 FT PER 100 LF OF 2" PIPE = 3.22 FT OF FRICTION HEAD
VERTICAL FROM PUMP OFF TO HIGH POINT IN PUMP CHAMBER = 1.83 FT OF HEAD
HIGH POINT IN PUMP CHAMBER TO HIGHEST ELEV. OF SYSTEM = 11.21 FT (PUMP OUT IS THE HIGHEST POINT)
TOTAL DYNAMIC HEAD = 16.26 FT

1/6 DESIGN FLOW (750/G=125) PLUS VOLUME OF 2" PIPE (24 GALLONS)
USE 149 GALLON DOSE (125 GALLON MINIMUM)
RUN TIME = 4.14 MIN (36 GPM X 4.14 = 149 GALLON DOSE)

PUMP NEEDS TO HANDLE 36 GPM AT 16.26 FT OF HEAD
USE 0.3 HP (ZOELLER MODEL 151 PUMP)

PUMP ALARMS / INFORMATION
A PUMP OFF : 483.10'
B PUMP ON : 483.45'
C HIGH WATER ALARM : 483.95'
D TOP OF ACCESS COVER : 488.88'
E TOP OF TANK : 486.10'
F BOTTOM OF TANK : 481.02'
G DISCHARGE OUT OF TANK : 484.93'
H INVERT INTO TANK : 485.18'

ZOELLER 151 PUMP DETAIL
NOT TO SCALE



PUMP TANK DETAIL
784.06 GAL EMERGENCY STORAGE
NOTE: THIS DETAIL IS TO BE USED FOR FLOAT CONFIGURATION ONLY - SEE DETAIL ABOVE FOR TANK DIMENSIONS AND ACTUAL LOCATION OF ACCESS COVER.
ONE NORWECO & ONE 1,500-GAL PUMP TANK W/ ZOELLER BN151 PUMP OR EQUAL TO GRAVITY DISTRIBUTION FOR 5 BEDROOM 5FD



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46091, EXPIRATION DATE: 5/14/2023.

Signature of Professional Engineer

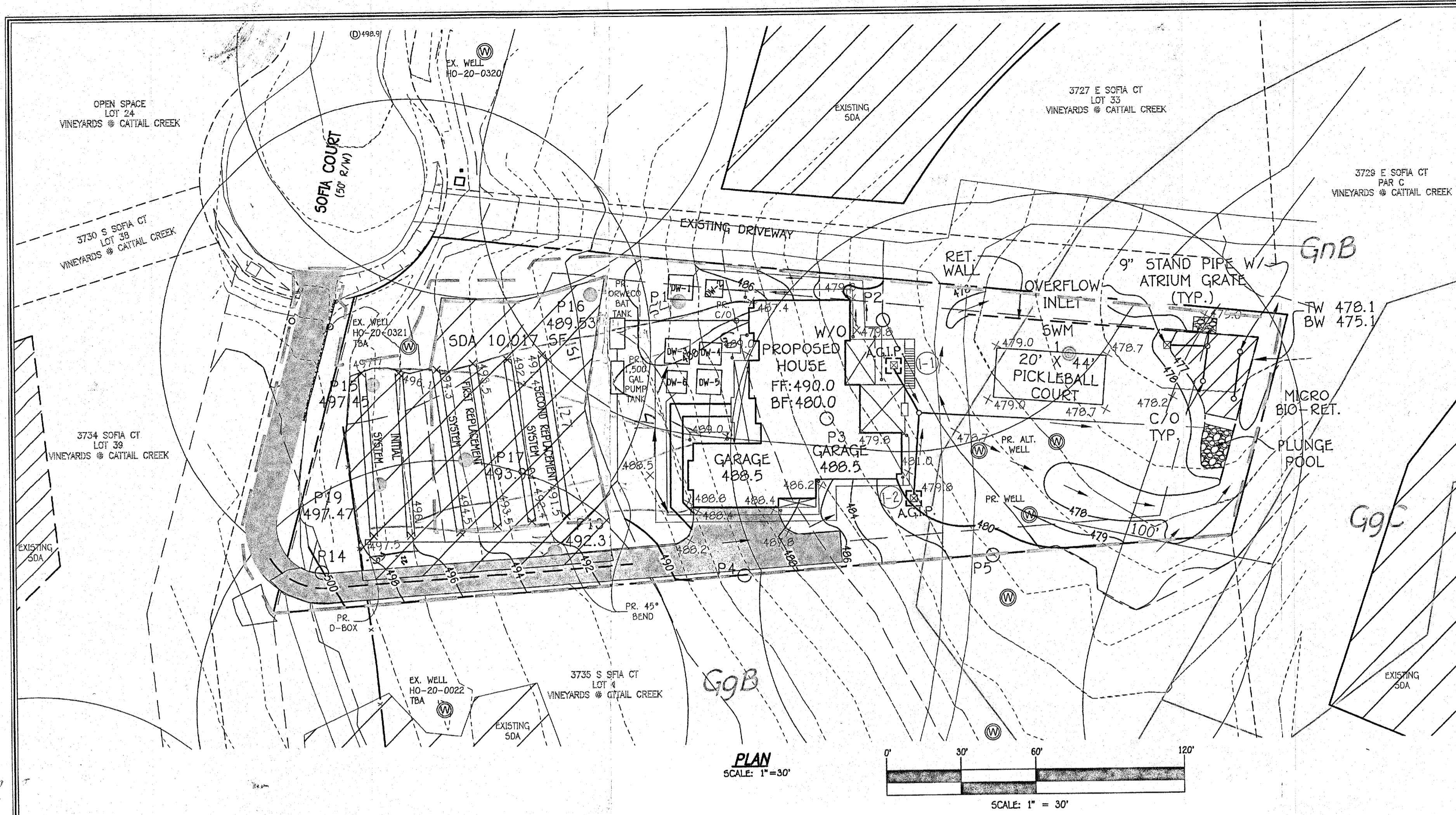
DATE: 8-27-24

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE BLDG. - 10275 BALDWIN BLVD. NATIONAL PILE
ELICOTT CITY, MARYLAND 21042
(410) 461-2955

OWNERS/BUILDERS
TAYLOR AND CHRISTIANA ROSTHLE
14117 FOREST RIDGE DRIVE
NORTH POTOMAC MD 20878

SITE PLAN FOR BAT INSTALLATION
3731 SOFIA COURT

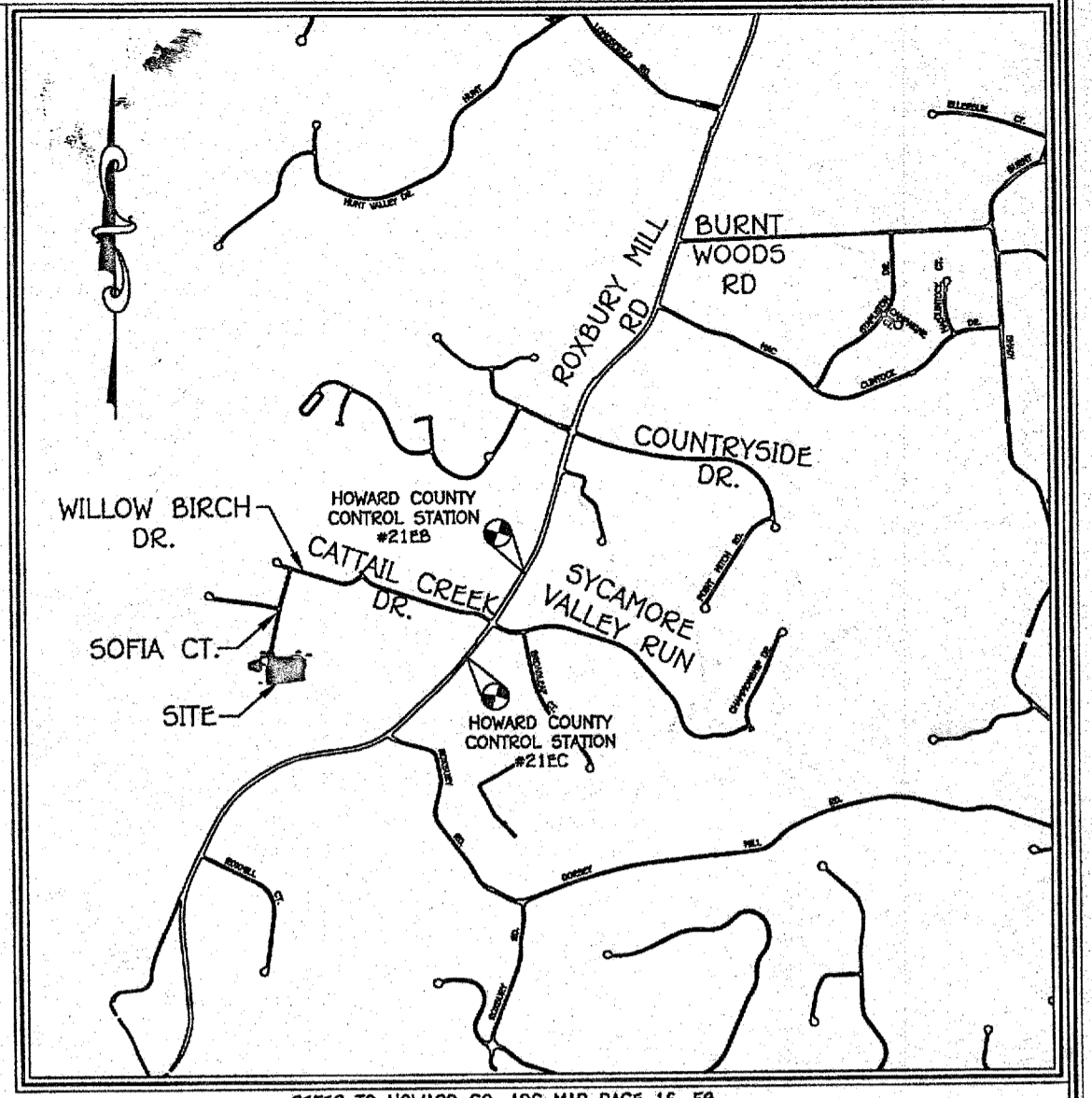
LOT 32
ZONING: RC-DED
TAX MAP No. 21 GRID No. 8 PARCEL No. 225
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 27, 2024
SHEET 2 OF 2



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
●	SPOT ELEVATION
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN PIPE
---	EXISTING CABLE LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD WIRE
---	PROPOSED PAVING/PATH
---	LIMIT OF DISTURBANCE
---	SUPER SILT FENCE
---	SILT FENCE
---	DIVERSION FENCE
---	EXISTING TREE LINE
---	SOIL LINES AND TYPES
---	BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED
---	PROPOSED ROOF LEADER
---	EXISTING TREES TO REMAIN
---	CRITICAL ROOT ZONE
---	STABILIZED CONSTRUCTION ENTRANCE
○	INDICATES WELL & ALTERNATE WELL LOCATION
○	INDICATES FAILED PERC
○	INDICATES PASSED PERC
---	EXISTING SDA

INITIAL 1ST & 2ND REPLACEMENT SYSTEMS
 SEWAGE DISPOSAL SYSTEM DATA - INITIAL SYSTEM
 5 BEDROOMS
 LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
 APPLICATION RATE = 0.8
 EFFECTIVE SIDEWALL BEGINS AT 2 FEET
 TRENCH DEPTH = 6 FEET
 TRENCH WIDTH (W) = 3 FEET
 EFFECTIVE DEPTH (D) = 4 FEET
 SF OF DRAINFIELD = 750 GPD / 0.8 = 938 SF
 COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+2*4) = 0.417
 TRENCH LENGTH = 938 SF x 0.417 / 3 = 131 FEET
 2 TRENCHES AT 66'
 TRENCH SPACING = 2D+W = (2*4) + 3 = 11' USE 11'

NOTE: THE SYSTEM SPECIFICATIONS FOR BOTH REPLACEMENT SYSTEMS ARE THE EXACT SAME CALCULATIONS AND DEPTHS. ALL THREE SYSTEMS WILL BE DESIGNED WITH THE SAME SPECIFICATIONS.

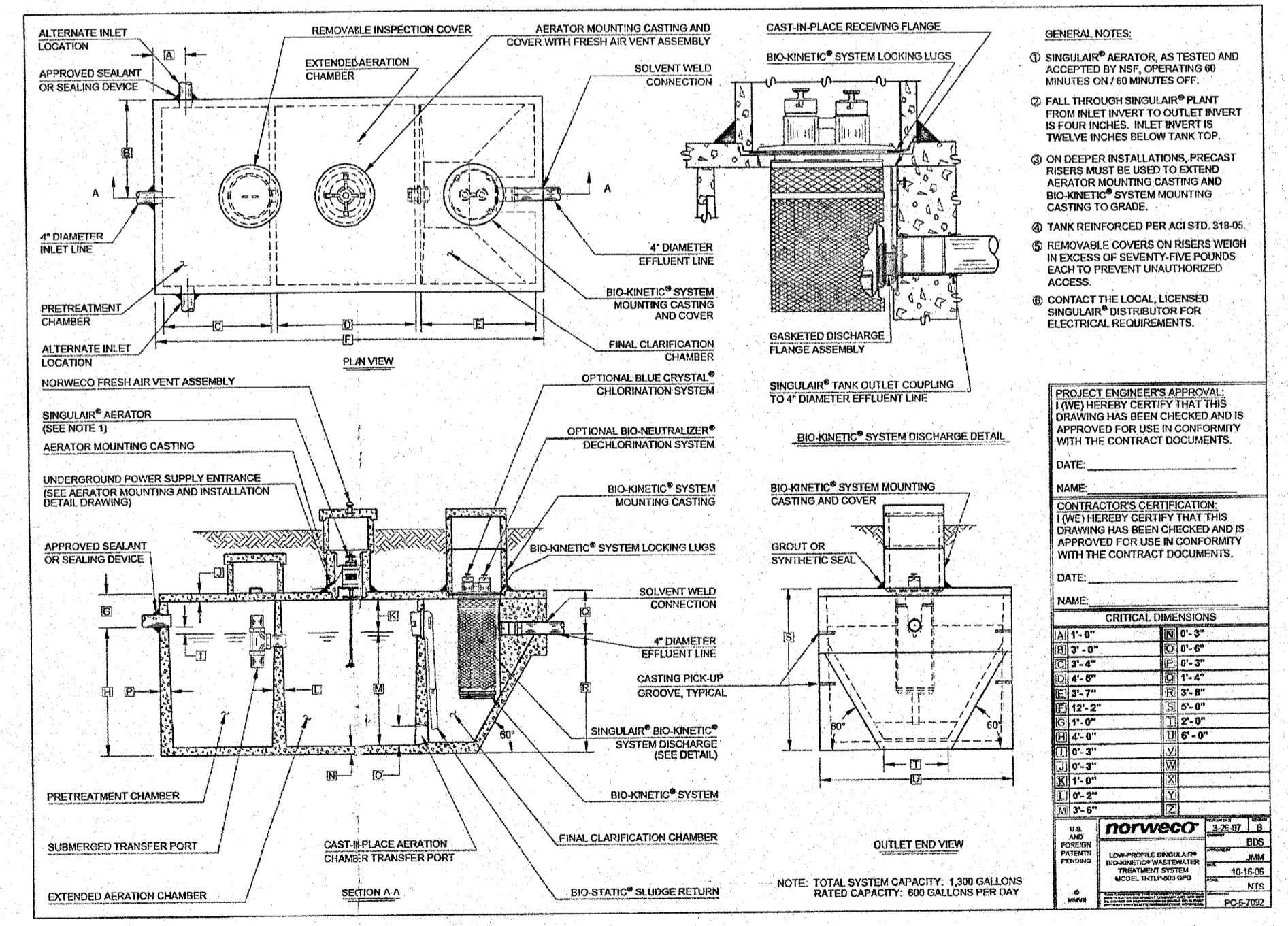
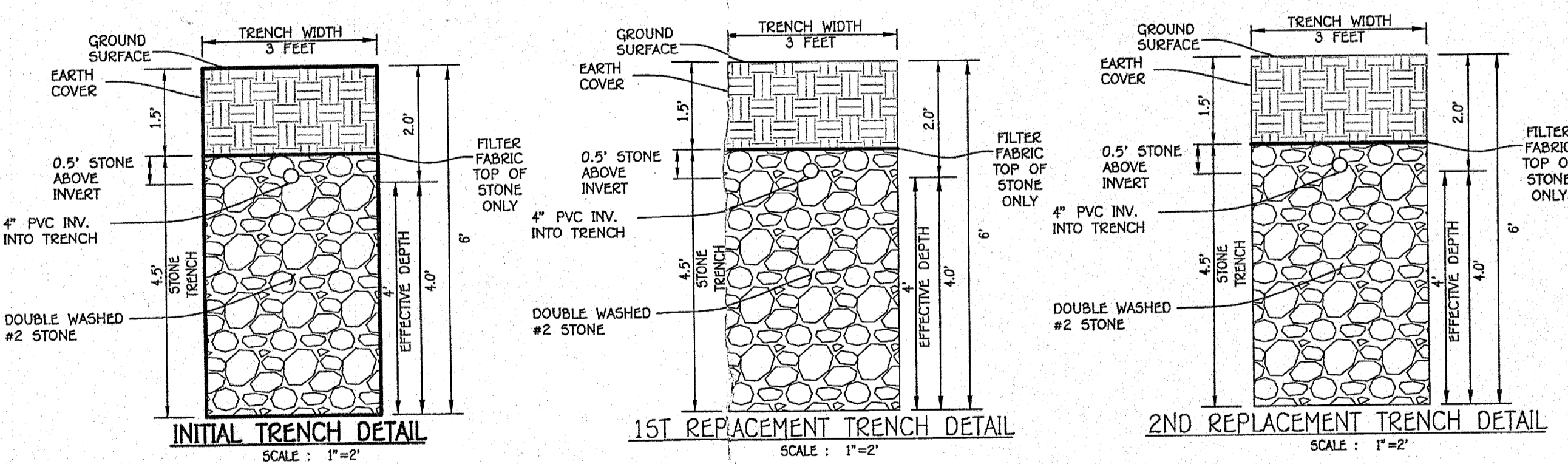
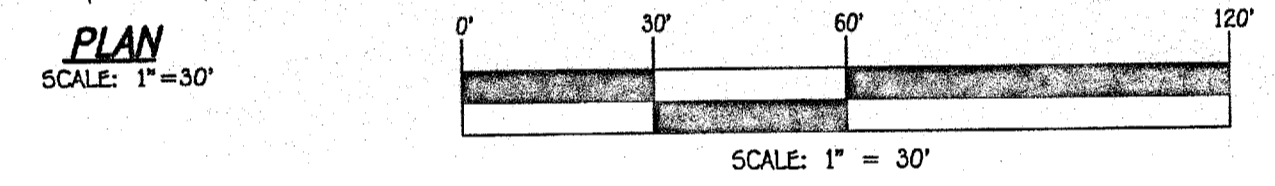


REFER TO HOWARD CO. ADC MAP PAGE 16, F8
VICINITY MAP
 SCALE: 1" = 2000'
GEODETIC CONTROL STATIONS
 #21EC ELEV. 474.799 N. 583,333.978 E. 1,300,951.529
 #21ED ELEV. 498.726 N. 584,466.994 E. 1,301,915.109

1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
2. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
3. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
4. WELL HO-20-0321 HAS BEEN FIELD LOCATED & IS TO BE ABANDONED.
5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
6. THE ENGINEER IS REGISTERED WITH MDE TO PROVIDE ON-SITE WASTEWATER SERVICES IN MARYLAND.
7. CONTRACTOR TO PERFORM CONSTRUCTION PER CURRENT O.S.H.A. STANDARDS.

BAT NOTES

1. THE BAT SYSTEM SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
2. THE BAT SHALL BE OPERATED BY AND MAINTAINED BY A CERTIFIED SERVICE PROVIDER.
3. WITHIN ONE MONTH OF INSTALLATION, A PERSON INSTALLING THE BAT SYSTEM SHALL REPORT TO THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) IN A MANNER ACCEPTABLE TO MDE, THE ADDRESS AND DATE OF COMPLETION OF THE BAT INSTALLATION AND THE TYPE OF BAT INSTALLED.
4. THE HEALTH DEPARTMENT REQUIRES DOCUMENTATION FOR THE START-UP CERTIFICATION FROM THE MANUFACTURER PRIOR TO FINAL APPROVAL OF THE INSTALLATION.
5. SURFACE RUNOFF SHALL BE DIRECTED AROUND THE BAT TANK.
6. NO BUILDING PERMIT SHALL BE APPROVED UNTIL THE SEPTIC SYSTEM IS INSTALLED AND INSPECTED BY THE HOWARD COUNTY HEALTH DEPARTMENT.
7. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
8. ELECTRICAL WORK FOR BAT INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
9. AN AGREEMENT AND EASEMENT MUST BE COMPLETED AND SIGNED BY ALL APPLICABLE PARTIES, AND RECORDED IN LAND RECORDED OF HOWARD COUNTY.



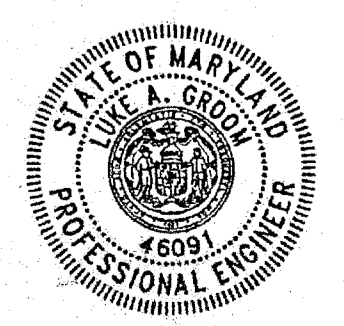
Approved Septic System Plan
 Howard County Health Department
 Signature: *[Signature]* Date: 10/3/2024

OWNERS/BUILDERS

TAYLOR AND CHRISTIANA ROSTHHLLE
 14117 FOREST RIDGE DRIVE
 NORTH POTOMAC MD 20878

SITE PLAN FOR BAT INSTALLATION
3731 SOFIA COURT

LOT 32
 ZONING: RC-DEO
 TAX MAP No. 21 GRID No. 8 PARCEL No. 225
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 27, 2024
 SHEET 1 OF 2



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46991, EXPIRATION DATE: 5/14/2025.
 Signature: *[Signature]* DATE: 8-27-24
 Signature Of Professional Engineer