

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Case # EH-PLANS-25-0
Type EnvHealth/Environmental Health/Plan Check/Application

Status In Review
Opened Date 05/21/2025

Application Name B25001894

Description SUITE 103/ EXPANSION OF WEST FRIENDSHIP ANIMAL HOSPITAL INTO ADJOINING SUITE/ INTERIOR RENOVATION OF EXISTING BUSINESS TO CREATE OFFICE SPACE, BREAK ROOM, AND 3 NEW EXAMINATION ROOMS; APPROX. 1,041 GSF

Total Invoiced 0.00
Total Paid 0.00
Balance 0.00

Assigned to Department Current Department Well and Septic Progr
Assigned to Staff Current User Zack Silvast

Approvals MBE
6/2/25

Online BP, needs MBE x-ray letter.

gsl 5/24/25

Address * (This section is required.)

New	Search	Delete	Set Primary														
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U
<input type="checkbox"/>	<input checked="" type="checkbox"/>						12800		Frederick	RD	West...	MD	21794				

Parcel (This section is not required.)

Search	Delete	Get Address & Owner	Set Primary														
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract		
0 record(s) found.																	

Owner (This section is not required.)

Search	Delete	Set Primary															
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Coun				
<input type="checkbox"/>	<input checked="" type="checkbox"/>				West Friendship Ctr LLC.	17 W Pennsylvania Ave.	Ste 500		Towson	MD	21204		US				

Applicant * (This section is required.)

Search As Owner As Lic. Prof As Contact

Single Entry Applicant Form

Type *

Applicant

Primary

Yes

First Name *
Gina

Middle Name

Last Name *
Campbell

Home Phone (xxx)xxx-xxxx

Organization Name *
 NW2 Engineers
Mobile Phone ((XXX)XXX-XXXX)
 (410) 491-3246
E-mail
 gina@nw2engineers.com
Business Phone ((XXX)XXX-XXXX)

Preferred Channel
 --Select--

Applicant Address

<input type="checkbox"/>	Contact Address ID	Address Type	Address Line 1	City	State	Zip	Primary	Recipient	Status
0 record(s) found.									

Custom Fields

DATE TRACKING

Received Date
5/21/2025

Due Date
6/5/2025

Dates to Complete
14
(Number)

Received by Food

Food Review Type
--Select--

Equipment Specification Sheets Submitted

Equipment Specification Sheet

Received by Well and Septic
5/21/2025

Received by Community Hygiene

FACILITY INFORMATION

Name of Business (dba) *
n/a (Text)

Associated Building Permit Number
(Text)

Owner Switch Date
(Text)

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.
 Yes No

Does the project include Private Septic? If Yes, forward to WS Program.
 Yes No

Is this a Prototype Food Service Facility? If Yes, refer to State.
 Yes No

Facility Fax
0 (Text)

Days of Operation
0 (Text)

Does this project have a Building Permit?
 Yes No

Building Permit Issued Date
(Text)

Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.
 Yes No

Does the project include Food Services? If Yes, forward to FP Program.
 Yes No

Facility Phone
0 (Text)

Facility Email
0 (Text)

PROPERTY INFORMATION

Water Source
Public

Design Wastewater Flow
0
(Number)

Sewage Disposal
Public

Permit Type
--Select--

PLAT STATS

Total Number of buildable lots to be recorded
0 (Number)

Total number of bulk parcels to be recorded
0 (Number)

New buildable lots created
0 (Number)

PLAT Type
--Select--

Total number of open space lots to be recorded
0 (Number)

Total number of lots / parcels to be recorded
0 (Number)

Date PLAT signed by Health Officer
(Text)

Date Preliminary Plan Signed by HO
(Text)

Extension Granted

DEVELOPMENT PLANS

Property Type

Commercial

Plan Version

Initial

Signature Required

Yes No

Engineer

0

(Text)

Number of paper copies

0

(Number)

Number of mylar copes

0

(Number)

Number of buildable lots created

(Number)

Number of non-buildable lots created

0

(Number)

Total Number of Lots

0

(Number)

Associated Plans

WELL AND SEPTIC INTERNAL

State Review Required

Yes No

Coordinate State Review

Yes No

Proposed Septic System Type

--Select--

FOOD ESTABLISHMENT FACILITY

Priority Assessment

--Select--

Licensed Type

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION

Hours of Operation

(Text)

Operating Seasonally Only

If Operating Seasonally. What is the start month?

(Text)

Are pets allowed in a outdoor seating area?

Yes No

Full Bar?

Yes No

RESTAURANT AND FOOD SERVICE

Food Service Facility Secondary Category

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating

Yes No

EQUIPMENT

Evaluated non NSF, ANSI, CF or other standards

Yes No

Description of Refrigeration Units

Number of Walk-In Refrigerator Units

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available

Yes No

Space Limitation

Number of Hand Sinks Available

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING

Size and installation of the water heater?

(Text)

Is there a grease interceptor or grease trap?

--Select--

June 2nd, 2025

West Friendship Animal Hospital

12800 Frederick Road, Suite 103
West Friendship, MD 21794

Sent via email to:

**RE: #B25001894
12800 Frederick Road**

To Whom It May Concern:

This letter is in response to building permit B25001894. The building permit application and plans indicate proposed work that may include new x-ray equipment and/or high-energy/radiation technology that will need to be reviewed/registered with Maryland Department of the Environment, Air Quality Program, Air and Radiation Management Administration. If you have any questions, you can contact the Air Quality Permits Program at (410) 537-3230.

Your building permit has been **approved** by this Department on 6/2/25. I may be reached at 410-313-1771 if you would like to discuss the project in more detail.

Respectfully,

Melanie Eshenbaugh
Well & Septic Program
Bureau of Environmental Health

May 14th, 2025

RE: #B25001894

Tenant Letter

▶ **Howard County**

Inspections, Licenses & Permits

3430 Courthouse Drive

Ellicott City, MD 21043

12800 Frederick Rd

West Friendship, MD 21794

To Whom it may concern,

This letter is to inform the County about the space to be occupied at the West Friendship Shopping Center located at 12800 Frederick Rd. and its proposed use. The business to occupy the space is the West Friendship Animal Hospital, a Veterinary Clinic which currently occupies the adjacent tenant space in the plaza and is expanding to include the adjoining 1025 SF suite #103. No new business is being proposed. No animals are to stay overnight in the new space, as it is proposed there be 3 exam rooms, an office, and an employee breakroom.

Thank you for your time and consideration in working towards the approval for a building permit.

Sincerely,

Ian Siepel
Project Manager
NW2 Engineers

12800 FREDERICK RD.

W. FRIENDSHIP, MD 21794

SCOPE OF WORK

- INTERIOR RENOVATION OF EXISTING BUSINESS TO CREATE A NEW OFFICE SPACE, BREAK ROOM, AND 3 NEW EXAMINATION ROOMS, APPROX. 1,041 GSF
- RENOVATION TO INCLUDE BUT NOT LIMITED TO: NEW INTERIOR WALLS, DOORS, FIXTURES, AND CABINETRY
- NEW MEPS AS PER PLAN

APPLICABLE CODES

- INTERNATIONAL BUILDING CODE - 2021
- MARYLAND BUILDING PERFORMANCE STANDARDS - 2019
- INTERNATIONAL BUILDING CODE - 2018
- NATIONAL ELECTRIC CODE - 2017
- INTERNATIONAL FUEL GAS CODE - 2018
- INTERNATIONAL MECHANICAL CODE - 2021
- RENTAL HOUSING CODE 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
- INTERNATIONAL FIRE CODE - 2018
- INTERNATIONAL PLUMBING CODE - 2021
- INTERNATIONAL ENERGY CONSERVATION CODE - 2021
- INTERNATIONAL GREEN CONSTRUCTION CODE - 2018
- NFPA 101 LIFE SAFETY CODE - 2021
- HOWARD COUNTY BUILDING, FIRE & RELATED CODES - 2021 W/ AMENDMENTS
- MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53

OCCUPANCY CLASSIFICATION

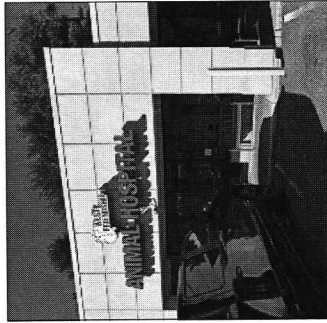
- EXISTING: SHOPPING CENTER / RETAIL / OFFICE
- PROPOSED: BUSINESS - VETERINARY HOSPITAL
- CONSTRUCTION TYPE: IIB
- SPRINKLER SYSTEM: NO
- FIRE ALARM NOTIFICATION: NOT REQUIRED
- NUMBER OF EXISTING FLOORS: 1 STORY
- NUMBER OF PROPOSED FLOORS: N/A
- EXISTING BUILDING HEIGHT: VARIES
- PROPOSED BUILDING HEIGHT: N/A

OCCUPANCY CALCULATIONS

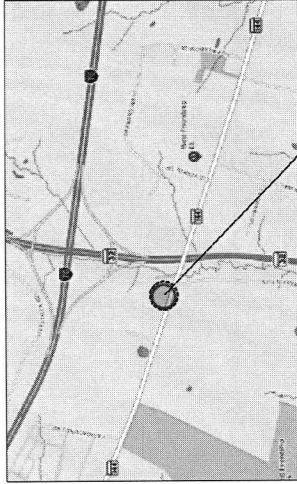
- LOAD CALCULATION - IBC TABLE 1004.1.1
- OCCUPANCY AS PER 2018 IBC:
- BUSINESS AREAS (New space only)
- 150 GROSS / SQ FT = 1,041 SQ FT / 150 GSF = 7 OCCUPANTS

DRAWING INDEX:

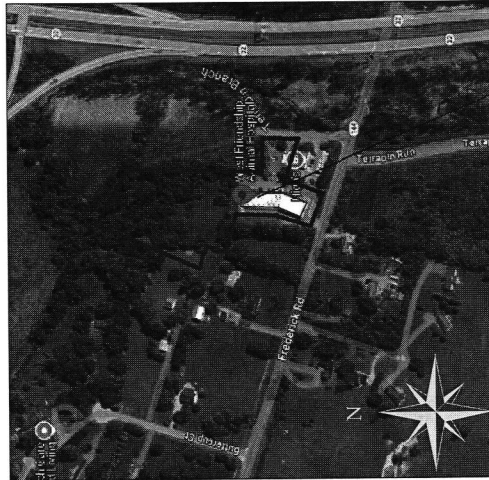
- ARCHITECTURAL
- CS - COVER SHEET
- A-1 - FLOOR PLAN & NOTES / DOOR SCHEDULE
- A-2 - LIFE SAFETY PLAN / R.C.P / LIGHTING PLAN
- A-3 - CROSS SECTION / GENERAL NOTES



FACADE / ENTRY
Existing accessible entry at grade



COUNTY MAP
Location in RED



AERIAL MAP
Property Line in BLUE
Location in RED

LOT INFORMATION:

LAND USE - COMMERCIAL
 USE TYPE - BUSINESS USE: OFFICE COMMERCIAL
 LOT SIZE - 8,369 SQ FT; UNIT MBH2
 PRIMARY STRUCTURE BUILT - 1987
 ABOVE GRADE LIVING AREA - 18,364 SQ FT
 PROPERTY LAND AREA - 4.6400 ACRES
 NEIGHBORHOOD: PARCEL: 0184
 10000.14 DISTRICT: 03
 SECTION: N/A MAP: 0015
 BLOCK: N/A GRID: 0011
 LOT: C1 ZONE: B-2
 ACCOUNT ID:
 286183

OWNER INFORMATION:
 WEST FRIENDSHIP PET LIC
 12800 FREDERICK RD
 TOWSON, MD 21286-5222

Phillip Scott
 PHILLIP SCOTT ARCHITECT, INC.

ARCHITECTURE AND PLANNING

PHILLIP L. SCOTT ARCHITECT, INC.
 5403 Parkside Avenue
 Baltimore, MD 21229
 Tel: 410-540-7676
 Email: info@psa-architect.com
 PHILLIP L. SCOTT, ARCHITECT
 OWNER

WEST FRIENDSHIP ANIMAL HOSPITAL
 Project address
 12800 FREDERICK RD
 WEST FRIENDSHIP, MD 21794

REVISIONS
1
2
3
4
5

PROFESSIONAL CERTIFICATION
 LICENSE NO. 1000014
 EXPIRES 12/31/2025
 STATE OF MARYLAND
 DATE: 04/14/2025

Scale: N/A
 Dwg. Name:
 COVER SHEET
 CS

ARCHITECTURE AND PLANNING

HEALTH & SCOTT ARCHITECT, INC.

1701 W. 10th Street
 1st Floor
 Baltimore, MD 21202

PH: 410.528.7822
 FAX: 410.528.7823
 WWW: www.healthandscott.com

DATE: 04/12/2025

PROJECT: WEST FREDERICK VETERINARY HOSPITAL

MANAGER: [Name]

MANUFACTURER: [Name]

WEST FRIENDSHIP ANIMAL HOSPITAL

Project address
 12800 FREDERICK RD
 WEST FRIENDSHIP, MD 21794

SEAL OF THE STATE OF MARYLAND

2025 APR 12 10 25 AM

AS NOTED

DATE: 04/12/2025

FLOOR PLANS / SCHEDULES / NOTES

A-1

DOOR SCHEDULE	LOCATION	DOOR NO	PHYSICAL INFO		MATERIAL	FINISH	GLASS	FIRE RATING	FRAME	HARDWARE	NOTES
			WIDTH	HEIGHT							
EXISTING TO REMAIN	EXISTING TO REMAIN	EX 01								EXIST. A.D.A.	EXIST. CLOSER
EXISTING TO REMAIN	EXISTING TO REMAIN	EX 02									
ELEC. UTILITY CLOSET		03	2'-6"	6'-8"	T.B.D.	PAINTED			PAINTED	HANDLE, LOCKSET	
INTERIOR		04	3'-0"	6'-8"	T.B.D.	PAINTED			PAINTED	LEVER, LOCKSET	

GENERAL NOTES:

- VERIFY ALL DOOR SCHEDULES WITH THE ARCHITECT AND CONTRACTOR PRIOR TO FABRICATION. ALL DOOR SCHEDULES FOR THE PROJECT SHALL BE SUBSTANTIALLY LEVEL AND SHALL HAVE THE SAME ELEVATION ON BOTH SIDES OF THE DOORWAY FOR A DISTANCE AT LEAST EQUAL TO THE WIDTH OF THE WIDEST LEAF PER SECTION 7.2.3.3 (MFA 101).
- ALL DOORS TO BE PROVIDED WITH COMMERCIAL GRADE LEVERED HANDLE (MILWAUKEE A.D.A.), APPROVED BY THE BALTIMORE CITY AND STATE OF MARYLAND.
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HARDWARE NOTE:

CLOSERS AND LOCKSETS INDICATED FOR FIRE RATING AND HANDICAP PURPOSES. COMPLETE HARDWARE SETS AND MANUFACTURER NUMBERS SHALL BE SELECTED BY THE OWNER IN COMPLIANCE WITH ALL APPLICABLE CODES.

Floor Plan : WEST FREDERICK VETERINARY HOSPITAL

approx. 1,041 GSF

DRAWING LEGEND:

- EXISTING FIRE RATED PARTY WALL TO REMAIN
- NEW METAL PARTITION APPROX 10' A.F.F. TYP. FOR ALL INTERIOR WALLS
- EXISTING PARTITION TO REMAIN
- NOT IN SCOPE

PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1' - 0"

Floor Plan : WEST FREDERICK VETERINARY HOSPITAL

approx. 1,041 GSF

DRAWING LEGEND:

- EXISTING FIRE RATED PARTY WALL TO REMAIN
- NEW METAL PARTITION APPROX 10' A.F.F. TYP. FOR ALL INTERIOR WALLS
- EXISTING PARTITION TO REMAIN
- NOT IN SCOPE

PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1' - 0"

GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY BALTIMORE CITY AND THE STATE OF MARYLAND.
- ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL AMENDMENTS.
- ALL INTERIOR PARTITIONS SHALL BE TYPED & SANDED SMOOTH TO RECEIVE PAINT OR WALL FINISH MATERIAL.
- INTERIOR LIGHTING SELECTION CLIENT'S CHOICE.
- INTERIOR FINISHES ARE THE CLIENT'S CHOICE.
- DOOR STYLE CLIENT'S CHOICE.
- ALL DOORS SHALL BE 6'-8" IN HEIGHT.
- FIELD MEASURE AS REQUIRED FOR ALL DOORS, WINDOW OPENINGS & MILLWORK, PRIOR TO FABRICATION.
- USE WATER RESISTANT GYPSUM BOARD AT ALL AREAS SUBJECT TO MOISTURE OR WHERE TILE IS USED.

DRAWING LEGEND:

- WALL TYPE: SEE SCHEDULE FOR DETAILS.
- DOOR TYPE: SEE SCHEDULE SAME PAGE FOR DETAILS.
- WINDOW TYPE: SEE SCHEDULE SAME PAGE FOR DETAILS.
- ROOM NUMBER TO COORDINATE WITH FINISH SCHEDULE.
- DRAWING NOTE DESIGNATOR: REFER TO DRAWING NOTES ON THIS SHEET.
- DETAIL DESIGNATOR: REFER TO DETAIL "A" ON SHEET "A-2".
- REFER TO SCHEDULE ON SHEET "A-2" FOR DETAILS.

EXISTING/ DEMO PLAN

SCALE: 1/8" = 1' - 0"

DRAWING NOTES:

- EXTERIOR WALLS ARE EXISTING TO REMAIN WITH EXISTING INSULATION FROM SEPARATE PERMIT DONE BY OTHER. (NO WORK ON EXTERIOR OR DEMISING WALLS ON THIS PERMIT)
- EXISTING A.D.A. ENTRYWAY AT GRADE. AS PER PREVIOUS PERMIT.
- EXISTING TO REMAIN, AS PER PREVIOUS PERMIT DONE BY OTHERS: GLASS STATION FRONT, INCLUDING DOORS WITH ADA ACCESSIBILITY AND CLOSERS.
- DEMO PORTION OF EXISTING MASONRY WALL FOR NEW DOOR OPENING FOR PASSAGE. (REFER TO DOOR SCHEDULE SAME SHEET)
- EXISTING SHARED FIRE RATED PARTY WALL.
- NEW BREAK ROOM & KITCHENETTE AREA. AS PER PREVIOUS PERMIT DONE BY OTHERS. Coordinate installation with MEP & Plumbing.
- GARAGE LOCATION DUMPSTER AREA WITHIN 30' OF REAR DOORS.
- JANITOR AREA - WALL TO BE SUPPLIED WITH MOP & BROOM RACK, SUPPLIED BY OTHER.
- EXISTING STAIRS TO REMAIN.
- ANY TRANSITIONS BETWEEN FLOORING SHALL BE COVERED WITH THRESHOLD OR ANTI-TRIP TRANS.
- ALL WALLS, WINDOWS & DOORS EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

EXISTING/ DEMO PLAN

SCALE: 1/8" = 1' - 0"

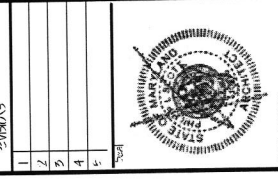
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ARCHITECTURE AND PLANNING
 PHILLIP L. SCOTT ARCHITECT, INC.
 1000 N. W. 10th Ave.
 Suite 200, Ft. Lauderdale, FL 33304
 Tel: 954-537-1828
 Fax: 954-537-1829
 www.phillip-scott.com

DATE: 04/14/2025
 SCALE: 1/4" = 1'-0"
 SHEET: 1/12

WEST FRIENDSHIP ANIMAL HOSPITAL
 Project address
 12800 FREDRICK RD.
 WEST FRIENDSHIP, MD 21794



PARTIAL SECTION /
 GENERAL NOTES
A-3

GENERAL NOTES

1. DO NOT SCALE DRAWINGS FOR PURPOSES OF CONSTRUCTION/ERECTION OF PARTITIONS.
2. ANY DEVIATION FROM OR IN-FIELD ALTERATION TO THESE DRAWINGS/SPECIFICATIONS IS STRICTLY PROHIBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER/OWNER. ANY SUCH ALTERATIONS MADE WITHOUT PRIOR APPROVAL SHALL BE CORRECTED AND SHALL BE THE LIABILITY OF THE CONTRACTOR DIRECTLY RESPONSIBLE FOR THE ALTERATION.
3. ALL EXISTING STRUCTURES/CONDITIONS (AND RELATED DIMENSIONS AND NOTES) UTILIZED SHALL BE VERIFIED IN FIELD BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER.
4. ALL EXISTING COMPONENTS SHALL REMAIN AS IS, UNLESS NOTED OTHERWISE; I.E. CEILING FINISH/HEIGHT, WALL/FLOOR FINISH, ETC.
5. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES TO AVOID CONFLICTS, PARTICULARLY WITH MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO INSTALLATION. UNRESOLVED DISPUTES AND CONFLICTS WILL BE RESOLVED BY THE ENGINEER OR OWNER, REGARDLESS OF WHICH ARE FIRST INSTALLED.
6. ALL CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE BOCA CODE AND LOCAL GOVERNING CODES AND ORDINANCES.
7. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH THE NATIONAL PLUMBING CODE AND ANY LOCAL GOVERNING CODES AND ORDINANCES.
8. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL GOVERNING CODES AND ORDINANCES.
9. ALL MECHANICS WORK SHALL BE IN COMPLIANCE WITH THE BASIC MECHANICAL CODE AND ANY LOCAL GOVERNING CODES AND ORDINANCES.
10. ALL PIPE AND DUCT PERFORATIONS THRU RATED FLOORS AND WALLS SHALL BE SEALED WITH MATERIAL OF THE SAME RATING.

Phillip Scott
 PHILLIP L. SCOTT ARCHITECT, INC.
 1000 N. W. 10th Ave.
 Suite 200, Ft. Lauderdale, FL 33304
 Tel: 954-537-1828
 Fax: 954-537-1829
 www.phillip-scott.com

